



**FULTON
COUNTY**

CONTRACT DOCUMENTS FOR

**#21RFP22421K-DB;
GMP AMENDMENT TO AGREEMENT**

**CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR THE NEW FULTON COUNTY ANIMAL SHELTER
FACILITY**

For

REAL ESTATE AND ASSET MANAGEMENT

**GMP AMENDMENT TO AGREEMENT #21RFP22421K-DB BETWEEN OWNER AND
CONSTRUCTION MANAGER AT RISK**

Construction
Manager: Winter Johnson Group

Contract: #21RFP22421K-DB; Construction Management at Risks Services
for the New Fulton County Animal Shelter Facility GMP
AMENDMENT TO AGREEMENT

Address: 5616 Peachtree Road
City, State: Chamblee, Georgia 30341

Contact: Brent Reid, Managing Member
Artis Johnson, Managing Member

Email: breid@wintercompanies.com and ajohnson@winterjohnsongroup.com

Pursuant to Sections 00700-92-B of the Agreement, dated August 5th, 2021, between Fulton County (“Owner”) and Winter Johnson Group (“Construction Manager”), with respect to the construction of the Owner’s Construction Management at Risk Services for the New Fulton County Animal Shelter (“Project”), the Owner and the Construction Manager hereby agree to amend and modify the Agreement by the Amendment and establish a Guaranteed Maximum Price (“GMP”) and Contract Time for all the Work as set forth below:

ARTICLE 1
SCOPE OF WORK

The Scope of Work consists of construction of the New Fulton County Animal Shelter Project in accordance with the Agreement, this Amendment and the other Contract Documents listed as Exhibits A through I below, which are hereby incorporated into and made part of the Amendment by this reference:

- | | |
|-----------|--|
| EXHIBIT A | List of Drawings |
| EXHIBIT B | GMP’S Cost |
| EXHIBIT C | Clarifications & Assumptions |
| EXHIBIT D | Allowances |
| EXHIBIT E | Payment & Performance Bonds |
| EXHIBIT F | Certificate of Insurance |
| EXHIBIT G | Purchasing Forms |
| EXHIBIT H | Office of Contract Compliance (Subcontractors) |
| EXHIBIT I | Contract Schedule |

ARTICLE 2

GUARANTEED MAXIMUM PRICE

- 2.1 Construction Manager's Guaranteed Maximum Price (GMP) for the Work, including the estimated Cost of the Work as defined in Section 00700-92-B of the Agreement and Construction Contractor's Fee as defined in Exhibit 1 – Form B-Construction Fee % of the Agreement is **\$32,269,760.00** (Thirty-Two Million Two Hundred Sixty-Nine Thousand Seven Hundred Sixty Dollars and No Cents).
- 2.2 The Construction Manager's Fee for the entire Work anticipated on this Project is hereby established as a lump sum amount of **\$844,292.00** (Eight Hundred Forty-Four Thousand Two Hundred Ninety-Two Dollars and No Cents), said lump sum amount is included within the above noted GMP.
- 2.3 The General Condition expenses for the entire Work anticipated on this Project are hereby established as an amount not to exceed **\$1,878,756.00** (One Million Eight Hundred Seventy-Eight Thousand Seven Hundred Fifty-Six Dollars and No Cents), said not to exceed amount is not included within the above noted GMP. The items included as General Condition Expenses are listed in the Agreement, Section 00700. Except as said not to exceed amount for General Condition expenses may be expressly adjusted by Change Order or Construction Change Directive, Construction Manager acknowledges and agrees that Owner shall have no liability for any General Condition expenses beyond payment of the above amount and Construction Manager agrees that it shall not be entitled to receive any additional compensation from Owner for the General Conditions beyond the above amount.
- 2.4 Monthly installment payment of the Construction Contractor's Fee shall be based upon the percent completion of the designated portion of the Work for that particular month.
- 2.5 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the required Work, but excluding all items that are to be reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in paragraph 2.3 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed amount of **\$825,000.00** (Eight Hundred Twenty-Five Thousand and No Cents). Contingency funds shall be used to cover costs that arise during construction that are not identified in the Construction Documents. Construction Manager shall not proceed with any portion of the Work which it intends to charge against this contingency without first obtaining Owner's express written authorization to proceed. The Construction Manager acknowledges and agrees that any work which is to be charged against the contingency that does not receive such prior written approval from the Owner shall be deemed to be part of the Construction Manager's basic Work compensated within the GMP and not chargeable against

the Owner's Contingency. The Owner reserves the right, at its sole discretion, to withhold its consent on contingency expenditures. Further, any contingency expenditure become part of the Contract Documents and are incorporated by reference herein. Unused contingency remaining at the end of the job will be credited from the guaranteed maximum price. Construction Manager has no entitlement to any portion of any unused contingency.

- 2.6 The parties have agreed to establish an allowance within the GMP attached herein as Exhibit C, Allowances for an itemized listing of all allowances that have been incorporated into the GMP. Construction Manager shall not proceed with any portion of the Work associated with the aforesaid allowance (Allowance Work) without first obtaining Owner's express written authorization to proceed with said Allowance Work. Allowance Amounts are reflected in Exhibit C.

ARTICLE 3 **CONTRACT TIME**

- 3.1 The Construction Phase Commencement Date for the Work is the date established by the County issued Notice to Proceed with Construction. The total period of time beginning with the Construction Phase Commencement Date through the date required for Substantial Completion of the Work is 544 consecutive calendar days. The Substantial Completion date is therefore established as 544 consecutive calendar days or completion of construction project, from the Notice to Proceed with Construction date.
- 3.2 Pursuant to this Agreement, there is no Liquidated Damages in this Contract.

ARTICLE 4 **MISCELLANEOUS**

- 4.1 Except as expressly modified herein, the terms and conditions of the Agreement remain unchanged. In the event of a conflict between the terms of this Amendment and those of the Agreement, Owner and Construction Manager agree that the terms of this Amendment shall prevail and control.
- 4.2 Payment & Performance Bonds will be 100% of Contract Amount referenced in Exhibit E.
- 4.3 Certificate of Insurance required by Fulton County Government Risk Management Provision referenced in Exhibit F.
- 4.4 Subcontractors referenced in Exhibit H.
- 4.5 The Amendment was approved by the Fulton County Board of Commissioners on Wednesday, December 15th, 2021; Item #21-1042.

IN WITNESS THEREOF, the Parties hereto have caused this Contract to be executed by their duly authorized representatives as attested and witnessed and their corporate

OWNER:

CONSTRUCTION MANAGER:

FULTON COUNTY, GEORGIA

WINTER JOHNSON GROUP

DocuSigned by:

Robert L. Pitts

Robert L. Pitts, Chairman
Fulton County Board of
Commissioners

DocuSigned by:

Brent Reid

Brent Reid
Managing Member

DocuSigned by:

Artis Johnson

Artis Johnson
Managing Member

ATTEST:

ATTEST:

DocuSigned by:

Tonya R. Grier

Tonya R. Grier
Clerk to the Commission (Seal)

(Affix County Seal)



APPROVED AS TO FORM:

DocuSigned by:

Ralph Mumme

Ralph Mumme
Secretary/
Assistant Secretary

(Affix Corporate Seal)



DocuSigned by:

Denval Stewart

Denval Stewart
Office of the County Attorney

APPROVED AS TO CONTENT:

DocuSigned by:

Joseph Davis

Joseph N. Davis, Director
Department of Real Estate & Asset
Management

ITEM#: 2021-1042

RCS: 12/15/2021

RECESS MEETING

ITEM#: _____ RM: _____

REGULAR MEETING

EXHIBIT A

LIST OF DRAWINGS

EXHIBIT **A**

DRAWING AND SPEC LOGS

Exhibit A - Attachment A

11/18/2021

Fulton County Animal Services**WINTER JOHNSON****GROUP****Drawing Log**

Project: (21-123) Fulton County Animal Services
Owner: Fulton County Government
Architect: PGAL

<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
General	G0.00	Cover Sheet - Volume 1	10/8/2021
General	G0.01	Sheet Index, General Project Information	10/8/2021
General	G1.00	Code Analysis	10/8/2021
General	G1.10	Life Safety Plan - Overall	10/8/2021
General	G1.11	Life Safety Plan - Sector A	10/8/2021
General	G1.12	Life Safety Plan - Sector B	10/8/2021
General	G1.13	Life Safety Plan - Sector C	10/8/2021
General	G1.14	Life Safety Plan - Sector D	10/8/2021
General	G1.20	Accessibility Information	10/8/2021
General	G1.21	Accessibility Information	10/8/2021
Civil	C0.00	Cover	10/8/2021
Civil	C0.01	General Notes	10/8/2021
Civil	C0.02	Survey	10/8/2021
Civil	C2.00	Demolition Plan	10/8/2021
Civil	C2.01	Detailed Demolition Plan	10/8/2021
Civil	C2.02	Detailed Demolition Plan	10/8/2021
Civil	C3.00	Master Site Plan	10/8/2021
Civil	C3.01	Detailed Site Plan	10/8/2021
Civil	C3.02	Detailed Site Plan	10/8/2021
Civil	C3.40	Fire Access Plan	10/8/2021
Civil	C3.41	Truck Access Plan	10/8/2021
Civil	C4.00	Grading Plan	10/8/2021
Civil	C4.01	Detailed Grading Plan	10/8/2021
Civil	C4.02	Detailed Grading Plan	10/8/2021
Civil	C4.40	Stormwater Management Plan	10/8/2021
Civil	C4.41	Stormwater Management Plan	10/8/2021
Civil	C5.00	Utility Plan	10/8/2021
Civil	C5.01	Detailed Utility Plan	10/8/2021
Civil	C5.02	Detailed Utility Plan	10/8/2021
Civil	C6.00	Erosion Notes	10/8/2021
Civil	C6.01	Erosion Notes	10/8/2021
Civil	C6.02	Erosion Notes	10/8/2021
Civil	C6.10	Phase I Erosion Control Plan	10/8/2021
Civil	C6.11	Phase I Erosion Control Plan	10/8/2021
Civil	C6.12	Phase I Erosion Control Plan	10/8/2021
Civil	C6.20	Phase II Erosion Control Plan	10/8/2021
Civil	C6.21	Phase II Erosion Control Plan	10/8/2021
Civil	C6.22	Phase II Erosion Control Plan	10/8/2021
Civil	C6.30	Phase III Erosion Control Plan	10/8/2021
Civil	C6.31	Phase III Erosion Control Plan	10/8/2021
Civil	C6.32	Phase III Erosion Control Plan	10/8/2021
Civil	C6.40	Erosion Control Details	10/8/2021
Civil	C6.41	Erosion Control Details	10/8/2021
Civil	C6.42	Erosion Control Details	10/8/2021
Civil	C6.43	Erosion Control Details	10/8/2021
Civil	C7.00	Sanitary Sewer Profiles	10/8/2021
Civil	C7.50	Storm Profiles	10/8/2021
Civil	C7.51	Storm Profiles	10/8/2021
Civil	C7.52	Storm Profiles	10/8/2021
Civil	C8.00	Sight Distance Profiles	10/8/2021
Civil	C8.01	Sight Distance Profiles	10/8/2021
Civil	C9.00	Construction Details	10/8/2021
Civil	C9.01	Construction Details	10/8/2021
Civil	C9.02	Construction Details	10/8/2021
Architectural	A0.10	Partition Types	10/8/2021
Architectural	A0.30	Door Schedule	10/8/2021
Architectural	A0.31	Door And Frame Types	10/8/2021
Architectural	A0.32	Door Details - Exterior	10/8/2021
Architectural	A0.33	Door Details - Interior	10/8/2021
Architectural	A0.34	Door Details - Interior	10/8/2021

Exhibit A - Attachment A
 11/18/2021

Fulton County Animal Services
WINTER JOHNSON
GROUP


<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Architectural	A0.40	Window & Storefront Types/Schedule	10/8/2021
Architectural	A0.41	Curtain Wall & Storefront Elevations	10/8/2021
Architectural	A0.42	Window Details	10/8/2021
Architectural	A0.43	Interior Window Details	10/8/2021
Architectural	A1.00	Architectural Site Plan (Overall)	10/8/2021
Architectural	A1.10	Architectural Site Plan (Enlarged)	10/8/2021
Architectural	A1.15	Site Plan - Public Parking Lot	10/8/2021
Architectural	A1.15B	Site Plan - Public Parking Lot	10/8/2021
Architectural	A1.16	Site Plan - Employee Parking Lot	10/8/2021
Architectural	A1.17	Site Plan - Dog Yards	10/8/2021
Architectural	A1.18	Enlarged Barn Plan	10/8/2021
Architectural	A1.19	Site Plan - Details	10/8/2021
Architectural	A1.20	Architectural Site Sections/Details	10/8/2021
Architectural	A2.00	Slab Plan	10/8/2021
Architectural	A2.01	Slab Plan - Sector A	10/8/2021
Architectural	A2.02	Slab Plan - Sector B	10/8/2021
Architectural	A2.03	Slab Plan - Sector C	10/8/2021
Architectural	A2.04	Slab Plan - Sector D	10/8/2021
Architectural	A2.10	Overall Floor Plan	10/8/2021
Architectural	A2.11	Floor Plan - Sector A	10/8/2021
Architectural	A2.11D	Dimension Floor Plan - Sector A	10/8/2021
Architectural	A2.12	Floor Plan - Sector B	10/8/2021
Architectural	A2.12D	Dimension Floor Plan - Sector B	10/8/2021
Architectural	A2.13	Floor Plan - Sector C	10/8/2021
Architectural	A2.13D	Dimension Floor Plan - Sector C	10/8/2021
Architectural	A2.14	Floor Plan - Sector D	10/8/2021
Architectural	A2.14D	Dimension Floor Plan - Sector D	10/8/2021
Architectural	A2.20	Overall Roof Plan	10/8/2021
Architectural	A2.21	Roof Plan - Section A	10/8/2021
Architectural	A2.22	Roof Plan - Section B	10/8/2021
Architectural	A2.23	Roof Plan - Section C	10/8/2021
Architectural	A2.24	Roof Plan - Section D	10/8/2021
Architectural	A2.60	Drain Details	10/8/2021
Architectural	A3.10	Overall Reflected Ceiling Plan	10/8/2021
Architectural	A3.11	Reflected Ceiling Plan - Sector A	10/8/2021
Architectural	A3.12	Reflected Ceiling Plan - Sector B	10/8/2021
Architectural	A3.13	Reflected Ceiling Plan - Sector C	10/8/2021
Architectural	A3.14	Reflected Ceiling Plan - Sector D	10/8/2021
Architectural	A3.20	Details - Ceilings	10/8/2021
Architectural	A4.10	Enlarged Restroom Plans And Elevations	10/8/2021
Architectural	A4.11	Enlarged Restroom Plans And Elevations	10/8/2021
Architectural	A5.10	Exterior Plan Details - Sector A	10/8/2021
Architectural	A5.10B	Exterior Plan Details - Sector A	10/8/2021
Architectural	A5.11	Exterior Plan Details - Sector B	10/8/2021
Architectural	A5.12	Exterior Plan Details - Sector C	10/8/2021
Architectural	A5.13	Exterior Plan Details - Sector D	10/8/2021
Architectural	A6.10	Overall Exterior Elevations	10/8/2021
Architectural	A6.12	Enlarged Facade Elevations	10/8/2021
Architectural	A6.13	Enlarged Facade Elevations	10/8/2021
Architectural	A6.20	Enlarged Exterior Elevations	10/8/2021
Architectural	A7.10	Overall Building Sections	10/8/2021
Architectural	A7.11	Enlarged Building Sections	10/8/2021
Architectural	A7.12	Enlarged Building Sections	10/8/2021
Architectural	A7.13	Enlarged Building Sections	10/8/2021
Architectural	A7.20	Exterior Wall Sections	10/8/2021
Architectural	A7.21	Exterior Wall Sections	10/8/2021
Architectural	A7.22	Exterior Wall Sections	10/8/2021
Architectural	A7.23	Exterior Wall Sections	10/8/2021
Architectural	A7.24	Exterior Wall Sections	10/8/2021
Architectural	A7.25	Exterior Wall Sections	10/8/2021
Architectural	A7.26	Exterior Wall Sections	10/8/2021
Architectural	A7.27	Exterior Wall Sections	10/8/2021
Architectural	A7.28	Exterior Wall Sections	10/8/2021
Architectural	A7.29	Exterior Wall Sections	10/8/2021
Architectural	A7.30	Exterior Wall Sections	10/8/2021

Exhibit A - Attachment A
 11/18/2021

Fulton County Animal Services
WINTER JOHNSON
GROUP


<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Architectural	A7.50	Exterior Wall Details	10/8/2021
Architectural	A7.51	Exterior Wall Details	10/8/2021
Architectural	A7.52	Exterior Wall Details	10/8/2021
Architectural	A7.53	Exterior Wall Details	10/8/2021
Architectural	A7.54	Exterior Wall Details	10/8/2021
Architectural	A7.75	Exterior Wall Details	10/8/2021
Architectural	A7.56	Exterior Wall Details	10/8/2021
Architectural	A7.57	Exterior Wall Details	10/8/2021
Architectural	A7.58	Exterior Wall Details	10/8/2021
Architectural	A8.10	Elevations - Interior	10/8/2021
Architectural	A8.11	Elevations - Interior	10/8/2021
Architectural	A8.12	Elevations - Interior	10/8/2021
Architectural	A8.13	Elevations - Interior	10/8/2021
Architectural	A8.14	Elevations - Interior	10/8/2021
Architectural	A8.15	Elevations - Interior	10/8/2021
Architectural	A8.16	Elevations - Interior	10/8/2021
Architectural	A8.17	Elevations - Interior	10/8/2021
Architectural	A8.18	Elevations - Interior	10/8/2021
Architectural	A8.19	Elevations - Interior	10/8/2021
Architectural	A8.20	Elevations - Interior	10/8/2021
Architectural	A8.21	Elevations - Interior	10/8/2021
Architectural	A8.50	Interior Details - Millwork	10/8/2021
Architectural	A8.51	Interior Details - Millwork	10/8/2021
Architectural	A8.52	Interior Details - Millwork	10/8/2021
Architectural	A8.53	Interior Details	10/8/2021
Architectural	A9.01	Equipment Details	10/8/2021
Architectural	A9.02	Animal Housing Details	10/8/2021
Architectural	A9.03	Animal Housing Details	10/8/2021
Architectural	A9.04	Animal Housing Details	10/8/2021
Architectural	A9.05	Animal Housing Details	10/8/2021
Architectural	A9.06	Caging Schedule And Elevations	10/8/2021
Architectural	A9.10	Finish Schedule And Room Finish Schedule	10/8/2021
Architectural	A9.11	Finish Plan - Sector A	10/8/2021
Architectural	A9.12	Finish Plan - Sector B	10/8/2021
Architectural	A9.13	Finish Plan - Sector C	10/8/2021
Architectural	A9.14	Finish Plan - Sector D	10/8/2021
Architectural	A10.01	Equipment Plan - Sector A	10/8/2021
Architectural	A10.02	Equipment Plan - Sector B	10/8/2021
Architectural	A10.03	Equipment Plan - Sector C	10/8/2021
Architectural	A10.04	Equipment Plan - Sector D	10/8/2021
Architectural	A10.11	Equipment Schedule	10/8/2021
Structural	S0.01	General Notes	10/8/2021
Structural	S0.02	General Notes	10/8/2021
Structural	S0.03	Wind Load Diagram	10/8/2021
Structural	S0.04	Gid Geometry Plan	10/8/2021
Structural	S0.05	Isometric Views - Overall	10/8/2021
Structural	S0.06	Isometric Views - Partial Lobby	10/8/2021
Structural	S2.10	Overall Foundation Plan	10/8/2021
Structural	S2.11	Foundation Plan - Sector A	10/8/2021
Structural	S2.12	Foundation Plan - Sector B	10/8/2021
Structural	S2.13	Foundation Plan - Sector C	10/8/2021
Structural	S2.14	Foundation Plan - Sector D	10/8/2021
Structural	S2.20	Overall Roof Plan	10/8/2021
Structural	S2.21	Roof Framing Plan - Sector A	10/8/2021
Structural	S2.22	Roof Framing Plan - Sector B	10/8/2021
Structural	S2.23	Roof Framing Plan - Sector C	10/8/2021
Structural	S2.24	Roof Framing Plan - Sector D	10/8/2021
Structural	S2.30	Pre-Manufactured Barn Foundation	10/8/2021
Structural	S3.01	Typical Foundation Details	10/8/2021
Structural	S3.02	Typical Foundation Details	10/8/2021
Structural	S3.03	Typical Foundation Details	10/8/2021
Structural	S3.04	Typical Foundation Details	10/8/2021
Structural	S3.05	Foundation Details	10/8/2021
Structural	S3.06	Foundation Details	10/8/2021
Structural	S4.01	Masonry Details	10/8/2021

Exhibit A - Attachment A
11/18/2021

Fulton County Animal Services

WINTER JOHNSON
GROUP



<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Structural	S4.02	Masonry Details	10/8/2021
Structural	S5.01	Typical Steel Details	10/8/2021
Structural	S5.02	Typical Steel Details	10/8/2021
Structural	S5.03	Typical Steel Details	10/8/2021
Structural	S5.04	Typical Steel Details	10/8/2021
Structural	S5.05	Framing Details	10/8/2021
Structural	S5.06	Framing Details	10/8/2021
Structural	S5.07	Framing Details	10/8/2021
Structural	S5.08	Framing Details	10/8/2021
Structural	S5.09	Framing Details	10/8/2021
Structural	S6.01	Building Sections	10/8/2021
Structural	S6.02	Building Sections	10/8/2021
Structural	S6.03	Building Sections	10/8/2021
Structural	S7.01	Enlarged Plans And Sections - Canopy At Employee Patio	10/8/2021
Structural	S7.02	Enlarged Plans And Sections - Canopy At Intake Lobby	10/8/2021
Structural	S7.03	Enlarged Plans And Sections - Canopy At Catio	10/8/2021
Structural	S7.04	Enlarged Plans And Sections - Canopy West Of Quart. Dog Kennels	10/8/2021
Structural	S7.05	Enlarged Plans And Sections - Canopy East Of Quart. Dog Kennels	10/8/2021
Structural	S7.06	Enlarged Plans And Sections - Canopy At Dog Yards 3	10/8/2021
Structural	S7.07	Enlarged Plans And Sections - Canopy At Dog Yards 4	10/8/2021
Structural	S7.08	Enlarged Plans And Sections - Canopy At Dog Yards 5	10/8/2021
Structural	S7.09	Enlarged Plans And Sections - Canopy At Dog Yards 6	10/8/2021
Structural	S8.01	Wall Elevations	10/8/2021
Structural	S8.02	Wall Elevations	10/8/2021
Structural	S8.03	Wall Elevations	10/8/2021
Structural	S8.04	Wall Elevations	10/8/2021
Structural	S8.05	Wall Elevations	10/8/2021
Structural	S8.06	Wall Elevations	10/8/2021
Structural	S8.07	Wall Elevations	10/8/2021
Structural	S8.08	Wall Elevations	10/8/2021
Structural	S8.09	Wall Elevations	10/8/2021
Mechanical	M1.01	Mechanical Cover Sheet	10/8/2021
Mechanical	M1.02	Mechanical General Notes	10/8/2021
Mechanical	M1.03	Mechanical Schedules	10/8/2021
Mechanical	M1.04	Mechanical Schedules	10/8/2021
Mechanical	M1.05	Mechanical Schedules	10/8/2021
Mechanical	M1.06	Mech. Vent. Calcs	10/8/2021
Mechanical	M1.07	Mechanical Zoning Plan	10/8/2021
Mechanical	M2.10	Mechanical Ductwork Overall Floor Plan	10/8/2021
Mechanical	M2.11	Mechanical Ductwork Plan - Sector A	10/8/2021
Mechanical	M2.12	Mechanical Ductwork Plan - Sector B	10/8/2021
Mechanical	M2.13	Mechanical Ductwork Plan - Sector C	10/8/2021
Mechanical	M2.14	Mechanical Ductwork Plan - Sector D	10/8/2021
Mechanical	M2.20	Mechanical Ductwork Overall Roof Plan	10/8/2021
Mechanical	M2.21	Mechanical Ductwork Roof Plan - Sector A	10/8/2021
Mechanical	M2.22	Mechanical Ductwork Roof Plan - Sector B	10/8/2021
Mechanical	M2.23	Mechanical Ductwork Roof Plan - Sector C	10/8/2021
Mechanical	M2.24	Mechanical Ductwork Roof Plan - Sector D	10/8/2021
Mechanical	M3.10	Mechanical Overall Piping Floor Plan	10/8/2021
Mechanical	M3.11	Mechanical Piping Plan - Sector A	10/8/2021
Mechanical	M3.12	Mechanical Piping Plan - Sector B	10/8/2021
Mechanical	M3.20	Mechanical Piping Overall Roof Plan	10/8/2021
Mechanical	M4.01	Mechanical Details	10/8/2021
Mechanical	M4.02	Mechanical Details	10/8/2021
Mechanical	M4.03	Mechanical Details	10/8/2021
Mechanical	M4.04	Mechanical Piping Schematics	10/8/2021
Mechanical	M4.05	Mechanical Sequence Of Operations	10/8/2021
Mechanical	M4.06	Mechanical Sequence Of Operations	10/8/2021
Electrical	E0.00	Electrical Cover Sheet	10/8/2021
Electrical	E1.01	Overall Electrical Site Plan	10/8/2021
Electrical	E1.02	Enlarged Electrical Site Plan - East	10/8/2021
Electrical	E1.03	Enlarged Electrical Site Plan - West	10/8/2021
Electrical	E1.10	Overall - Electrical Floor Plan	10/8/2021
Electrical	E2.10	Sector A - Electrical Power Plan	10/8/2021
Electrical	E2.11	Sector B - Electrical Power Plan	10/8/2021

Exhibit A - Attachment A
11/18/2021

Fulton County Animal Services

WINTER JOHNSON
GROUP



<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Electrical	E2.12	Sector C - Electrical Power Plan	10/8/2021
Electrical	E2.13	Sector D - Electrical Power Plan	10/8/2021
Electrical	E2.20	West Side - Electrical Roof Plan	10/8/2021
Electrical	E2.21	East Side - Electrical Roof Plan	10/8/2021
Electrical	E3.10	Sector A - Electrical Lighting Plan	10/8/2021
Electrical	E3.11	Sector B - Electrical Lighting Plan	10/8/2021
Electrical	E3.12	Sector C - Electrical Lighting Plan	10/8/2021
Electrical	E3.13	Sector D - Electrical Lighting Plan	10/8/2021
Electrical	E6.01	Electrical One-Line Diagram	10/8/2021
Electrical	E6.02	Technology Riser Diagram	10/8/2021
Electrical	E7.01	Electrical Schedules	10/8/2021
Electrical	E7.10	Electrical Panel Schedules	10/8/2021
Electrical	E7.11	Electrical Panel Schedules	10/8/2021
Electrical	E7.12	Electrical Panel Schedules	10/8/2021
Electrical	E7.13	Electrical Panel Schedules	10/8/2021
Electrical	E7.14	Electrical Panel Schedules	10/8/2021
Electrical	E8.01	Electrical Lighting Schedules	10/8/2021
Electrical	E8.02	Lighting Control Schedules & Details	10/8/2021
Electrical	E9.00	Electrical Lighting Compliance	10/8/2021
Electrical	T0.00	Technology General Notes	10/8/2021
Electrical	T1.01	Technology Site Plan	10/8/2021
Electrical	T2.10	Sector A - Technology Plan	10/8/2021
Electrical	T2.11	Sector B - Technology Plan	10/8/2021
Electrical	T2.12	Sector C - Technology Plan	10/8/2021
Electrical	T2.13	Sector D - Technology Plan	10/8/2021
Electrical	T2.20	Technology Enlarged Plans	10/8/2021
Electrical	T3.20	AV Detail Sheet	10/8/2021
Electrical	T3.21	AV Detail Sheet	10/8/2021
Electrical	T3.22	AV Detail Sheet	10/8/2021
Electrical	T3.23	AV Detail Sheet	10/8/2021
Electrical	T3.24	AV Detail Sheet	10/8/2021
Electrical	T4.00	Technology Schedules	10/8/2021
Electrical	T5.01	Technology Riser Diagram	10/8/2021
Electrical	T5.02	AV Detail Sheet	10/8/2021
Electrical	T5.03	AV Detail Sheet	10/8/2021
Electrical	T5.04	AV Detail Sheet	10/8/2021
Electrical	T6.01	Technology Detail	10/8/2021
Electrical	T6.02	Technology Detail	10/8/2021
Electrical	T6.03	Technology Detail	10/8/2021
Electrical	T6.04	AV Detail Sheet	10/8/2021
Plumbing	P1.01	Plumbing Cover Sheet	10/8/2021
Plumbing	P1.02	Plumbing General Notes	10/8/2021
Plumbing	P1.03	Plumbing Equipment Schedules	10/8/2021
Plumbing	P1.04	Plumbing Equipment Schedules	10/8/2021
Plumbing	P2.10	Overall Underground Plumbing Plan	10/8/2021
Plumbing	P2.11	Underground Plumbing Plan - Sector A	10/8/2021
Plumbing	P2.12	Underground Plumbing Plan - Sector B	10/8/2021
Plumbing	P2.13	Underground Plumbing Plan - Sector C	10/8/2021
Plumbing	P2.14	Underground Plumbing Plan - Sector D	10/8/2021
Plumbing	P2.20	Plumbing Overall Main Floor Plan	10/8/2021
Plumbing	P2.21	Plumbing Main Floor Plan - Sector A	10/8/2021
Plumbing	P2.22	Plumbing Main Floor Plan - Sector B	10/8/2021
Plumbing	P2.23	Plumbing Main Floor Plan - Sector C	10/8/2021
Plumbing	P2.24	Plumbing Main Floor Plan - Sector D	10/8/2021
Plumbing	P2.30	Plumbing Overall Roof Plan	10/8/2021
Plumbing	P2.31	Plumbing Roof Plan - Sector A	10/8/2021
Plumbing	P2.32	Plumbing Roof Plan - Sector B	10/8/2021
Plumbing	P2.33	Plumbing Roof Plan - Sector C	10/8/2021
Plumbing	P2.34	Plumbing Roof Plan - Sector D	10/8/2021
Plumbing	P3.00	Enlarged Medical Gas Plan - Sector B	10/8/2021
Plumbing	P3.01	Enlarged Plumbing Plans	10/8/2021
Plumbing	P3.02	Plumbing Details	10/8/2021
Plumbing	P4.00	Plumbing Details	10/8/2021
Plumbing	P4.01	Plumbing Details	10/8/2021
Plumbing	P4.02	Plumbing Details	10/8/2021

Exhibit A - Attachment A
11/18/2021

Fulton County Animal Services

WINTER JOHNSON
GROUP



<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Plumbing	P5.00	Overall Waste And Vent Isometric	10/8/2021
Plumbing	P5.01	Overall Domestic Water Isometric	10/8/2021
Plumbing	P5.10	Enlarged Plumbing Isometrics - Sector A1	10/8/2021
Plumbing	P5.11	Enlarged Plumbing Isometrics - Sector A2	10/8/2021
Plumbing	P5.12	Enlarged Plumbing Isometrics - Sector B1	10/8/2021
Plumbing	P5.13	Enlarged Plumbing Isometrics - Sector B2	10/8/2021
Plumbing	P5.14	Enlarged Plumbing Isometrics - Sector C1	10/8/2021
Plumbing	P5.15	Enlarged Plumbing Isometrics - Sector C2	10/8/2021
Plumbing	P5.16	Enlarged Plumbing Isometrics - Sector D1	10/8/2021
Plumbing	P5.17	Enlarged Plumbing Isometrics - Sector D2	10/8/2021
Plumbing	P5.18	Natural Gas Piping Isometric	10/8/2021
Fire Protection	FP1.0	Fire Sprinkler General Info & Site Plan	10/8/2021
Fire Protection	FP1.1	Fire Sprinkler Hanger Details	10/8/2021
Fire Protection	FP2.0	Fire Sprinkler Piping Plan Overall	10/8/2021
Fire Protection	FP2.1	Fire Sprinkler Piping Plan Sector A	10/8/2021
Fire Protection	FP2.2	Fire Sprinkler Piping Plan Sector B	10/8/2021
Fire Protection	FP2.3	Fire Sprinkler Piping Plan Sector C	10/8/2021
Fire Protection	FP2.4	Fire Sprinkler Piping Plan Sector D	10/8/2021
Fire Alarm	FA1.10	Overall Floor Plan	10/8/2021
Fire Alarm	FA1.11	Fire Alarm Plan - Sector A	10/8/2021
Fire Alarm	FA1.12	Fire Alarm Plan - Sector B	10/8/2021
Fire Alarm	FA1.13	Fire Alarm Plan - Sector C	10/8/2021
Fire Alarm	FA1.14	Fire Alarm Plan - Sector D	10/8/2021
Landscape	L1.0	Landscape Plan - West	10/8/2021
Landscape	L2.0	Landscape Plan - East	10/8/2021
Landscape	L3.0	Landscape Plan Enlargement	10/8/2021
Landscape	L4.0	Landscape Notes And Schedule	10/8/2021
Landscape	L5.0	Landscape Details	10/8/2021

11/18/2021

Specifications Log: 21-123 - Fulton County Animal Services

Project Owner: Fulton County Government
Architect: PGAL
Project Number: 21-123

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
000000	Covers	10/08/2021		
000103	Design Team	10/08/2021		
000105	Table Of Contents	10/08/2021		
000107.01	Certification And Seal Sheet - Architectural	10/08/2021		
000107.02	Certification And Seal Sheet - Structural	10/08/2021		
000107.04	Certification And Seal Sheet - Plumbing	10/08/2021		
000107.05	Certification And Seal Sheet - Mechanical	10/08/2021		
000107.06	Certification And Seal Sheet - Electrical	10/08/2021		
000107.07	Certification And Seal Sheet - Civil	10/08/2021		
000107.08	Certification And Seal Sheet - Landscape Architect	10/08/2021		
011000	Summary (pgal)	10/08/2021		
012500	Substitution Procedures (pgal)	10/08/2021		
012600	Contract Modification Procedures (pgal)	10/08/2021		
012900	Payment Procedures (pgal)	10/08/2021		
013100	Project Management And Coordination (pgal)	10/08/2021		
013200	Construction Progress Documentation (pgal)	10/08/2021		
013233	Photographic Documentation (pgal)	10/08/2021		
013300	Submittal Procedures (pgal)	10/08/2021		
014000	Quality Requirements (pgal)	10/08/2021		
014200	References (pgal)	10/08/2021		
014533	Structural Testing And Special Inspections Services (sci)	10/08/2021		
015000	Temporary Facilities And Controls (pgal)	10/08/2021		
016000	Product Requirements (pgal)	10/08/2021		
017300	Execution (pgal)	10/08/2021		
017700	Closeout Procedures (pgal)	10/08/2021		
017823	Operation And Maintenance Data (pgal)	10/08/2021		
017839	Project Record Documents (pgal)	10/08/2021		
017900	Demonstration And Training (pgal)	10/08/2021		
018113	Sustainability Requirements (ice)	10/08/2021		
018114	LEED Scorecard And Responsibility Matrix (ice)	10/08/2021		
018115	Sustainability Materials Coversheet (SMC) (ice)	10/08/2021		
018118	Indoor Air Quality Requirements (ice)	10/08/2021		
018119	Construction And Demolition Waste Management Plan (ice)	10/08/2021		
018120	LEED Material Performance Requirements (ice)	10/08/2021		
019113	General Commissioning Requirements (eg)	10/08/2021		
027920	Loose-Fill Rubber Mulch Surfacing (aa)	10/08/2021		
031000	Concrete Forming And Accessories (sci)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
032000	Concrete Reinforcing (sci)	10/08/2021		
033000	Cast-In-Place Concrete (sci)	10/08/2021		
033543	Polished Concrete Finishing (pgal)	10/08/2021		
033660	Sealed Concrete (aa)	10/08/2021		
042000	Unit Masonry (pgal)	10/08/2021		
042200	Concrete Unit Masonry (sci)	10/08/2021		
051200	Structural Steel Framing (sci)	10/08/2021		
051213	Architecturally Exposed Structural Steel Framing (sci)	10/08/2021		
052100	Steel Joist Framing (sci)	10/08/2021		
053100	Steel Decking (sci)	10/08/2021		
054000	Cold-Formed Metal Framing (sci)	10/08/2021		
055000	Metal Fabrications (pgal)	10/08/2021		
061000	Rough Carpentry (aa)	10/08/2021		
061600	Sheathing (pgal)	10/08/2021		
064116	Plastic-Laminate-Faced Architectural Cabinets (aa)	10/08/2021		
066400	Plastic Paneling (pgal)	10/08/2021		
068300	Composite Siding (pgal)	10/08/2021		
068313	Thermoplastic Resin Panels (pgal)	10/08/2021		
071113	Bituminous Dampproofing	10/08/2021		
072100	Thermal Insulation	10/08/2021		
072726	Fluid-Applied Membrane Air Barriers	10/08/2021		
074213.13	Formed Metal Wall Panels	10/08/2021		
074213.23	Metal Composite Material Wall And Soffit Panels	10/08/2021		
075423	Thermoplastic-Polyolefin (TPO) Roofing	10/08/2021		
076200	Sheet Metal Flashing And Trim	10/08/2021		
077100	Roof Specialties	10/08/2021		
077129	Manufactured Roof Expansion Joints	10/08/2021		
077200	Roof Accessories	10/08/2021		
078413	Penetration Firestopping	10/08/2021		
078446	Joint Resistant Joint Systems (aa)	10/08/2021		
079200	Joint Sealants (aa)	10/08/2021		
079219	Acoustical Joint Sealants (aa)	10/08/2021		
079513.13	Interior Expansion Joint Cover Assemblies	10/08/2021		
079513.16	Exterior Expansion Joint Cover Assemblies	10/08/2021		
081113	Hollow Metal Doors And Frames (aa)	10/08/2021		
081613	Fiberglass Reinforced Doors And Frames (pgal)	10/08/2021		
083113	Access Doors And Frames (pgal)	10/08/2021		
083323	Overhead Coiling Doors (pgal)	10/08/2021		
083330	Overhead Coiling Grilles (aa)	10/08/2021		
083613	Sectional Doors (aa)	10/08/2021		
084113	Aluminum-Framed Entrances And Storefronts (pgal)	10/08/2021		
084243	Traffic Doors (aa)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
084413	Glazed Aluminum Curtain Walls (pgal)	10/08/2021		
085313	Sliding Windows (aa)	10/08/2021		
086250	Tubular Daylighting Devices (aa)	10/08/2021		
087100	Door Hardware (pgal)	10/08/2021		
088000	Glazing (aa)	10/08/2021		
092216	Interior Non-Structural Metal Framing (aa)	10/08/2021		
092900	Gypsum Board (aa)	10/08/2021		
093000	Tiling (aa)	10/08/2021		
095113	Acoustical Panel Ceilings (aa)	10/08/2021		
096513	Resilient Base And Accessories (aa)	10/08/2021		
096516	Resilient Sheet Flooring (pgal)	10/08/2021		
096517	Resilient Sheet Safety Flooring (aa)	10/08/2021		
096723	Resinous Flooring (aa)	10/08/2021		
097200	Wall Coverings (pgal)	10/08/2021		
098433	Sound-Absorbing Wall Units (aa)	10/08/2021		
099113	Exterior Painting (pgal)	10/08/2021		
099123	Interior Painting (pgal)	10/08/2021		
099600	High-Performance Coatings (aa)	10/08/2021		
101000	Slatwall Display Wall (aa)	10/08/2021		
101100	Visual Display Units (pgal)	10/08/2021		
101419	Dimensional Letter Signage (pgal)	10/08/2021		
101423	Panel Signage (pgal)	10/08/2021		
102113.17	Phenolic-Core Toilet Partitions (pgal)	10/08/2021		
102219	Demountable Partitions (pgal)	10/08/2021		
102226	Operational Partitions (aa)	10/08/2021		
102600	Wall And Door Protection (aa)	10/08/2021		
102800	Toilet And Bath Accessories (pgal)	10/08/2021		
104413	Fire Extinguisher Cabinets (aa)	10/08/2021		
104416	Fire Extinguishers (aa)	10/08/2021		
105113	Metal Lockers (aa)	10/08/2021		
107316.06	Metal Entrance Canopies (pgal)	10/08/2021		
111200	Parking Control Equipment (pgal)	10/08/2021		
111323	Portable Dock Equipment (pgal)	10/08/2021		
112000	Animal Care Equipment (aa)	10/08/2021		
113100	Appliances (pgal)	10/08/2021		
114000	Foodservice Equipment (aa)	10/08/2021		
115213	Projection Screens (pgal)	10/08/2021		
122413	Roller Window Shades (aa)	10/08/2021		
123616	Metal Countertops (aa)	10/08/2021		
123623.13	Plastic-Laminate-Clad Countertops (aa)	10/08/2021		
123661	Solid-Surface-Material Countertops And Sills (aa)	10/08/2021		
123662	Quartz Agglomerate Countertops And Sills (aa)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
133423	Prefabrication Barns (aa)	10/08/2021		
211000	Fire Suppression (tec)	10/08/2021		
220010	General Requirements (2020)	10/08/2021		
220513	Common Motor Requirements For Plumbing Equipment (2020)	10/08/2021		
220516	Expansion Fittings And Loops For Plumbing Piping (2020)	10/08/2021		
220517	Sleeves And Sleeve Seals For Plumbing Piping (2020)	10/08/2021		
220518	Escutcheons For Plumbing Piping (2020)	10/08/2021		
220519	Meters And Gages For Plumbing Piping (2020)	10/08/2021		
220523.12	Ball Valves For Plumbing Piping (2020)	10/08/2021		
220523.13	Butterfly Valves For Plumbing Piping (2020)	10/08/2021		
220523.14	Check Valves For Plumbing Piping (2020)	10/08/2021		
220529	Hangers And Supports For Plumbing Piping And Equipment (2020)	10/08/2021		
220553	Identification For Plumbing Piping And Equipment (2020)	10/08/2021		
220593	Testing, Adjusting, And Balancing For Plumbing (2020)	10/08/2021		
220719	Plumbing Piping Insulation (2020)	10/08/2021		
220800	Plumbing Systems Commissioning (eg)	10/08/2021		
220963	Medical Gas Alarms (2020)	10/08/2021		
221116	Domestic Water Piping (2020)	10/08/2021		
221119	Domestic Water Piping Specialties (2020)	10/08/2021		
221123.21	Inline, Domestic-Water Pumps (2020)	10/08/2021		
221316	Sanitary Waste And Vent Piping (2020)	10/08/2021		
221330	Sand-Oil Interceptors (2020)	10/08/2021		
221413	Facility Storm Drainage Piping (2020)	10/08/2021		
221623	Facility Natural-Gas Piping (2020)	10/08/2021		
223400	Fuel-Fired, Domestic-Water Heaters (2020)	10/08/2021		
224213	Commercial Plumbing Fixtures (2020)	10/08/2021		
226313	Gas And Vacuum Piping For Animal Healthcare Facilities (2020)	10/08/2021		
230010	General Requirements (2020)	10/08/2021		
230513	Common Motor Requirements For HVAC Equipment (2020)	10/08/2021		
230517	Sleeves And Sleeve Seals For HVAC Piping (2020)	10/08/2021		
230529	Hangers And Supports For HVAC Piping And Equipment (2020)	10/08/2021		
230713	Duct Insulation (2020)	10/08/2021		
230719	HVAC Piping Insulation (2020)	10/08/2021		
230800	Mechanical Systems Commissioning (eg)	10/08/2021		
230923	Direct Digital Control (DDC) System For HVAC (2020)	10/08/2021		
232113	Hydronic Piping (2020)	10/08/2021		
232116	Hydronic Piping Specialties (2020)	10/08/2021		
232123	Hydronic Pumps (2020)	10/08/2021		
232300	Video Surveillance (aed)	10/08/2021		
233113	Metal Ducts (2020)	10/08/2021		
233413	Grilles, Registers, And Diffusers (2020)	10/08/2021		
233423	Fans (2020)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
233600	Air Terminal Units (2020)	10/08/2021		
235216	Condensing Boilers (2020)	10/08/2021		
236423.05	Air-Cooled, Heat Recovery Chillers (2020)	10/08/2021		
237223	Outdoor, Air-Handling Units (2020)	10/08/2021		
237223.29	Packaged, Outdoor, Fixed Plate Energy Recovery Units (2020)	10/08/2021		
237343.01	Packages, Outdoor, HW-CW Coil, Dedicated Outdoor Air Units (2020)	10/08/2021		
238126	Ductless Split-System Air-Conditioners (2020)	10/08/2021		
238239.17	Propeller Unit Heaters (2020)	10/08/2021		
260500	Common Work Results For Electrical (aed)	10/08/2021		
260519	Low-Voltage Electrical Power Conductors And Cables (aed)	10/08/2021		
260526	Grounding And Bonding For Electrical Systems (aed)	10/08/2021		
260529	Hangers And Supports For Electrical Systems (aed)	10/08/2021		
260533	Raceways And Boxes For Electrical Systems (aed)	10/08/2021		
260553	Identification For Electrical Systems (aed)	10/08/2021		
260800	Electrical Systems Commissioning (eg)	10/08/2021		
262213	Low-Voltage Distribution Transformers (aed)	10/08/2021		
262413	Switchboards (aed)	10/08/2021		
262416	Panelboards (aed)	10/08/2021		
262726	Wiring Devices (aed)	10/08/2021		
262813	Fuses (aed)	10/08/2021		
262816	Enclosed Switches And Circuit Breakers (aed)	10/08/2021		
263213.14	Diesel Engine Generators (aed)	10/08/2021		
263600	Transfer Switches (aed)	10/08/2021		
264113	Lightning Protection For Structures (aed)	10/08/2021		
265119	LED Interior Lighting (aed)	10/08/2021		
265219	Emergency And Exit Lighting (aed)	10/08/2021		
265619	LED Exterior Lighting (aed)	10/08/2021		
270526	Grounding And Bonding For Communications Systems (aed)	10/08/2021		
270536	Cable Trays For Communications Systems (aed)	10/08/2021		
271100	Communications Equipment Room Fittings (aed)	10/08/2021		
271313	Communications Copper Backbone Cabling (aed)	10/08/2021		
271333	Communications Coaxial Backbone Cabling (aed)	10/08/2021		
271513	Communications Copper Horizontal Cabling (aed)	10/08/2021		
271533	Communications Coaxial Horizontal Cabling (aed)	10/08/2021		
274100	Audio-Visual Systems (aed)	10/08/2021		
274122	Cabling For Audio-Visual Systems (aed)	10/08/2021		
274181	Audio-Visual Control System (aed)	10/08/2021		
281300	Access Control (aed)	10/08/2021		
281305	Video Intercom System (aed)	10/08/2021		
284621.11	Addressable Fire-Alarm Systems (tec)	10/08/2021		
311000	Site Clearing (lowe)	10/08/2021		
311200	Aggregate Piers (sci)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
312000	Earth Moving (lowe)	10/08/2021		
312210	Building Earthwork (sci)	10/08/2021		
313116	Termite Control (pgal)	10/08/2021		
321216	Asphalt Paving (lowe)	10/08/2021		
321313	Concrete Paving (lowe)	10/08/2021		
321400	Unit Paving (pgal)	10/08/2021		
321813	Synthetic Grass Surfacing (aa)	10/08/2021		
323110	Ornamental Fencing (aa)	10/08/2021		
323113	Chain Link Fences And Gates (aa)	10/08/2021		
323119	Decorative Fences And Gates (pgal)	10/08/2021		
323120	Paddock Fencing (aa)	10/08/2021		
329223	Sodding (gf)	10/08/2021		
329310	Landscape Plantings (gf)	10/08/2021		
334200	Stormwater Conveyance (lowe)	10/08/2021		



GEOTECHNICAL EXPLORATION REPORT

Fulton County Animal Services Building

Fulton Industrial Boulevard

Atlanta, Georgia

Lot Number: 17 0268 LL0317

Prepared for:

Department of Real Estate and Asset Management

Fulton County Government Center

141 Pryor Street, SW

Suite 6001

Atlanta, Georgia 30303

Prepared by:

Wood Environment & Infrastructure Solutions, Inc.

2677 Buford Hwy. NE

Atlanta, GA 30324

July 2, 2020

Project No. 6162-20-1408

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Atlanta, Georgia 30324
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July 2, 2020

Mr. Bill Mason
Facilities Program Manager
Department of Real Estate and Asset Management
Fulton County Government Center
141 Pryor Street, SW
Suite 6001
Atlanta, Georgia 30303

Subject: **Report of Geotechnical Exploration
Fulton County Animal Services Building
Fulton Industrial Boulevard
Atlanta, Georgia
Wood Project: 6162201408**

Dear Mr. Mason:

Wood Environment and Infrastructure Solutions, Inc. (Wood) is pleased to submit this report of Geotechnical Exploration for above-referenced property in Atlanta, Fulton County, Georgia. This exploration was conducted in general accordance with Wood's Proposal dated March 13, 2020.

This report briefly discusses our understanding of the project, describes our exploratory procedures and results, and presents our conclusions and recommendations related to the project design and construction. We appreciate your selection of Wood for this project and look forward to assisting you further on this and other projects. If you have any questions, please contact us.

Sincerely,

Wood Environment & Infrastructure Solutions, Inc.

A handwritten signature in black ink, appearing to read "Kayla Andrews".

Kayla Andrews, E.I.T.
Geotechnical Specialist

A handwritten signature in blue ink, appearing to read "Pieter DePree".

Pieter DePree, PE
Sr. Assoc. Geotechnical Engineer



Exhibit A - Attachment C Fulton County Animal Shelter

Fulton County Animal Services Building
Atlanta, Georgia
Geotechnical Investigation Report

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GEOTECHNICAL EXPLORATION REPORT

Proposed Project: Fulton County Animal Services Building
Fulton Industrial Boulevard
Atlanta, GA

1.0 INTRODUCTION

Wood has completed a geotechnical exploration for the proposed construction of the new Fulton County Animal Services Building (FCASB), located on Fulton Industrial Boulevard in Atlanta, Georgia. The objective of the exploration was to assess the subsurface conditions in the area of the proposed new development and to analyze these conditions as they relate to foundation design and construction. This report briefly discusses our understanding of the project, describes our exploratory procedures and presents our conclusions and recommendations.

1.1 SITE DESCRIPTION

We understand the following based on documents provided by Don Green of CBRE-Heery. The site is a triangular shaped, approximately 44.2-acre parcel located just east of Charlie Brown Airport along Fulton Industrial Boulevard, west of Bolton Road (see Figure 1). It is bounded to the northwest by Fulton Industrial Boulevard, to the east by a power line easement, and to the south by undeveloped tracts that are part of a runway protection zone for the airport and which contain a drainage feature.

The site is undeveloped and partially wooded with a thick growth of young trees. Aerial photos show no evidence of significant previous development or grading but indicate the site was cleared in 2014-15 and large amounts of mulch were left around the site surface. Much of this mulch remains on the site. Site grades vary from high points around elevation 826 feet in the northern corner sloping down to the south and southwest to a low point of about 782 feet in a drainage at the extreme south corner.

1.2 PROJECT DESCRIPTION

The building will be a large (roughly 500 by 200 feet out-to-out), single-story, metal frame structure facing Fulton Industrial Boulevard with parking areas to the northeast and southwest (see Figure 2). A barn will be located near the southwestern corner of the site. Landscape areas, including outdoor exercise yards, will be located in front of and behind the building. Detailed grading information is not yet available, but the finished floor elevation is anticipated to be about 806 feet elevation (NGVD) and surrounding drives, parking, and yard areas will likely be near this, such that excavation up to about 20 feet and fill up to about 15 feet is anticipated to level the site. Excavation for utility trenches is also likely. We are not aware of plans for basements, but site retaining walls to allow grade changes around the building to better match existing site topography are likely and may be up to 15 feet high. Building load details were not provided but we anticipate column loads of 200 kips or less and wall loads of 5 kips per linear foot based on experience with similar construction.

1.3 FIELD EXPLORATION

Fifteen soil test borings were drilled to depths between 22 and 30 feet. Standard penetration tests were performed using a CME-55 drill rig utilizing and automatic hammer. The boring locations

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were located in the field by a geotechnical engineer using coordinates obtained from Google Earth and a handheld GPS unit with a positional error of about 15 feet. Boring elevations were interpolated based on the provided site topographic plan. Since these methods are imprecise, the boring elevations and the boring locations (shown on the Boring Location Plan, Figure 2) should be considered approximate.

The Soil Test Boring Records in the Appendix graphically show the penetration resistances and present the soil descriptions for selected SPT borings. The stratification lines and depth designations on the boring records represent the approximate boundaries between soil types. Transitions between soils may be gradual. Brief descriptions of the exploratory drilling and sampling techniques used are presented in the Field and Laboratory Procedures section of the Appendix.

2.0 SUBSURFACE CONDITIONS

The subsurface conditions discussed in the following paragraphs and those shown on the Soil Test Boring Records represent an interpretation of the boring and other data using normally accepted geotechnical engineering judgments considering local geology and experience.

2.1 AREA AND SITE GEOLOGY

The project site is in the Piedmont Physiographic Province, an area underlain by metamorphic rocks with localized igneous intrusions. The residual soils encountered in the Piedmont are the product of in-place chemical and physical weathering of the parent rock. Typically, weathering is most advanced at the surface and decreases with depth. This results in a residual soil profile consisting of slightly clayey soils near the surface underlain by sandy silts and silty sands that generally become harder or denser and coarser with depth to the top of the unweathered bedrock. In deeper residual soil strata, known as saprolites, the banded structural appearance of the parent rock is typically evident.

The boundary between soil and rock in the Piedmont is typically not sharply defined. A transitional zone termed "partially weathered rock" is normally found overlying bedrock. Partially weathered rock (PWR) is arbitrarily defined for engineering purposes as residual material with a standard penetration resistance exceeding 100 blows per foot (bpf). Weathering is facilitated by fractures, joints, and by the presence of less resistant rock types. Consequently, the surface elevation of PWR and unweathered rock can vary significantly over short horizontal distances. Lenses and boulders of hard rock and zones of PWR may be present within the soil mantle, above the general bedrock level.

2.2 SITE STRATIGRAPHY

Table 1, below and the following paragraphs describe subsurface conditions encountered in our exploration. The boring logs in the Appendix represent our interpretation of the subsurface conditions encountered based on the driller's field logs and the engineer's examination of the samples. The groundwater condition indicated on the boring logs represent observations at the time of drilling. The lines designating the interfaces between various strata represent approximate boundaries only, as transition between materials may be gradual. Soil conditions may vary between and away from boring locations. Soil samples will be discarded after 30 days from the date of this report.

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Table 1: Summary of Boring Results

Boring ID	Surface Elevation (ft)	Soils <6 bpf Elev. (ft)	Groundwater Elevation (ft)	PWR Elevation (ft)	Termination Elevation (ft)
B-1	805	793-799	NE	NE	775
B-2	812	799-804	NE	NE	782
B-3	812	NE	798	NE	782
B-4	809	798-803	NE	NE	779
B-5	806	795-803	790	789	776
B-6	808	796-808	792	786	778
B-7	803	NE	NE	786	773
B-8	799	794-797	NE	791	769
B-9	810	NE	795	783	780
B-10	801	793-798	789	NE	771
B-11	797	789-794	NE	770	767
B-12	792	NE	779	775	770(AR)
B-13	801	790-798	789	NE	778(AR)
B-14	820	NE	804	NE	790
B-15	826	810-814	NE	NE	796

AR-Auger Refusal

NE-Not encountered (for GW, none encountered shortly after completion)

2.2.1 Topsoil

Approximately 3-8 inches of organic topsoil was encountered in most borings. Site clearing in 2014-15 likely removed topsoil in some areas. None of the borings was located in areas of apparent mulch disposal. The now 5-year-old mulch is likely degraded significantly but will add to the topsoil quantity on site. For planning, we suggest an assumption of 1 foot of topsoil, mulch, and root/stump removal across the site.

2.2.2 Residual Soils

Residual soils were typical of the area, composed of sandy silt near the surface transitioning to silty sand with depth and were encountered in all the borings below the surface/topsoil. SPT N-values in these soils ranged from 3 to 46 blows per foot (bpf). Significant layers of soil with SPT N-values of 5 or below were encountered in two thirds of the borings and appear to range from about 3 to 12 feet thick. Some low consistency surficial soils were not included in this total.

2.2.3 Partially Weathered Rock and Refusal Materials

Borings 5-9 (within the building footprint) as well as 11 and 12 encountered PWR at elevations as high as 789 feet. Borings 12 and 13, located southeast of the building in a lower part of the site, encountered auger refusal at depths of 22 and 23 feet. Refusal in the residual profile is typically interpreted as the upper surface of sound, massive rock, though it may represent a seam or boulder of hard rock. The elevation of the surface of PWR and rock in the Piedmont can vary significantly over short horizontal distances, so PWR and rock may occur at shallower depths between or away from the borings. Boulders, seams, and masses of rock may occur in the soil mantle above the general rock elevation, though it is rare for weak, soft, or highly compressible soils to occur beneath such seams in the Piedmont geology.

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2.2.4 Groundwater

All the borings were completed in a single day (using 2 drilling rigs) so that stabilized groundwater levels were not obtained. Drilling occurred following several days of wet weather. Groundwater was encountered most of the borings. The expectation for natural conditions is that groundwater will mimic the surface gradients but be slightly deeper beneath ridges and hills and shallower in valleys. This trend is apparent, though elevated levels in B-5 and B-6 may be due to increased infiltration due to poor drainage/increased infiltration resulting from the piles of mulch. Groundwater levels can fluctuate with changes in weather and local drainage.

3.0 CONCLUSIONS AND RECOMMENDATIONS

The following conclusions and recommendations are based on the previously discussed project information, our observations at the site, interpretation of the field data obtained during the exploration, and our experience with similar subsurface conditions.

3.1 SITE PREPARATION

All vegetation, including root systems, topsoil, and deleterious materials, notably the mulch present in most of the site, should be cleared and stripped from areas to be excavated or that will receive fill, foundations, or pavements. These materials should be disposed of as allowed by the local jurisdiction. Topsoil and mulch as well as mulched vegetation may be re-used in landscape areas, if consistent with establishment of erosion control grassing. We recommend against burial of any organic matter at the site.

After stripping, proofrolling should be performed with a fully-loaded, tandem-axle, dump truck or pneumatic tired vehicle of similar size and weight. The geotechnical engineer or his representative should observe proofrolling to observe site conditions. Proofrolling should be performed after a period of dry weather. Unstable materials detected should be stabilized as directed by the engineer based on conditions and planned development of the area. Such treatment may include stabilization in place, excavation and replacement, or densification. Where the low consistency soils are encountered at or near the surface, thorough densification using compaction equipment will likely be required, possibly with some scarification and moisture conditioning.

3.2 EXCAVATION

Substantial site grading is anticipated. Soils can generally be excavated using conventional equipment (excavators, pan scrapers, loaders). PWR and rock may be encountered at any depth but are increasingly likely in deeper excavations. PWR typically requires ripping with a single tooth ripper on a large trackhoe (CAT 325) or crawler tractor (CAT D-8) for mass excavation. The ripping may take advantage of existing seams and weaknesses in the mass. In confined excavation, such as the edges or trenches, ripping may be more difficult and pneumatic tools or blasting may be required. Hard rock typically requires loosening by blasting for removal. Due to the substantially higher costs associated with blast rock removal, we recommend ripping or other measures be used until demonstrated to be ineffective before blasting begins. Use of loose soil or blast mats over the rock should be considered to control fly rock. Drilling and blasting through overburden increasing the confinement and is likely to result in higher overall costs and vibrations.

3.3 GROUND AND SURFACE WATER CONTROLS

Groundwater may be encountered in deeper excavations but can typically be controlled with sumps. Groundwater may not be immediately apparent during excavation but will accumulate in

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the excavation bottom over time or overnight. Seepage may soften/weaken subgrades. Therefore, we recommend groundwater be controlled by means of sumps or trenches to maintain groundwater levels at least 3 feet below the bottom of the excavation at intermediate points between sumps or trenches. Groundwater flows are likely to be limited to a few gallons per minute by the relatively low permeability and transmissivity of the soils.

Positive site drainage should be maintained at all times and excavations should be protected from surface water accumulation. Any ponded water should be pumped or drained expeditiously to avoid degradation of subgrade.

3.4 FILL PLACEMENT

Fill to raise grades, backfill trenches, or replace over-excavated areas should be low to moderate plasticity soil (PI less than 30), free of deleterious materials and rock fragments larger than 6 inches in any dimension. Rock fragments should be rare and sufficient soil should be present to completely separate and fill voids between them. Site soils should meet these requirements. Excavated PWR can generally be pulverized into acceptable fill by trafficking with heavy equipment. Hard rock (blast rock fragments) are typically too large for re-use in fill and would require special crushing operations that are typically not justified on projects of this size. Therefore, blast rock should be used on the surface in landscape areas, for outlet protection in stormwater ponds, etc. or wasted off site. We recommend against burial of blast rock boulders.

Fill should be placed in thin (8-inch-thick loose measure) lifts and compacted to at least 95 percent of the soil's maximum dry density as determined by the standard Proctor compaction test (ASTM D 698) at moisture contents as required to achieve compaction, but in no case more than 3 percent above or below optimum moisture as determined by the standard Proctor test. The upper 2 feet of fill beneath foundations, slabs, or pavements should be compacted to 98 percent. Where access or other limitations require use of light compaction equipment, such as in utility trench excavations, the lift thickness should be reduced to achieve the required degree of compaction throughout the layer. All fill should be placed in horizontal lifts which are adequately keyed into the prepared and scarified subgrade soils.

The grading contractor have equipment on site during earthwork for both drying and wetting fill. Wood does not anticipate difficulty in controlling moisture within the fill during dry weather, but moisture control may be difficult during winter or extended periods of rain.

3.5 LOW CONSISTENCY SOILS

Significant zones of low consistency soils were encountered in many of the borings and may occur randomly across the site. These soils are likely to compress under load. Grading may remove some of these soils and others may be buried deeply under planned fill. Placement of fill over such soils may result in significant settlement due to compression of these zones. Therefore, we recommend using settlement plates (see detail in Appendix) to monitor settlement of significant fill areas (area fills greater than 5 feet thick). The settlement may be several inches, enough to impact site grading quantities. Construction of settlement sensitive elements, such as buildings, gravity utilities, etc. should be delayed until the fill settlement is largely complete, which may be typically about 6-10 weeks after completion of the fill.

3.6 FOUNDATION RECOMMENDATIONS

We anticipate the proposed building can be founded on shallow, spread footings, though much of the building will require treatment of the low consistency soils. If the soils are removed by grading

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and/or buried more than about 1.5 to 2 times the footing width under fill beneath the footing, the impact on footings will be minimal. But where footings bear within that distance above the low consistency soils, treatment will be required. Treatment may include general undercut and replacement (reuse of the low consistency soils with moisture conditioning and compaction should generally be feasible), undercut of footings and replacement with compacted #57 stone placed in 12 inch lifts and compacted by tamping with the backhoe bucket, or use of aggregate piers.

Aggregate piers are installed by specialty contractors using various methods and described as rammed aggregate piers, stone columns, Vibropiers, Geopiers or others. The concept is to replace some of the soil with compacted aggregate which improves the surrounding soil and allows support of shallow footings designed for bearing pressures of 5,000 to 6,000 psf. The specialty contractor normally does the design and provides a warranty on the settlement. The aggregate piers typically replace about 20-30 percent of the bearing area to a depth below the low-consistency zone or at least about twice the footing width, so likely 10-20 feet for this project.

Numerous other ground improvement methods are available (dynamic compaction, preloading, grouting, etc.) but aggregate piers are likely the most practical for this project.

Alternately, the footings could be designed based on a presumptive bearing pressure of 3,000 psf and the geotechnical engineer can evaluate each footing independently. If low consistency soils are detected that would produce unacceptable settlements, the engineer will recommend undercut and replacement. Undercut would extend 1 foot around the footing. Replacement would be with compacted ASTM 57 stone, placed in 12-inch loose lifts and compacted remotely by tamping with the backhoe bucket. This approach may be cumbersome for large numbers of footings but may be cost-effective compared to the more general aggregate pier treatment if only a few footings are expected to be treated.

3.7 RETAINING WALLS

No specific information was provided for on site or below grade walls planned for this site, but it is anticipated that the site will likely step down to the southwest and south, so may require site walls up to about 15 feet high as well as possible dock walls in the loading dock area. Lateral earth pressure parameters for a typical fill material (sandy silt/silty sand) compacted as outlined in the fill section of this report are summarized in Table 2, below. These assume the ground is level above and below the walls and that buildings, pavements, or other surcharge loads are at least 10 feet from the top of walls and that the walls have drainage systems to prevent back up of groundwater or surface water behind the walls:

Table 2. Lateral Earth Pressure Parameters

Earth Pressure Condition	Earth Pressure Coefficient	Recommended Equivalent Fluid Unit Weight (pcf)
Active	$K_a = 0.39$	50
At-Rest	$K_0 = 0.56$	73
Passive	$K_p = 1.3$	150

A coefficient of friction of 0.4 may be considered between the wall foundation and the soils. Wall settlement may be impacted by the low consistency soils and treatment as per building foundations should be considered. Mechanically Stabilized Earth walls, typically constructed by placing a fill reinforced with geogrids and faced with concrete blocks, are cost-effective and commonly used in fill areas. If site soils are used, we recommend an angle of internal friction of 26 degrees and a unit

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weight of 130 pcf for the backfill (compacted per the above) and foundation. MSE walls are flexible and may withstand settlements due to the low-consistency soils better than concrete cantilever walls. In excavations, soil nail walls may be considered. The design concept is similar to MSE, but the construction uses using top-down methods during excavation. Tensile reinforcing bars are installed into the excavation face to a distance of about 0.7 or 0.8 times the wall height, typically on a 4 to 5-foot centers. A facing of shotcrete is then applied over a drainage system. Design may consider the same parameters as for MSE walls. MSE and soil nail walls are typically design build options installed by specialty contractors.

3.8 SLABS

Floor slabs on grade should be typical of the area. A modulus of subgrade reaction of about 100 pounds per cubic inch (pci) should be available for slab support of generally light (pedestrian/office) loads on a properly prepared soil subgrade as discussed in the site preparation section above. The floor slab design should include a capillary break, comprised of free draining, compacted, granular material, at least 4 inches thick. In our experience, the granular material helps provide more even support and improved slab performance. A vapor retarder is recommended under floor slabs to limit moisture entry into the building. Slabs should be jointed along walls and around columns to reduce the risk of cracking due to differential settlement. Jointing and reinforcement should follow ACI.

Floor slabs should be structurally independent of any building footings or walls to reduce the possibility of floor slab cracking caused by differential movements between the slab and foundation. Narrower, turned down slab-on-grade foundations may be utilized at the approval of the structural engineer. The slabs should be appropriately reinforced to support the proposed loads.

3.9 PAVEMENT RECOMMENDATIONS

A California Bearing Ratio (CBR) value of 3 may be considered for well-prepared subgrade consisting of site soils. Pavements for parking and driveways restricted to automobile traffic typically consist of 2 inches of asphaltic concrete over a 6-inch graded aggregate base. Pavements for truck traffic, such as garbage trucks, should be designed based on anticipated traffic but are typically thicker. Rigid Portland Cement Concrete (PCC) pavements are recommended for dumpster pads, loading docks, and other areas where heavy trucks maneuver or point loads are applied. We recommend a minimum PCC section of 8 inches of PCC with a flexural strength of at least 600 psi (typically about 4,000 psi concrete) over 4 inches of graded aggregate base.

A well-drained, uniform subgrade is critical to pavement performance. Sealing of pavement and joints is recommended, but experience shows that stormwater can typically reach the subgrade. The subgrade should be sloped to drain and GAB should be provided with outlets at the low edges or into drop inlets to prevent accumulation of water in the subgrade which can lead to saturation and softening.

3.10 SEISMIC DESIGN PARAMETERS

The International Building Code (IBC) 2012 provides six Site Class Definitions that range from hard rock (A) to potentially unstable soil (F). Each site class is described by the average shear wave velocity, standard penetration resistance, or soil undrained shear strength in the top 100 feet of the site profile. The shear wave velocity is related to the site column shear modulus, whereas the standard penetration resistance and undrained shear strength can be empirically related to the shear wave velocity. Each site class is associated with amplification factors that represent the

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effects that site stiffness (shear modulus) has on the presumed earthquake bedrock motion. Based on SPT results, we recommend design based on Site Class D. This can be reviewed once grading plans are more complete, and/or geophysical methods can be used to directly assess site shear wave velocities in the building, which may allow use of a higher site class.

4.0 QUALIFICATIONS OF RECOMMENDATIONS

This evaluation of foundation design and construction conditions has been based on our understanding of the site, the available project information, our assumptions and the data obtained during our field exploration as described herein. The recommendations in this report have been developed on the basis of the previously described project characteristics and subsurface conditions. As the design develops, we should be consulted to review and potentially revise these recommendations.

Regardless of the thoroughness of a subsurface exploration, there is the possibility that conditions will differ from those at the boring location, that conditions are not as anticipated by the designers, or that the construction process has altered the soil conditions. Therefore, experienced geotechnical engineers must observe earthwork and foundation construction to assess if the conditions anticipated in design actually exist.

Our professional services have been performed, our findings derived, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties either express or implied. This company is not responsible for the conclusions, opinions or recommendations of others based on these data.



APPENDIX

Figure 1 – Site Location Plan

Figure 2 – Boring Location Plan

Field and Laboratory Procedures

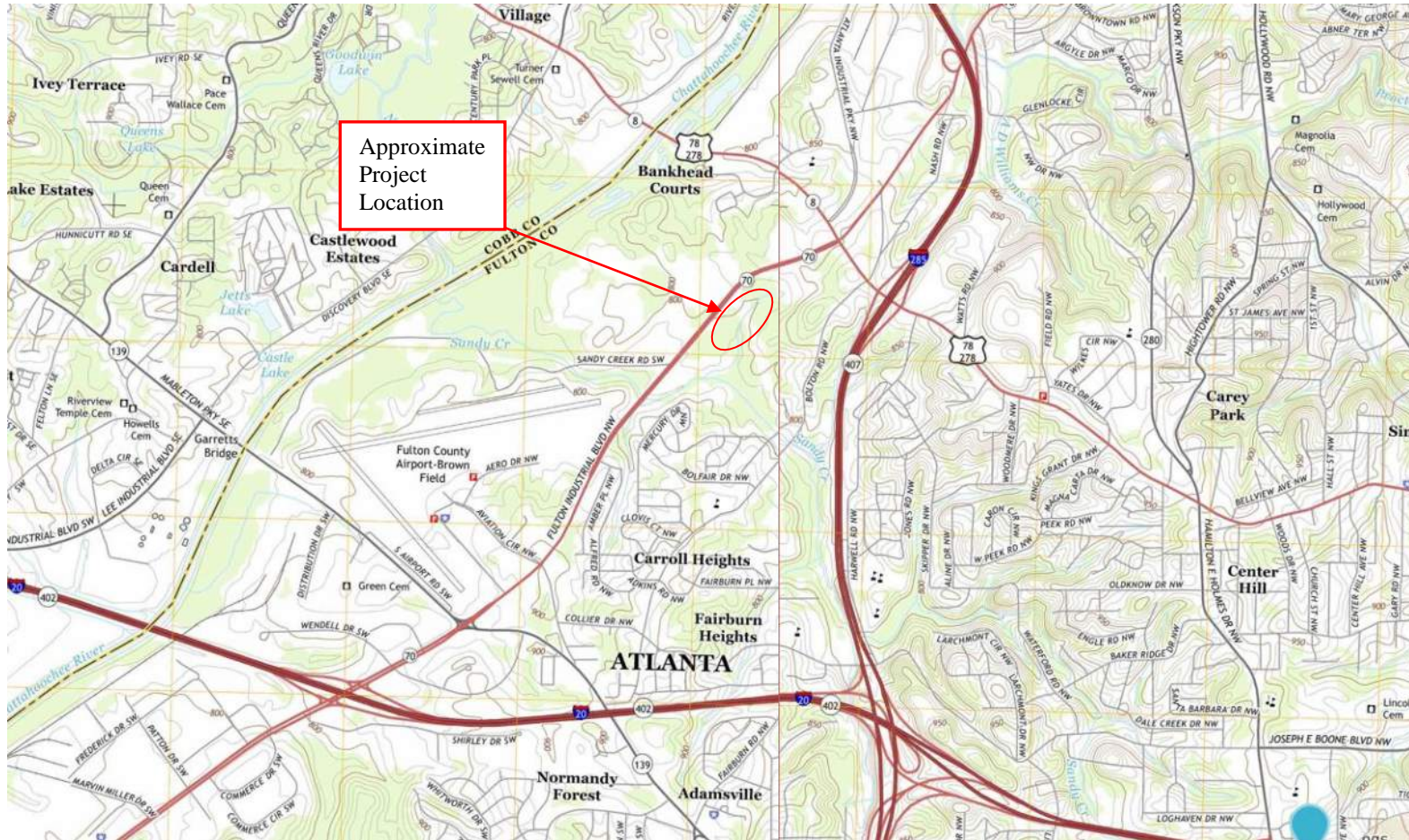
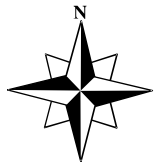
Key to Symbols and Descriptions

Soil Test Boring Records

GBA Information about Geotechnical Reports

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Fulton County Animal Shelter



Source: USGS, 2014 Northwest Atlanta, GA

NOT TO SCALE

**Fulton County Animal Services
Building
Industrial Boulevard
Atlanta, Georgia**



Wood Environment & Infrastructure Solutions, Inc.
2677 Buford Highway
Atlanta, Georgia 30324 (404) 873 4761

SITE LOCATION MAP

PROJECT: 6162201408

DATE: April 14, 2020

FIGURE 1

Exhibit A - Attachment C

Fulton County Animal Shelter



Source: PGAL Fulton County Animal Services Building: Approximate Geotechnical Boring Locations (3/19/2020)

● Approximate Boring Location

Fulton County Animal Services Building
 Industrial Boulevard
 Atlanta, Georgia

wood.
 Wood Environment & Infrastructure Solutions, Inc.
 2677 Buford Highway
 Atlanta, Georgia 30324 (404) 873 4761

BORING LOCATION PLAN

PROJECT: 6162201408

DATE: April 14, 2020

FIGURE 2

FIELD EXPLORATORY PROCEDURES

Field Operations: The general field procedures employed by Wood are summarized in ASTM D 420, which is entitled "Investigating and Sampling Soils and Rocks for Engineering Purposes." This recommended practice lists recognized methods for determining soil and rock distribution and groundwater conditions. These methods include geophysical and in situ methods as well as borings.

Borings are drilled to obtain subsurface samples using one of several alternate techniques depending upon the subsurface conditions. These techniques are:

- a. Continuous 2-1/2 or 3-1/4 inch I.D. hollow stem augers;
- b. Wash borings using roller cone or drag bits (mud or water);
- c. Continuous flight augers (ASTM D 1425).

These drilling methods are not capable of penetrating through material designated as "refusal materials." Refusal, thus indicated, may result from hard cemented soil, soft weathered rock, coarse gravel or boulders, thin rock seams, or the upper surface of sound continuous rock. Core drilling procedures are required to determine the character and continuity of refusal materials.

The subsurface conditions encountered during drilling are reported on a field test boring record by the chief driller. The record contains information concerning the boring method, samples attempted and recovered, indications of the presence of various materials such as coarse gravel, cobbles, etc., and observations between samples. Therefore, these boring records contain both factual and interpretive information. The field boring records are on file in our office.

The soil and rock samples and the field boring records are reviewed by a geotechnical engineer. The engineer classifies the soils in general accordance with the procedures outlined in ASTM D 2488 and prepares the final boring records that are the basis for all evaluations and recommendations.

The final boring records represent our interpretation of the contents of the field records based on the results of the engineering examinations and tests of the field samples. These records depict subsurface conditions at the specific locations and at the particular time when drilled. Soil conditions at other locations may differ from conditions occurring at these boring locations. Also, the passage of time may result in a change in the subsurface soil and groundwater conditions at these boring locations. The lines designating the interface between soil or refusal materials on the records and on profiles

represent approximate boundaries. The transition between materials may be gradual. The final boring records are included with this report.

The detailed data collection methods used during this study are discussed on the following pages.

Soil Test Borings: Soil test borings were made at the site at approximate locations shown on the attached Boring Location Plan. Soil sampling and penetration testing were performed in general accordance with ASTM D 1586.

Each boring was made by mechanically twisting a hollow-stem steel auger into the soil. At regular intervals, the drilling tools were removed and soil samples obtained with a standard 1.4-inch I.D., 2-inch O.D., split tube sampler. The sampler was first seated 6 inches to penetrate loose cuttings, then driven an additional foot with blows of a 140-pound hammer falling 30 inches. The number of hammer blows required to drive the sampler the final foot was recorded and is designated the "penetration resistance." The penetration resistance, when properly evaluated, is an index to the soil strength and foundation supporting capability.

Representative portions of the soil samples, thus obtained, were placed in glass jars and transported to the laboratory. In the laboratory, the samples were examined to evaluate the driller's field classifications. Test boring records are attached which graphically show the soil descriptions and penetration resistances.

Water Level Readings: Water table readings are normally taken in conjunction with borings and are recorded on the "Test Boring Records." These readings indicate the approximate location of the hydrostatic water table at the time of our field investigation. Where impervious soils are encountered (clayey soils) the amount of water seepage into the boring is small, and it is generally not possible to establish the location of the hydrostatic water table through water level readings. The groundwater table may also depend on the amount of precipitation at the site during a particular period. Fluctuations in the water table should be expected with variations in precipitation, surface run-off, evaporation and other factors.

The time of boring water level reported on the boring records is determined by field crews as the drilling tools are advanced. The time of boring water level is detected by changes in the drilling rate, soil samples obtained, etc. The readings are taken by dropping a weighted line down the boring or using an electrical probe to detect the water level surface.

Rock Coring: Core drilling procedures were utilized to determine the character and continuity of materials below the soil drilling refusal level. The core drilling procedure is performed in general accordance with ASTM designation D-2113-70. Initially, casing is set through the overburden soils to keep the hole from collapsing. Refusal materials are then cored with a diamond-studded bit fastened to the end of a hollow double-tube core barrel. This device is rotated at high speeds and is capable of cutting the hardest rock. The cuttings are brought to the surface by circulating water. Rock core samples of the materials penetrated are protected and retained in a swivel-mounted inner tube. Upon completion of the drill run, the core barrel is brought to the surface and the samples are removed and placed in core boxes. The samples are then returned to our laboratory where the rock is identified and the “recovery” and “rock quality designation” (RQD) are determined.

Rock Hardness descriptions are listed below:

Rock Hardness Descriptions

Very Hard	Rock core rings and can be made to spark when struck with a hammer
Hard	Rock core rings when struck with a hammer
Moderately Hard	Thin edges of rock core cannot be broken with fingers
Soft	Thin edges of rock core can be broken with fingers
Very Soft	Rock core crumbles when handled

The “recovery” is the ratio of the sample length to the length drilled, expressed as a percent. The “rock quality designation” (RQD) is the percent of recovered rock sample in segments four or more inches long compared to the total length of the run. This designation is generally applied only to samples of NX size or larger and to samples described as moderately hard or harder. The percent recovery and RQD are related to rock soundness and continuity. The NX size designates a bit which obtains core samples 2-1/8 inches in diameter.

Exhibit A - Attachment C

Fulton County Animal Shelter

MAJOR DIVISIONS			GROUP SYMBOLS	TYPICAL NAMES	Undisturbed Sample	Auger Cuttings				
COARSE GRAINED SOILS (More than 50% of material is LARGER than No. 200 sieve size)	GRAVELS (More than 50% of coarse fraction is LARGER than the No. 4 sieve size)	CLEAN GRAVELS (Little or no fines)	GW	Well graded gravels, gravel - sand mixtures, little or no fines.		Bulk Sample				
			GP	Poorly graded gravels or gravel - sand mixtures, little or no fines.				Crandall Sampler		
		GRAVELS WITH FINES (Appreciable amount of fines)	GM	Silty gravels, gravel - sand - silt mixtures.						Pressure Meter
			GC	Clayey gravels, gravel - sand - clay mixtures.						
	SANDS (More than 50% of coarse fraction is SMALLER than the No. 4 Sieve Size)	CLEAN SANDS (Little or no fines)	SW	Well graded sands, gravelly sands, little or no fines.						
			SP	Poorly graded sands or gravelly sands, little or no fines.						
		SANDS WITH FINES (Appreciable amount of fines)	SM	Silty sands, sand - silt mixtures						
			SC	Clayey sands, sand - clay mixtures.						
			SILTS AND CLAYS (Liquid limit LESS than 50)				ML	Inorganic silts and very fine sands, rock flour, silty of clayey fine sands or clayey silts and with slight plasticity.		
							CL	Inorganic lays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.		
SILTS AND CLAYS (Liquid limit GREATER than 50)		OL	Organic silts and organic silty clays of low plasticity.							
		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.							
		CH	Inorganic clays of high plasticity, fat clays							
HIGHLY ORGANIC SOILS		OH	Organic clays of medium to high plasticity, organic silts.							
		PT	Peat and other highly organic soils.							
FILL			Fill							

Correlation of Standard Penetration Resistance with Relative Density and Consistency			
SAND & GRAVEL		SILT & CLAY	
No. of Blows	Relative Density	No. of Blows	Consistency
0 - 4	Very Loose	0 - 2	Very Soft
5 - 10	Loose	3 - 4	Soft
11 - 30	Medium Dense	5 - 8	Firm
31 - 50	Dense	9 - 15	Stiff
Over 50	Very Dense	16 - 30	Very Stiff
		31 - 50	Hard
		Over 50	Very Hard

Correlation of Dynamic Cone Penetration Resistance with Relative Density and Consistency (Piedmont Residual Soils)			
SAND & GRAVEL		SILT & CLAY	
No. of Blows	Relative Density	No. of Blows	Consistency
0 - 4	Very Loose	0 - 2	Very Soft
5 - 15	Loose	3 - 4	Soft
16 - 30	Medium Dense	5 - 10	Firm
		11 - 30	Stiff

BOUNDARY CLASSIFICATIONS: Soils possessing characteristics of two groups are designated by combinations of group symbols.

SILT OR CLAY	SAND			GRAVEL			Cobbles	Boulders
	Fine	Medium	Coarse	Fine	Coarse			
	No.200	No.40	No.10	No.4	3/4"	3"	12"	

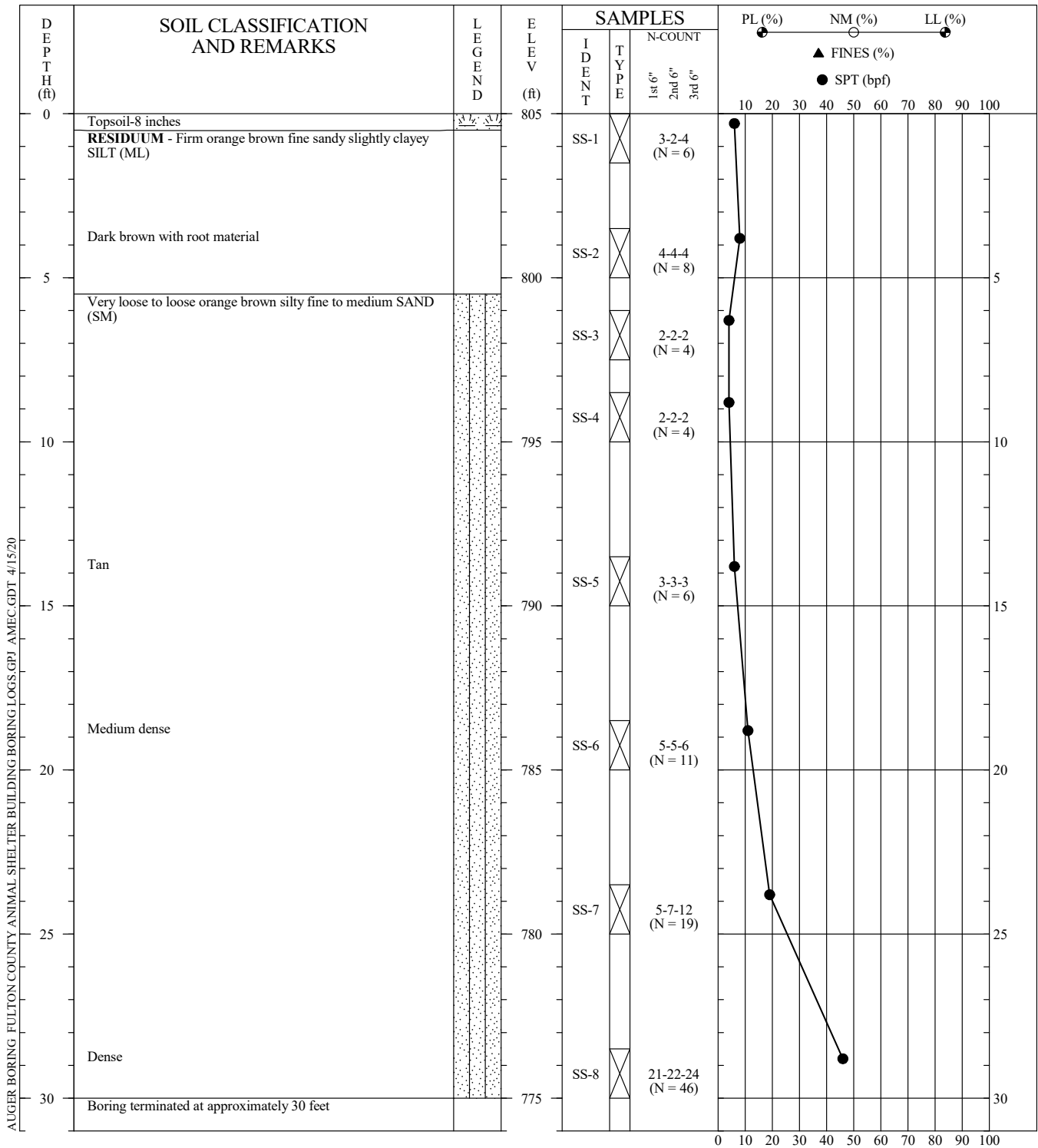
U.S. STANDARD SIEVE SIZE

KEY TO SYMBOLS AND DESCRIPTIONS



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

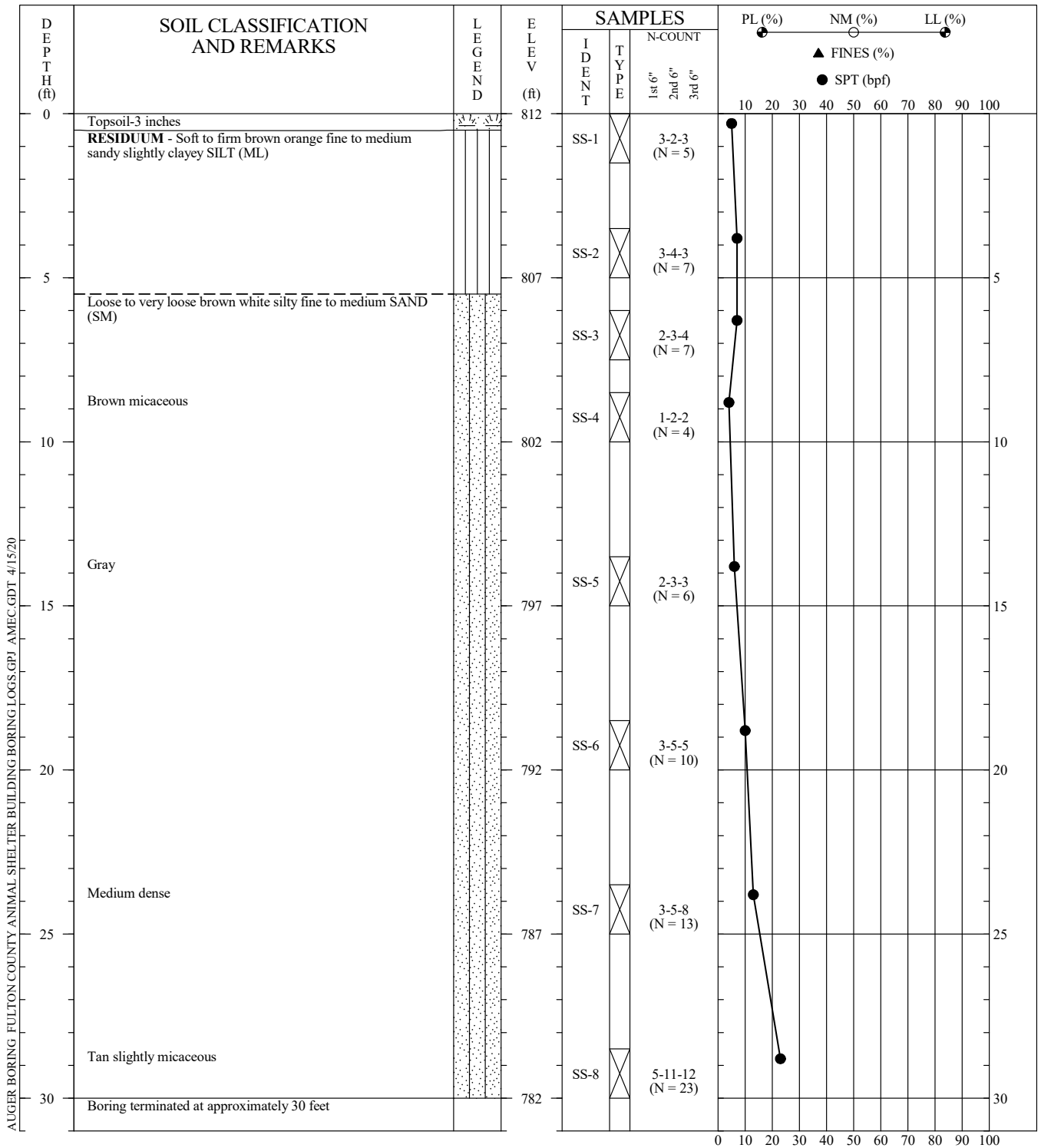
BORING NO.: B-1
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 **PAGE 1 OF 1**

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

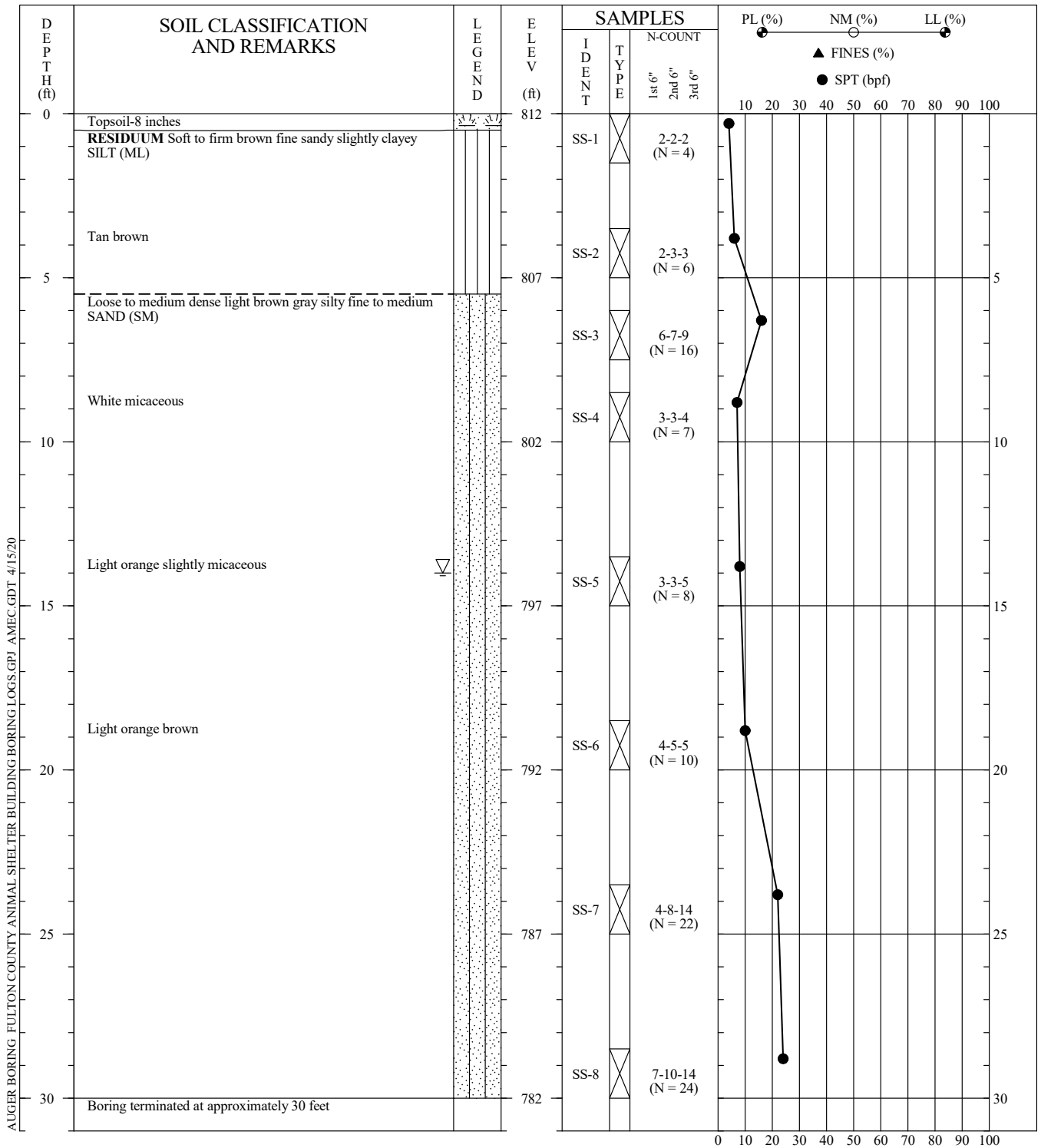
BORING NO.: B-2
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.

Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 14 feet at time of drilling

AUGER BORING RECORD

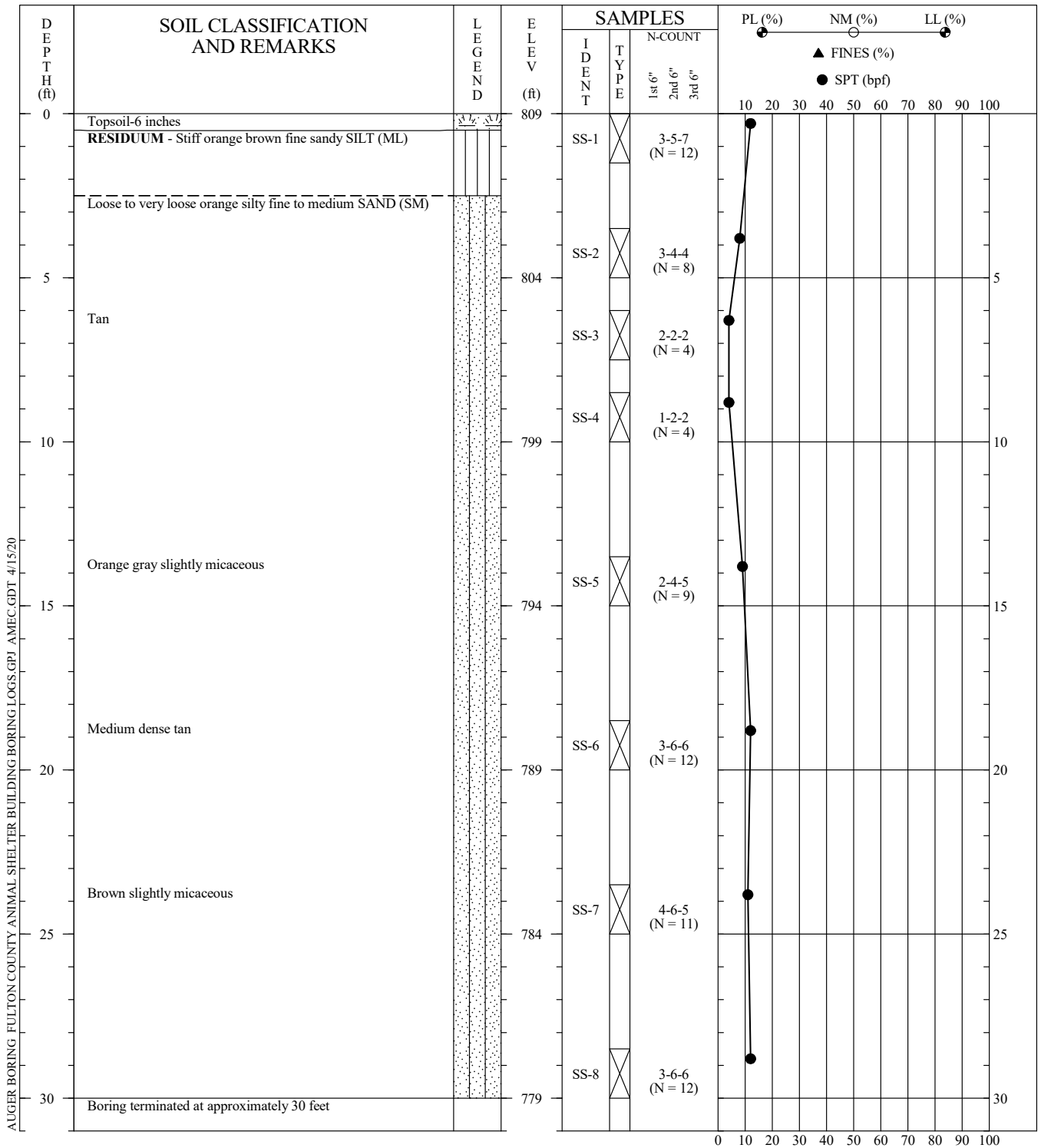
BORING NO.: B-3
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: No GW encountered during drilling

AUGER BORING RECORD

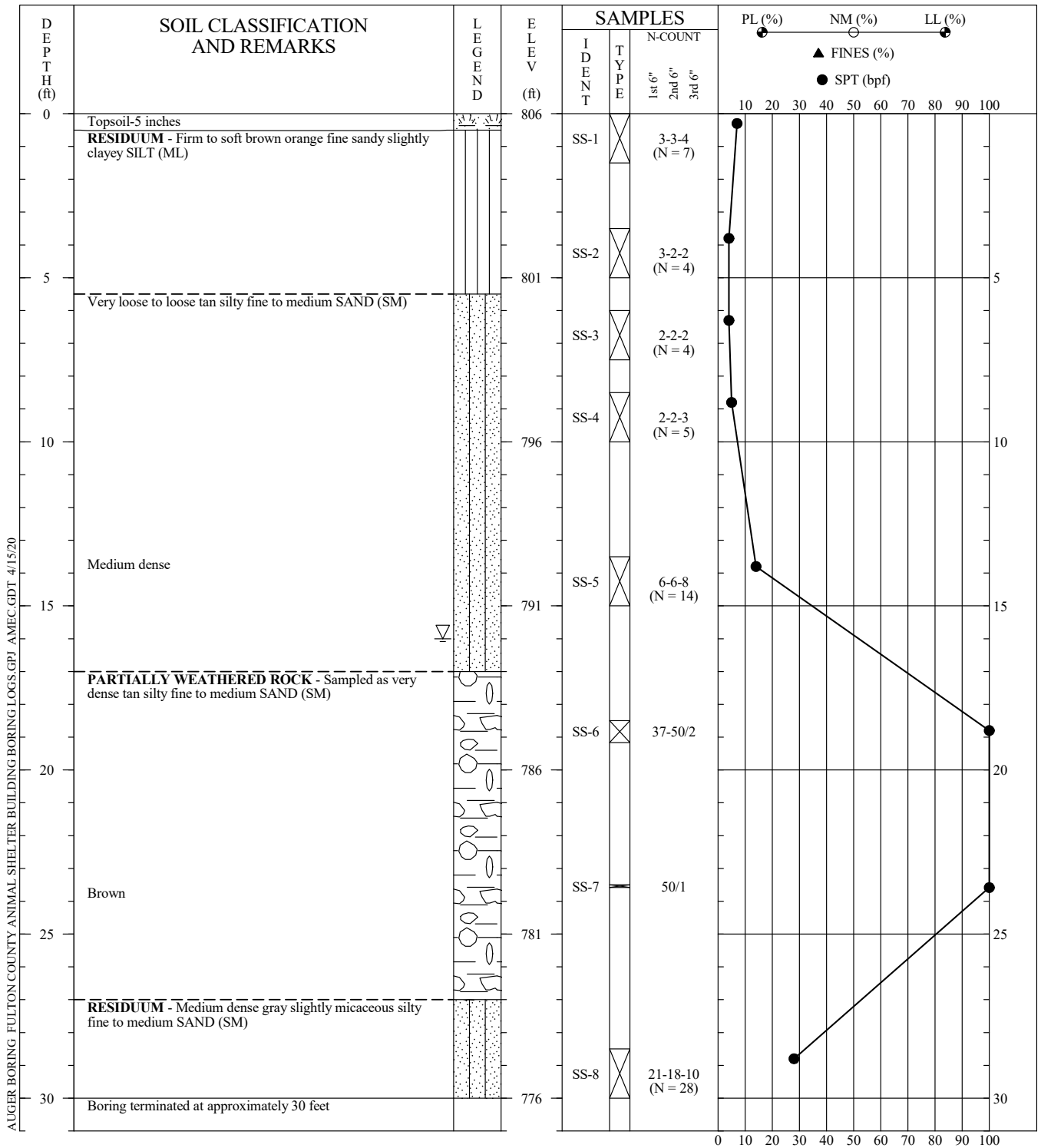
BORING NO.: B-4
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.

Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

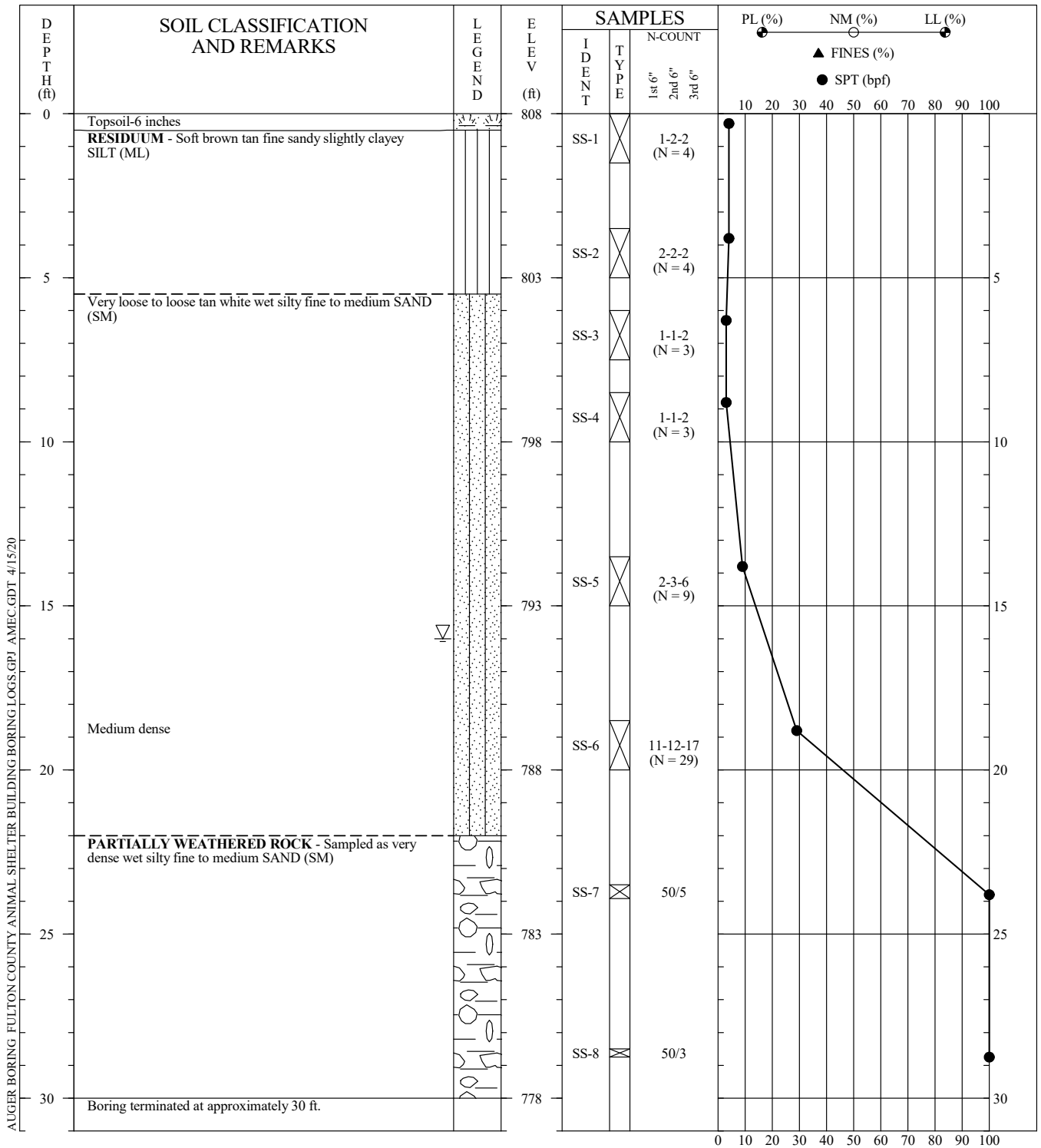
DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 16 feet at time of drilling

AUGER BORING RECORD	
BORING NO.:	B-5
PROJECT:	Fulton County Animal Services Building
LOCATION:	Atlanta, Georgia
DRILLED:	March 30, 2020
PROJECT NO.:	6162201408
PAGE 1 OF 1	

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.

Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 16 feet at time of drilling

AUGER BORING RECORD

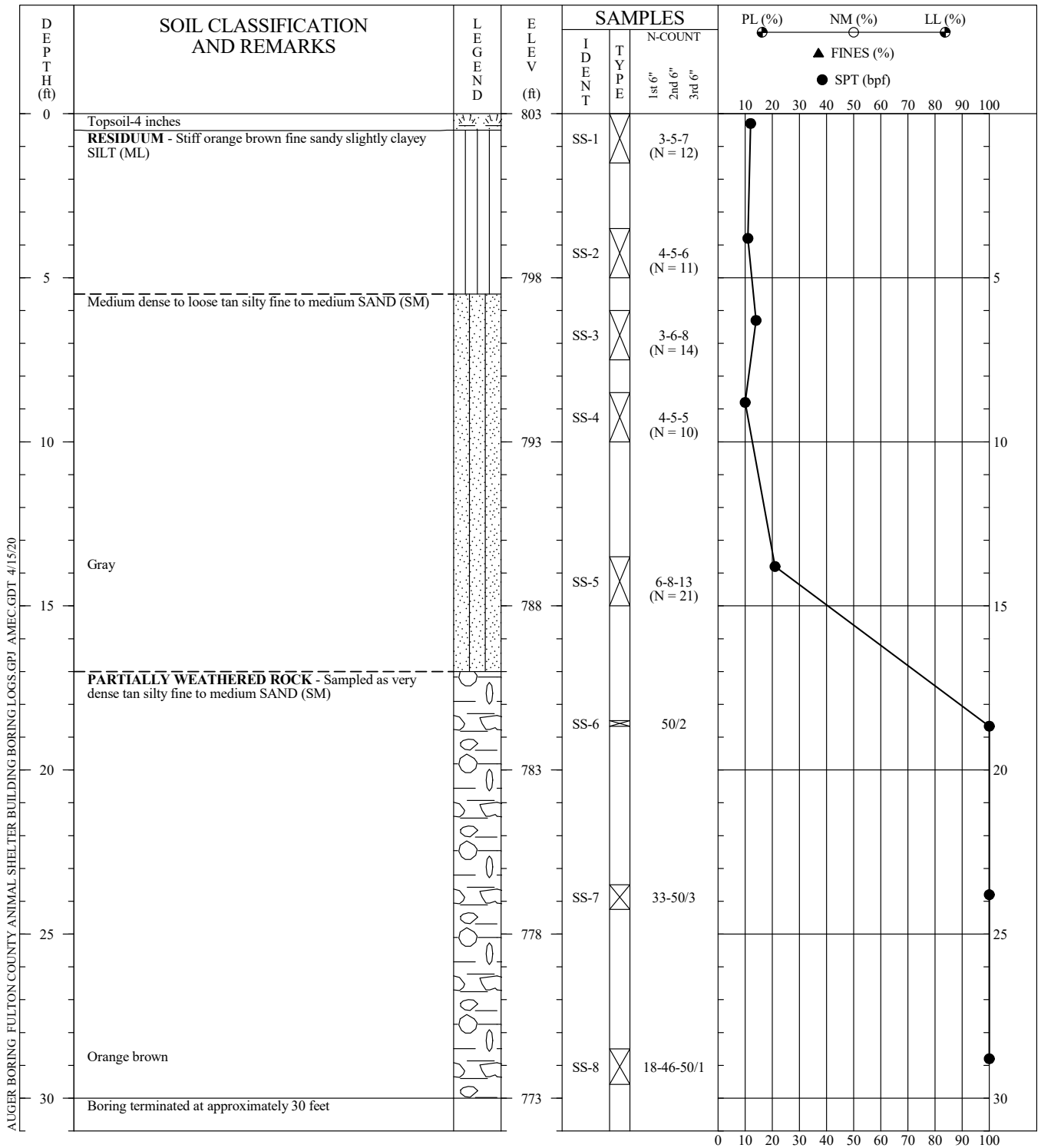
BORING NO.: B-6
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

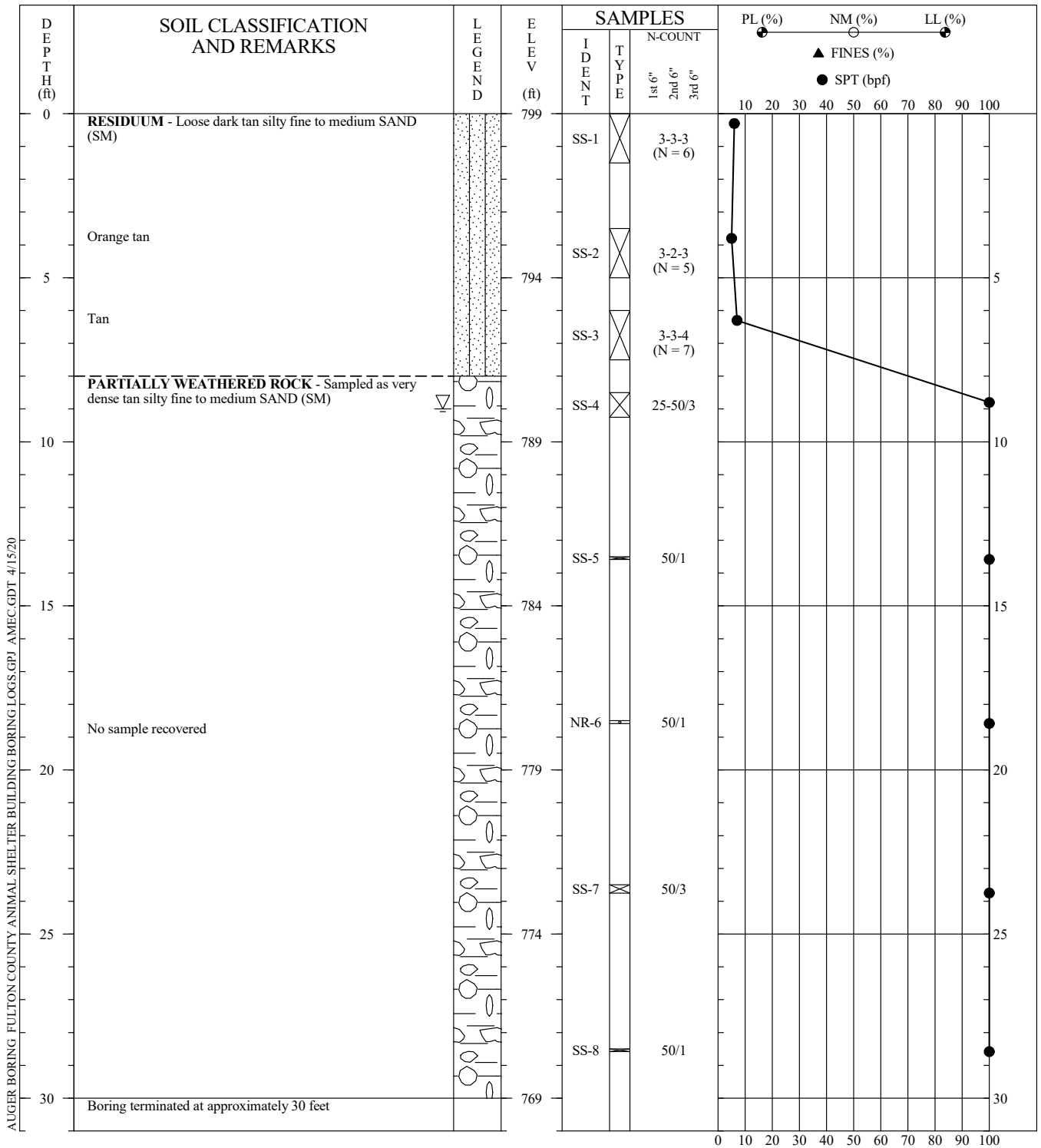
BORING NO.: B-7
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMECC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 9 feet at time of drilling

AUGER BORING RECORD

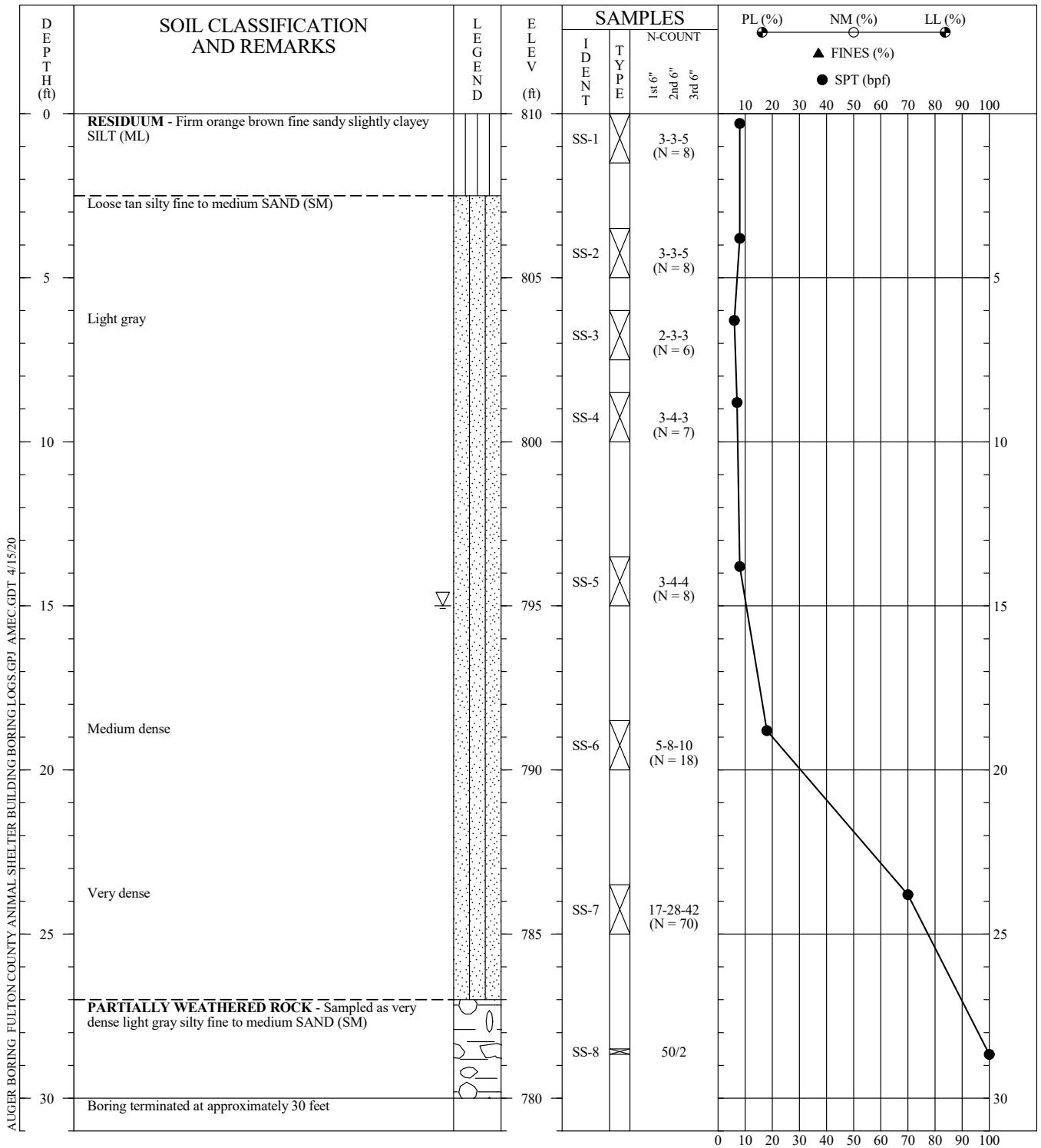
BORING NO.: B-8
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 15 feet at time of drilling

AUGER BORING RECORD

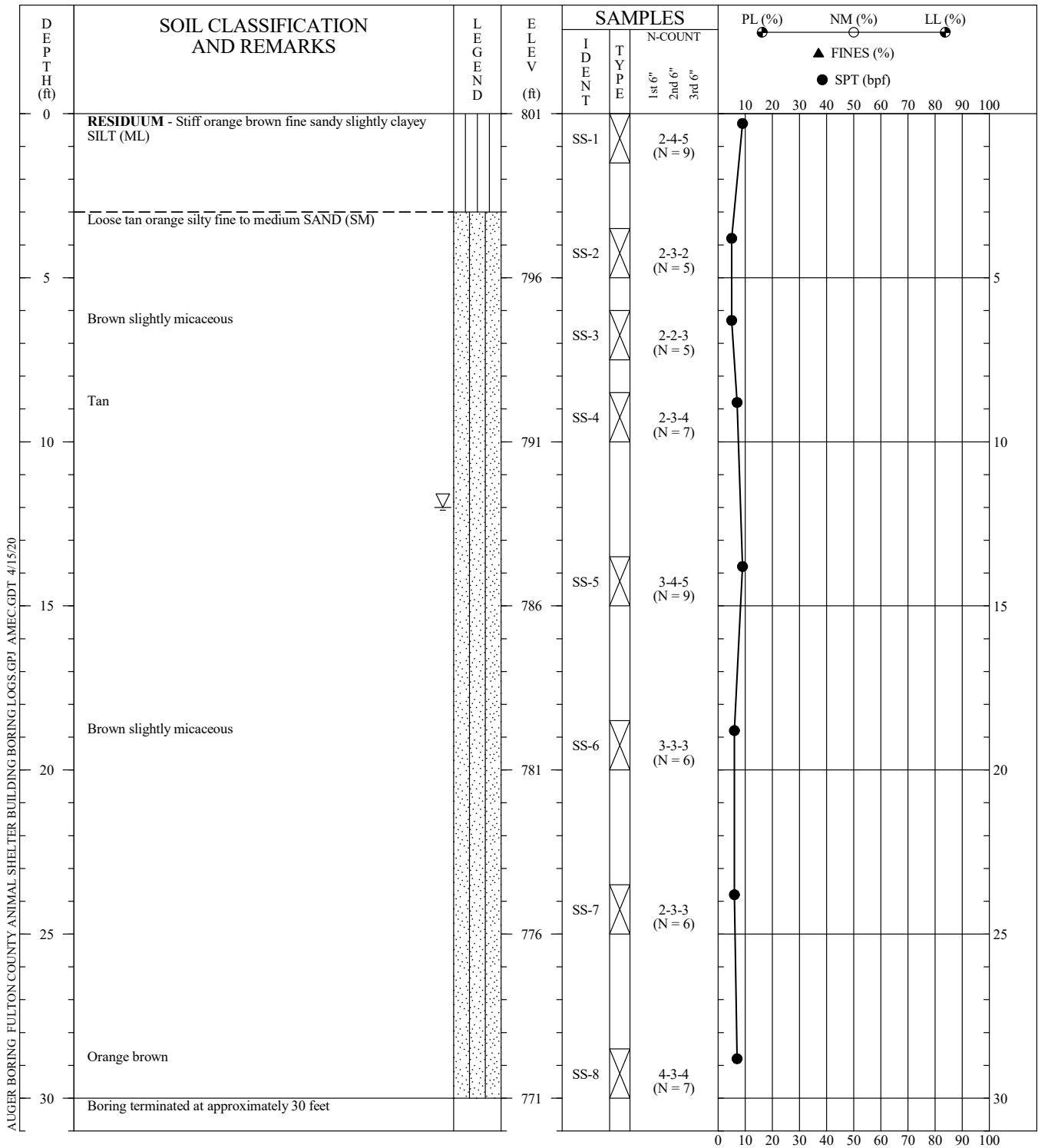
BORING NO.: B-9
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 12 feet during drilling

AUGER BORING RECORD

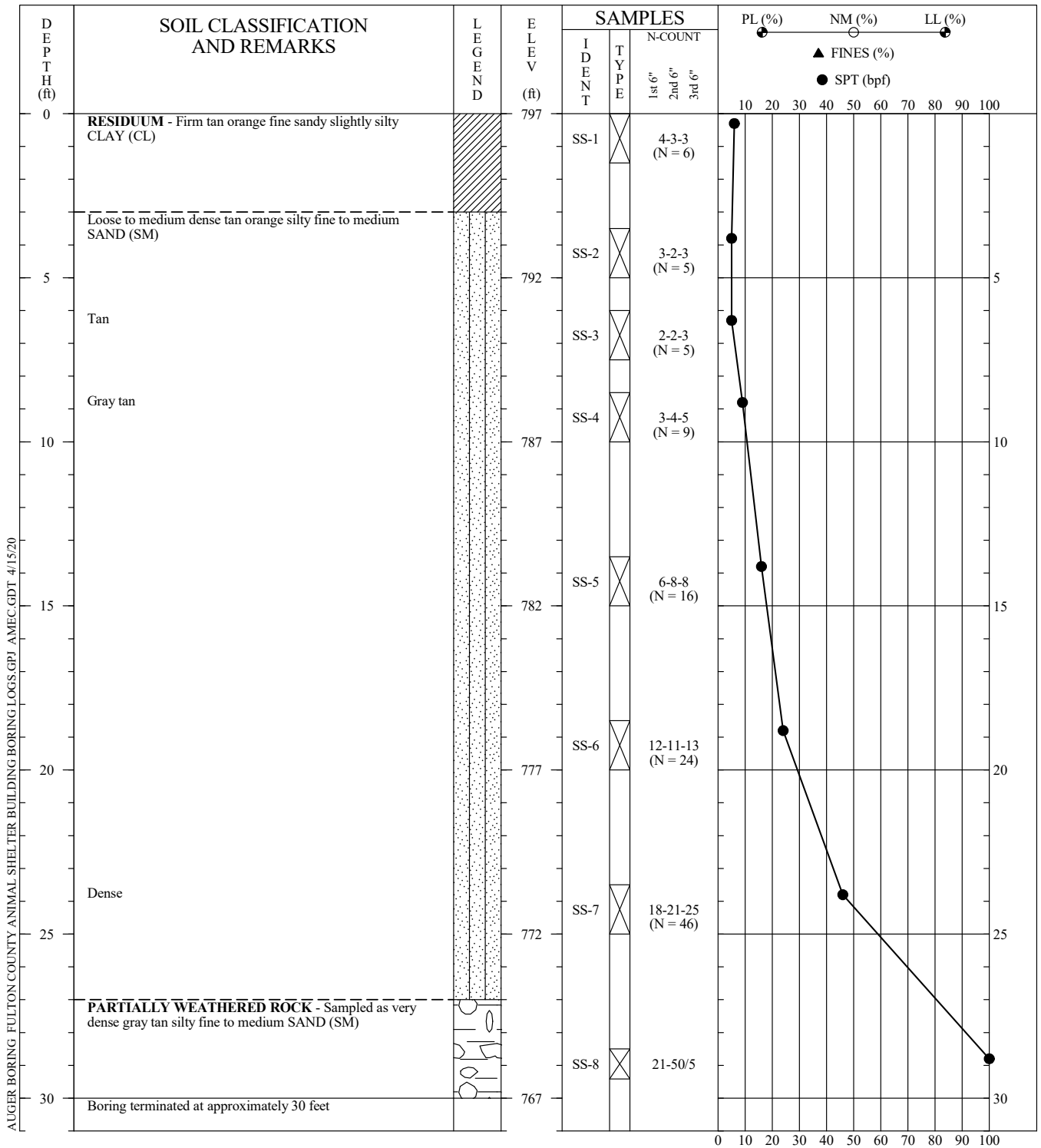
BORING NO.: B-10
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

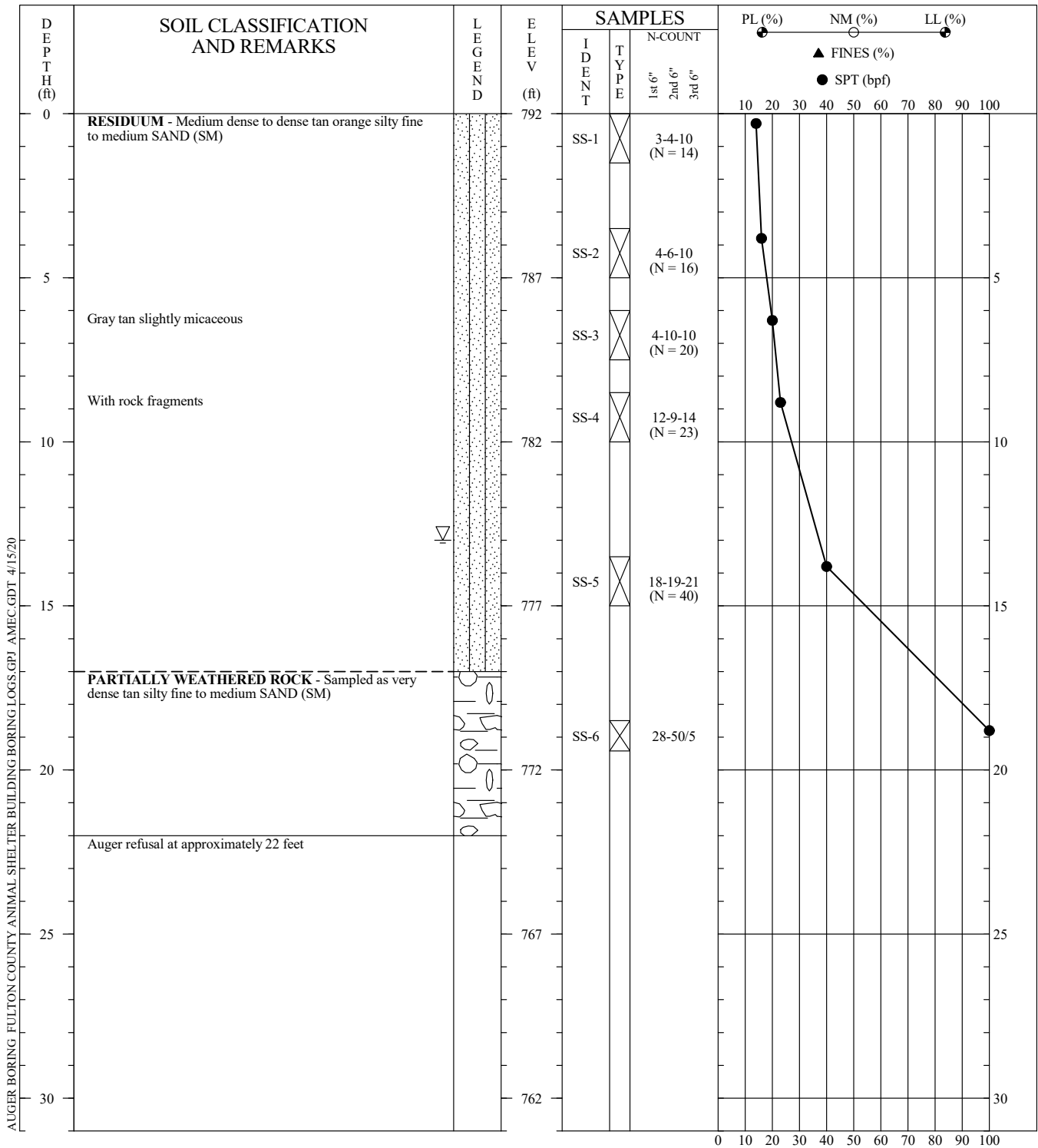
BORING NO.: B-11
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 13 feet during drilling

AUGER BORING RECORD

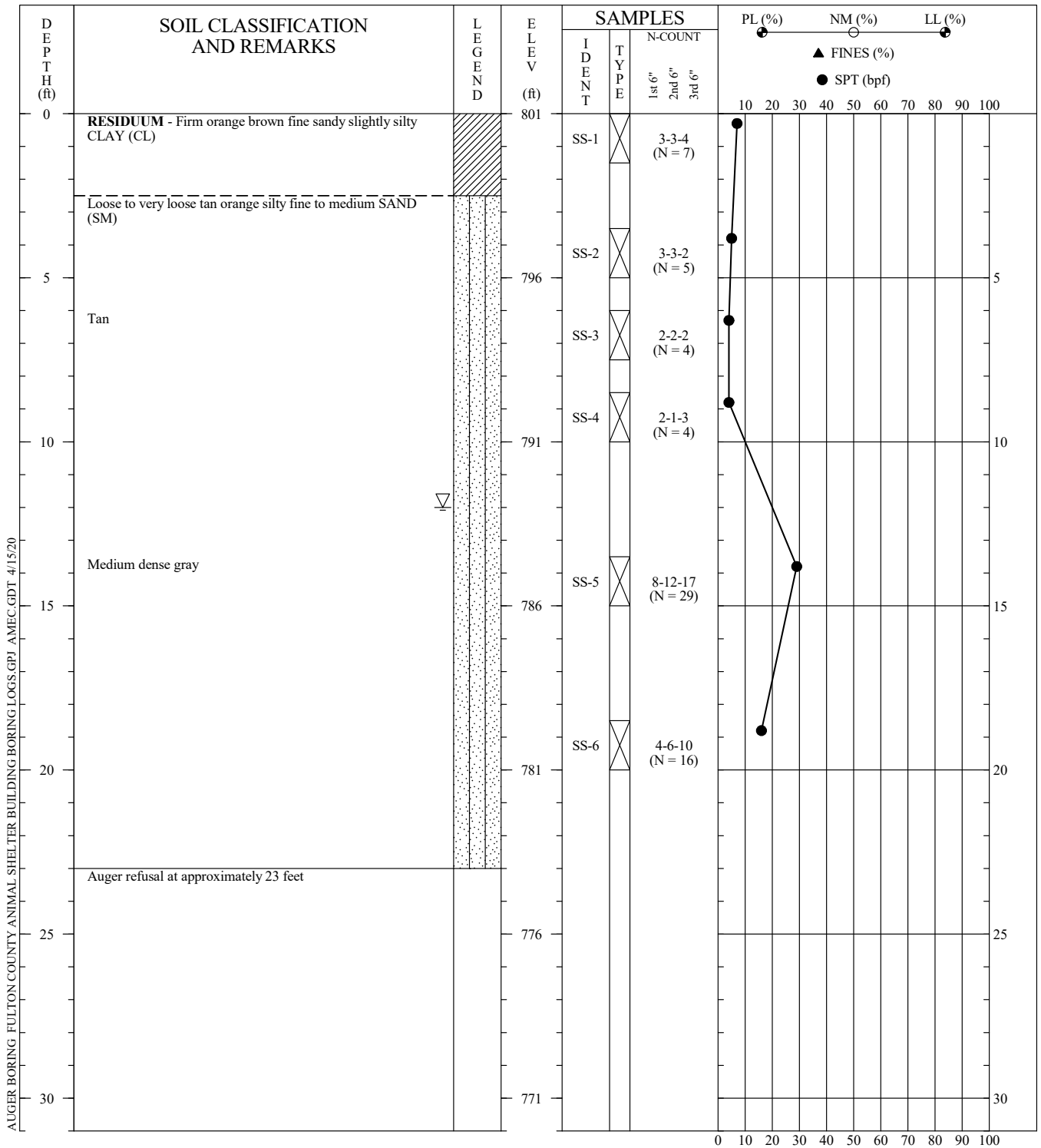
BORING NO.: B-12
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 12 feet during drilling

AUGER BORING RECORD

BORING NO.: B-13
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

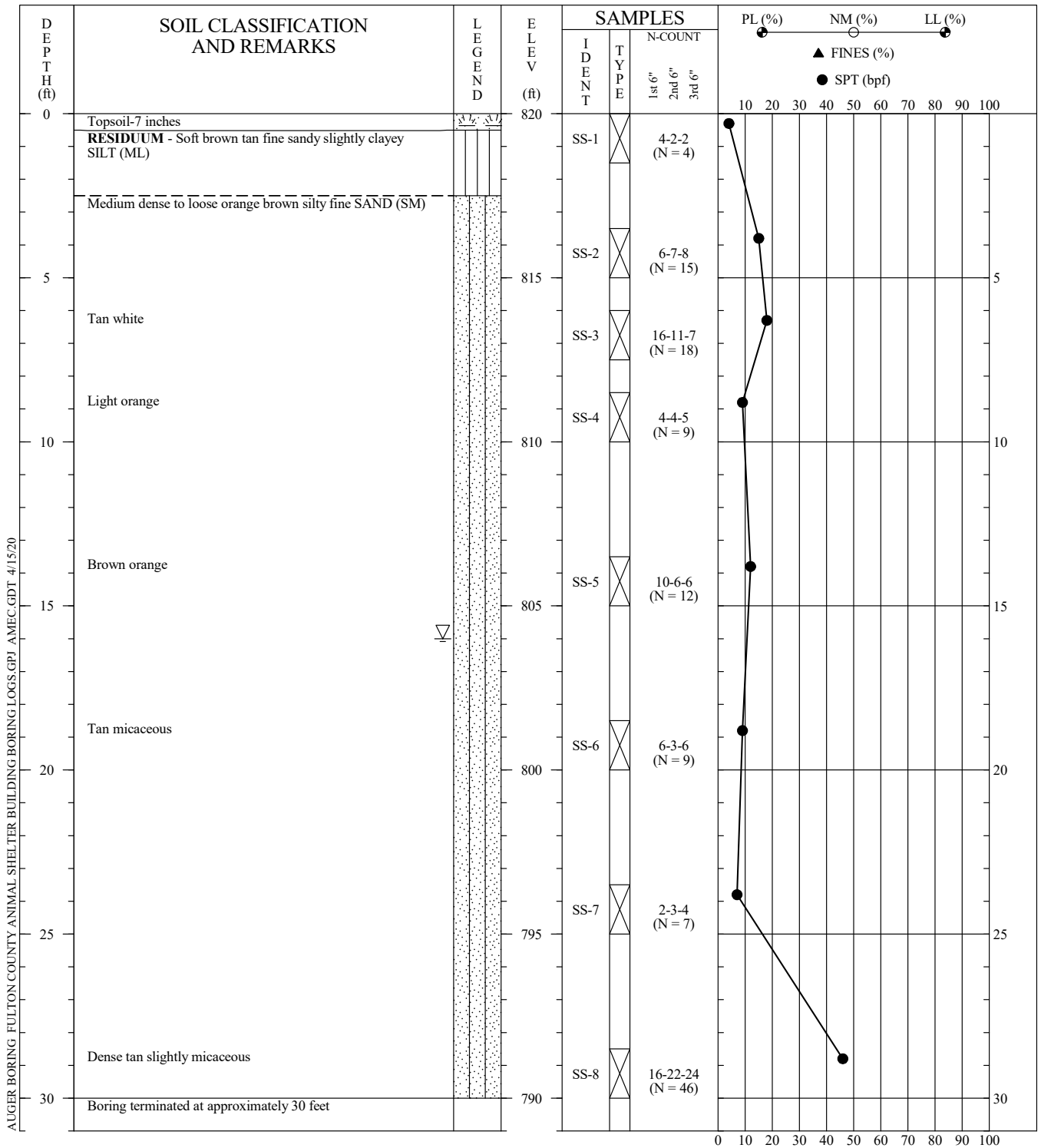
PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 16 feet during drilling

AUGER BORING RECORD

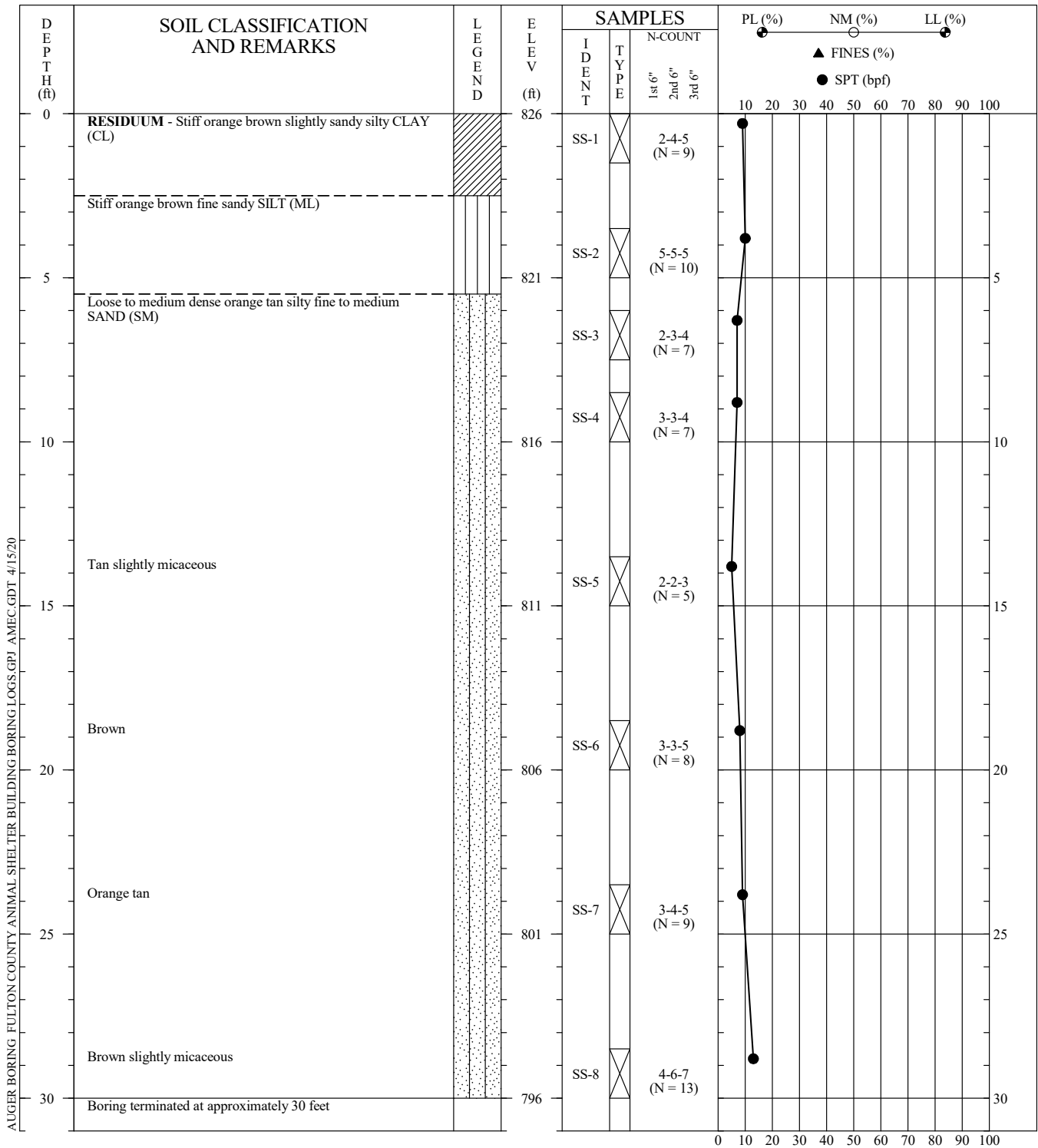
BORING NO.: B-14
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

BORING NO.: B-15
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Important Information about This

Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, clients can benefit from a lowered exposure to the subsurface problems that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed below, contact your GBA-member geotechnical engineer. Active involvement in the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.

Geotechnical-Engineering Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a given civil engineer will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client. *Those who rely on a geotechnical-engineering report prepared for a different client can be seriously misled.* No one except authorized client representatives should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one – not even you – should apply this report for any purpose or project except the one originally contemplated.*

Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read it *in its entirety*. Do not rely on an executive summary. Do not read selected elements only. *Read this report in full.*

You Need to Inform Your Geotechnical Engineer about Change

Your geotechnical engineer considered unique, project-specific factors when designing the study behind this report and developing the confirmation-dependent recommendations the report conveys. A few typical factors include:

- the client's goals, objectives, budget, schedule, and risk-management preferences;
- the general nature of the structure involved, its size, configuration, and performance criteria;
- the structure's location and orientation on the site; and
- other planned or existing site improvements, such as retaining walls, access roads, parking lots, and underground utilities.

Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.*

This Report May Not Be Reliable

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, that it could be unwise to rely on a geotechnical-engineering report whose reliability may have been affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If your geotechnical engineer has not indicated an "apply-by" date on the report, ask what it should be, and, in general, if you are the least bit uncertain about the continued reliability of this report, contact your geotechnical engineer before applying it.* A minor amount of additional testing or analysis – if any is required at all – could prevent major problems.

Most of the "Findings" Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site's subsurface through various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing were performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgment to form opinions about subsurface conditions throughout the site. Actual sitewide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team from project start to project finish, so the individual can provide informed guidance quickly, whenever needed.

This Report's Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, *they are not final*, because the geotechnical engineer who developed them relied heavily on judgment and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* revealed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

This Report Could Be Misinterpreted

Other design professionals' misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a full-time member of the design team, to:

- confer with other design-team members,
- help develop specifications,
- review pertinent elements of other design professionals' plans and specifications, and
- be on hand quickly whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction observation.

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note conspicuously that you've included the material for informational purposes only*. To avoid misunderstanding, you may also want to note that "informational purposes" means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report, but they may rely on the factual data relative to the specific times, locations, and depths/elevations referenced. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only* from the design drawings and specifications. Remind constructors that they may

perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely*. Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a "phase-one" or "phase-two" environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures*. If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. As a general rule, *do not rely on an environmental report prepared for a different client, site, or project, or that is more than six months old*.

Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, none of the engineer's services were designed, conducted, or intended to prevent uncontrolled migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer's recommendations will not of itself be sufficient to prevent moisture infiltration*. Confront the risk of moisture infiltration by including building-envelope or mold specialists on the design team. *Geotechnical engineers are not building-envelope or mold specialists*.



Telephone: 301/565-2733

e-mail: info@geoprofessional.org www.geoprofessional.org

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Exhibit A - Attachment D

FFE Update - 11/04/2021

Fulton County Animal Services Facility



FCAS Equipment Schedule

10/25/2021

OWNER = FCAS
CONTRACTOR = GC

O/C C/C O/O

EQUIPMENT NUMBER	EQUIPMENT DESCRIPTION	FURNISHED BY	INSTALLED BY	VENDOR	BLOCKING REQ'D	POWER REQ'D	DATA REQ'D	GAS REQ'D	MED GAS REQ'D	PLUMBING REQ'D	MANUFACTURER	MODEL	COUNT	EQUIPMENT NOTES	Unit Cost	Total Cost	C/C	O/O	O/C
01 GENERAL OFFICE EQUIPMENT																			
01-109B	DOG LEASH CLEAT/EYE HOOK	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	DOGHOOK.COM	SPECIFY MASONRY OR STUD WALL	39	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER; MOUNT EYE VERTICALLY	\$ 50				
01-114	FOOD PREP CART	OWNER	OWNER		-	-	-	-	-	-	SHOR-LINE		10		\$ 315				
01-115B	TRASH CAN - ON WHEELS	OWNER	OWNER		-	-	-	-	-	-			1		\$ 250				
01-117C	LAUNDRY CART	OWNER	OWNER		-	-	-	-	-	-			6		\$ 250				
01-118	SMALL RECYCLE BIN - 13 GAL	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-			17						
01-121	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	19		\$ 350				
01-121A	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	6		\$ 350				
01-121B	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	7		\$ 350				
01-121C	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	4		\$ 350				
01-122E	SST WALL-MOUNTED SHELF	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	METRO	1448NS	5		\$ 350				
01-122F	SST WALL-MOUNTED SHELF	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	METRO	1460NS	14		\$ 350				
01-130A	DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-			9		\$ 260				
01-130B	GLASS DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	3-FORM		2	3.5'X5' LOW IRON, TEMPERED, GLOSS MARKERBOARD, COLOR: CHALK, FRAMED WITH ACCESSORY SHELF	\$ 300				
01-130C	GLASS DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	3-FORM		1	4XX6' LOW IRON, TEMPERED, GLOSS MARKERBOARD, COLOR: CHALK, FRAMED WITH ACCESSORY SHELF	\$ 300				
01-132	BULLETIN BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	NORTH SCULPTURE		1	FORBO FRAMED BULLETIN BOARD 48X96; COLOR: TBD					
01-134	SIGN HOLDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-			11	C58 PAPER INSERT WINDOW; CONFIRM WITH COUNTY					
01-135	ACOUSTIC WALL PANEL	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SU		112						
01-136	ACOUSTIC WALL PANEL - IMAGE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	AUDIMUTE	SU	24	RE: INTERIOR ELEVATIONS FOR SIZE. RE: A 9.01 FOR MOUNTING DTL					
01-140A	METAL LOCKERS - 2 TIER	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	RE: SPECIFICATIONS		16						
01-140B	METAL LOCKERS - 3 TIER	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	RE: SPECIFICATIONS		7						
01-142	SAFE - BOLT TO FLOOR	OWNER	CONTRACTOR		-	-	-	-	-	-	ULINE	DIGITAL SAFE H-5784	1	CONTRACTOR TO UNLOAD, UNPACK & STORE	\$ 470				
01-301	STORAGE PALLET	OWNER	OWNER		-	-	-	-	-	-			6		\$ 150				
01-302	PALLET RACK - 42X120	OWNER	OWNER		-	-	-	-	-	-	GLOBAL INDUSTRIAL		2		\$ 500				
01-305	ELECTRIC PALLET JACK - 3300 LB	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	GLOBAL INDUSTRIAL	WG988993	1	ELECTRIC PALLET JACK - 3300 LB	\$ 2,900				
01-401	SST WORKTABLE - ROLLED EDGE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	ULINE	DELUXE H-7566	1	72" X 36" W/ BOTTOM SHELF	\$ 568				
02 FURNITURE & SIGNAGE																			
02-201	ROLLER SHADE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	MECHOSHADE	MECH/5	14	TO HAVE FRONT AND BACK FASCIA; SHADE COLOR TBD; SEE SPECIFICATIONS FOR MORE INFORMATION					
03 COMMUNICATION & SECURITY																			
03-101	COMPUTER	OWNER	OWNER		-	YES	YES	-	-	-			93		\$ 800				
03-105	COMPUTER - LAPTOP	OWNER	OWNER		-	YES	YES	-	-	-			4		\$ 800				
03-106	WALL MOUNTED COMP STATION	OWNER	CONTRACTOR		YES	YES	YES	-	-	-	ERGOTRON	2140229	1	COORDINATE LOCATION & HEIGHT WITH OWNER	\$ 2,000				
03-301	CREDIT CARD MACHINE	OWNER	OWNER		-	YES	YES	-	-	-			6		\$ 200				
03-401	TELEVISION - WALL MOUNTED 42"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			1	CONFIRM HEIGHT & LOCATION W/ OWNER	\$ -				
03-401D	SECURITY MONITOR - WALL MOUNTED	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			2	CONFIRM WITH COUNTY IT	\$ -				

Exhibit A - Attachment D

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Fulton County Animal Services Facility



03-401E	TELEVISION - WALL MOUNTED 75"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			3	PROVIDE ELECTRICAL OUTLET AND COAX CABLE CONNECTION AT HEIGHT SUCH THAT THEY WILL BE CONCEALED BEHIND THE TELEVISION. * CONFIRM HEIGHT AND LOCATION WITH OWNER PRIOR TO INSTALLATION; PROVIDE WALL MOUNT BRACKET; COORDINATE TELEVISION MODEL WITH OWNER'S A/V RE	\$ -				
03-401F	TELEVISION - WALL MOUNTED 85"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			3	PROVIDE ELECTRICAL OUTLET AND COAX CABLE CONNECTION AT HEIGHT SUCH THAT THEY WILL BE CONCEALED BEHIND THE TELEVISION. * CONFIRM HEIGHT AND LOCATION WITH OWNER PRIOR TO INSTALLATION; PROVIDE WALL MOUNT BRACKET; COORDINATE TELEVISION MODEL WITH OWNER'S A/V REQUIREMENTS	\$ 800				
03-502	LABEL PRINTER	OWNER	OWNER		-	YES	YES	-	-	-			1		\$ 200				
03-503	PRINTER / COPIER - ON FLOOR	OWNER	OWNER		-	YES	YES	-	-	-			3						
03-504	PRINTER / COPIER - ON COUNTER	OWNER	OWNER		-	YES	YES	-	-	-			2		\$ 200				
03-506	MULTIFUNCTION PRINTER	OWNER	OWNER		-	YES	YES	-	-	-			3						
03-902	PROJECTION SCREEN - MOTORIZED	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-			1	COORDINATE WITH COUNTY					
03-903	PROJECTOR - CEILING MOUNTED	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-			1	COORDINATE WITH COUNTY					

04 APPLIANCES

04-101	REFRIGERATOR / FREEZER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	60119	5		\$ 1,200				
04-102B	REFRIGERATOR / FREEZER - WITH WATER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	KENMORE	71323	1		\$ 1,100				
04-103	REFRIGERATOR - UNDER COUNTER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	99059	6		\$ 380				
04-103B	REFRIGERATOR - UNDER COUNTER ADA HEIGHT	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	99029	8		\$ 380				
04-105	REFRIGERATOR - COMMERCIAL UPRIGHT	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	CARRIER	EF34	2		\$ 2,000				
04-107	FREEZER - RESIDENTIAL CHEST	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	46-16082	1		\$ 800				
04-204	WASHER/EXTRACTOR - COMMERCIAL 60 LB	CONTRACTOR	CONTRACTOR		-	YES - CONFIRM	-	-	-	YES	SPEED QUEEN	SC60	3		\$ 12,000				
04-205	DRYER - COMMERCIAL - ST075	CONTRACTOR	CONTRACTOR		-	YES	-	YES	-	YES	SPEED QUEEN	ST075	3	PLUMBING CONNECTION REQUIRED IF NOT ELECTRIC	\$ 16,000				
04-206	STACKED WASHER / DRYER - COMMERCIAL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	UNIMAC	LTUA7	6		\$ 1,200				
04-301	MICROWAVE - ON COUNTER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	73772	3	IF MOUNTED ON CABINET SHELF COORDINATE REQUIRED DEPTH OF SHELF	\$ 300				
04-401B	DISHWASHER - UNDER COUNTER ADA	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	KENMORE	12333	1		\$ 800				
04-404	DISHWASHER - COMMERCIAL	CONTRACTOR	CONTRACTOR		-	YES - CONFIRM REQ	-	-	-	YES	HOBART	AM16VLT-BAS	1		\$ 15,000				
04-504	HOOD VENT - SMALL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	RE: MECHANICAL		1						
04-601	WATER COOLER	OWNER	OWNER		-	-	-	-	-	-			1						
04-603	ELECTRIC WATER COOLER W/ BOTTLE FILLER	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	YES	RE: PLUMBING		3	SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION					
04-701	GARBAGE DISPOSAL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	INSINKERATOR	EVOLUTION COMPACT	1	SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION					
04-702B	COFFEE MACHINE	OWNER	OWNER		-	YES	-	-	-	YES		K3000SE	2	*CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE WHETHER WATER LINE REQUIRED	\$ 100				
04-801	VENDING MACHINE	OWNER	OWNER		-	YES	YES	-	-	-			2	*CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE WHETHER CONNECTION TO DATA REQUIRED	\$ 3,500				

05 MEDICAL EQUIPMENT

05-101B	WALK-ON SCALE	OWNER	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	905.5010.47	4	CONTRACTOR TO PROVIDE CONDUIT; RE: 11&14/A9.01	\$ 1,075				
05-103	COUNTER SCALE	OWNER	OWNER		-	-	-	-	-	-	SHOR-LINE		7		\$ 290				
05-117A	IV TRACK - 48"	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	AR NELSON	1100IV - IV TRACK	10	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER	\$ 220				
05-130	DENTAL DELIVERY SYSTEM - ON CART	OWNER	OWNER		-	YES	-	-	-	-	DENTALAIRE	PRESTIGE	1		\$ 15,000				
05-141	MAYO STAND	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	803.0010.00	4	CONTRACTOR TO UNLOAD, UNPACK & STORE	\$ 2,000				
05-153	PATIENT MONITORING EQUIPMENT - SINGLE PARAMETER	OWNER	OWNER		-	YES	-	-	-	-			9						
05-193	POWER REEL	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-	HUBBELL INCORPORATED	PRO REEL 500A-30GF	8						
05-194	CLIPPERS	OWNER	OWNER		-	YES	-	-	-	-	ANDIS		4		\$ 150				
05-201A	SST FOLD UP WALL MOUNT EXAM TABLE; RE: 5/A9.01	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	TRISTAR	400-23	6		\$ 1,100				
05-201B	SST FOLD UP (TO USE) WALL-MOUNTED EXAM TABLE; ANCHOR PER MANUF.	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	TRISTAR	400-25	2		\$ 1,100				

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Fulton County Animal Services Facility



05-202	SST LATERAL EXAM TABLE - FOLD UP, WALL-MOUNTED; RE: 5/A9.01	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	SHOR-LINE	903.1130.05	2		\$ 1,100				
05-206	SURGERY TABLE- FLAT TOP, HEATED	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	903.4200.01	3		\$ 2,500				
05-207	SURGERY TABLE - V-TOP	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	903.4400.01	1	CONTRACTOR TO UNLOAD, UNPACK, & STORE	\$ 2,500				
05-217	MOBILE LIFT TABLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	903.3120.00	4	NEEDS RECHARGED	\$ 3,450				
05-301	DOUBLE SURGERY LIGHT	CONTRACTOR	CONTRACTOR		YES - STRUCTURAL SUPPORT	YES	-	-	-	-	MEDICAL ILLUMINATION	SYSTEM TWO	4	STRUCTURAL SUPPORT REQ'D.	\$ 6,950				
05-302	SINGLE SURGERY LIGHT	CONTRACTOR	CONTRACTOR		YES - STRUCTURAL SUPPORT	YES	-	-	-	-	MEDICAL ILLUMINATION	MI 1000	5	STRUCTURAL SUPPORT REQ'D.	\$ 4,250				
05-310	LIGHT MOUNT	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	ACCU-MOUNT	200 SERIES	4		\$ 2,500				
05-311	LIGHT MOUNT	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	ACCU-MOUNT	100 SERIES	5		\$ 3,500				
05-410	MICROSCOPE - SINGLE	OWNER	OWNER		-	YES	-	-	-	-			1		\$ 1,250				
05-421	BLOOD CHEMISTRY MACHINE	OWNER	OWNER		-	YES	-	-	-	-	IDEXX	CATALYST DX CHEMISTRY ANALYZER	1	PROVIDE CONNECTION TO UNINTERRUPTIBLE POWER SUPPLY (UPS)	\$ 20,000				
05-503B	OXYGEN OUTLET - CEILING	CONTRACTOR	CONTRACTOR		-	-	-	-	YES	-	RE: MED GAS DRAWINGS		17	CONFIRM HEIGHT & LOCATION WITH OWNER					
05-506	OXYGEN MANIFOLD	CONTRACTOR	CONTRACTOR		YES	YES	-	-	YES	-	RE: MED GAS DRAWINGS		1						
05-507B	OXYGEN TANK - H	OWNER	OWNER		-	-	-	-	-	-			6	CAN STORE UP TO 3000 CU.FT.OF OXYGEN IN AN UNSPRINKLERED 1 HR. FIRE RATE ROOM (UP TO 6000CU.FT. IF SPRINKLERED)					
05-515	ANESTHESIA MACHINE - ON CART	OWNER	OWNER		-	-	-	-	-	-	SUPERA	OC6200	6		\$ 3,670				
05-517	ANESTHESIA MACHINE - WALL	OWNER	CONTRACTOR		YES	-	-	-	-	-	MATRX	VME2	3		\$ 30,000				
05-520B	ANESTHESIA SCAVENGER OUTLET - CEILING	CONTRACTOR	CONTRACTOR		-	-	-	-	YES	-	RE: MED GAS DRAWINGS		14	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER					
05-521	ANESTHESIA SCAVENGER FAN	CONTRACTOR	CONTRACTOR		YES	YES	-	-	YES	-	RE: MED GAS DRAWINGS		1	PROVIDE EXHAUST DIRECT TO OUTSIDE. THE EXHAUST FROM THE BUILDING MUST BE A MIN. OF 10' ABOVE GRADE AND A MIN. OF 10' AWAY FROM AND FRESH AIR INTAKE.					
05-610	AUTOCLAVE - COUNTER	OWNER	OWNER		-	YES	-	-	-	-			2		\$ 4,500				
05-615	ULTRASONIC CLEANER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	MIDMARK	M250 SONICLEAN	1	LOCATE NEAR SINK, NEEDS TO DRAIN PERIODICALLY	\$ 980				
05-703	SST GROOMING TUB - 55" w/ Ramp	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.0702.40	3	OWNER TO CONFIRM CONFIGURATION	\$ 3,500				
05-706	SST 46" TUB TABLE - RIGHT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.09	1	OWNER TO CONFIRM CONFIGURATION	\$ 2,400				
05-708	SST 60" TUB TABLE - RIGHT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.00	1	OWNER TO CONFIRM CONFIGURATION	\$ 2,850				
05-708A	SST 60" TUB TABLE - LEFT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.01	2	OWNER TO CONFIRM CONFIGURATION	\$ 2,850				
05-720	SCRUB SINK - SINGLE	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	YES	RE: PLUMBING		2		\$ 3,200				
07-010	INCUBATOR	OWNER	OWNER		-	YES	-	-	-	-			2		\$ 20,000				

06 IMAGING

06-109	DIGITAL DENTAL X-RAY - WALL MOUNTED	OWNER	CONTRACTOR		YES	YES	-	-	-	-	MIDMARK	VETPRO DC	1		\$ 20,000				
06-111	DIGITAL X-RAY	OWNER	OWNER		-	YES - CONFIRM	-	-	-	-			1	CONFIRM SHIELDING REQ.	\$ 75,000				
06-117	LEAD APRON RACK	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	JORGENSEN	J0676R	1		\$ 175				

07 ANIMAL HOUSING

07-030	SMALL MAMMAL CAGE	OWNER	OWNER		-	-	-	-	-	-	CRITTER NATION	2 LEVEL	1		\$ 300				
07-102	CAGE WHEELS	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	3		\$ 110				
07-104	CAGE STORAGE - DRAWERS	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	40						
07-105	CAGE STORAGE - CLOSED, DOOR	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	20						
07-110A	SST CAGE, 30"W X 30" T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	14	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 600				
07-110B	SST CAGE,36"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	22	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 650				
07-110C	SST CAGE, 42"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 750				
07-110D	SST CAGE, 48"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 980				
07-110E	SST DOUBLE CAGE, 60" W x 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	17	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,230				
07-110F	SST CAGE - 60"W X 36"T - GRILLE, WITH DIVIDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	3	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,435				
07-110G	SST CAGE - 72"W X 30"T - GRILLE, WITH DIVIDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	2	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,725				
07-115A	SST CONDO - DOUBLE WIDE, 48"W X 30"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	6	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 980				
07-115B	SST CONDO - DOUBLE WIDE, 54"W X 30"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	14	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,435				

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07-135A	LAMINATE CONDO - 58"W X 31"T, FROSTED, GLASS BACK	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	20	VENTED, PORTAL, FROSTED GLASS/ BAR FRONT, GLASS BACK, BENCH AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,750				
07-135B	LAMINATE CONDO - 58"W X 31"T, FROSTED	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	8	VENTED, PORTAL, FROSTED GLASS/ BAR FRONT, BENCH AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,750				
07-140A	LAMINATE CONDO - SPLIT DOUBLE - VENTED, 58"W X 32"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 2,000				
07-190B	MEDIUM CAT TOWER	OWNER	OWNER	-	-	-	-	-	-	-	CRIFO PET PRODUCTS, LLC	MT	2		\$ 500				
07-202	DOG RUN - GATE	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	148	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 740				
07-203A	DOG RUN - GATE - 2 PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	202	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-203B	DOG RUN - GATE, 2 PANEL, 30"W x 78"T, GLASS/BARS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	92	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-203C	CAT RUN - GATE, 2 PANEL, 30"W x 78"T, GLASS/BARS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-204A	DOG RUN - FLAG PANEL 2'-6"	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	168	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY					
07-204B	DOG RUN - CLERESTORY PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	8	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 675				
07-204C	CAT RUN - CLERESTORY PANEL, GLASS/SST	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 675				
07-204D	CAT RUN - SIDE, 2 PANEL, GLASS/PLAM	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	4	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 1,100				
07-205A	DOG RUN - SIDE PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	142	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY					
07-205B	DOG RUN - SIDE PANEL, 78" T , GLASS/SST	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHORLINE	CUSTOM	28	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 950				
07-207	DOG RUN - BACK PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	117	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 900				
07-208	DOG RUN - TOP PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	167	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 800				
07-210	GUILLOTINE DOOR - IN RUN PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	117		\$ 250				
07-211	GUILLOTINE DOOR - IN WALL	CONTRACTOR	CONTRACTOR	YES	-	-	-	-	-	-	SHOR-LINE	CUSTOM	96	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 250				
07-212	SALOON DOOR	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	BITEGUARD	BG 1624	90		\$ 1,000				
07-214	CAT DOOR - IN GLASS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	HALE	DOOR - SMALL MEDIUM	7						
07-232	CAT PERCH	OWNER	OWNER	YES	-	-	-	-	-	-			6						
07-235	CAT SHELF	CONTRACTOR	CONTRACTOR	YES	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	8" X 24" SOLID SURFACE, RE: EQUIP DTLS	\$ 180				
07-241	KARUNDA BED	OWNER	OWNER	-	-	-	-	-	-	-	KARUNDA		12		\$ 150				
07-651	BARN TROUGH	OWNER	OWNER	-	-	-	-	-	-	-	HUMANE		6			\$ 400			
07-652	STALL MAT	OWNER	OWNER	-	-	-	-	-	-	-	HUMANE		6	1 1/2" MIN THICKNESS		\$ 200			
07-653	HORSE FEEDER	OWNER	OWNER	-	-	-	-	-	-	-			6			\$ 400			
07-654	HOG - GOAT FEEDER	OWNER	OWNER	-	-	-	-	-	-	-			6			\$ 400			
07-655	CHICKEN COOP	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	CAROLINA COOPS	AMERICAN COOP	1	PRE-MANUFACTURED CHICKEN COOP, COORDINATE WITH OWNER ON ACCESSORIES	\$ 7,000				

FULCO IT/PHONE/SECURITY ITEM	Type	Responsibility	
		FULCO	WJG
Networking		X	
Server Racks	Equip		X
Servers - Switches	Equip	X	
Phones	Equip	X	
Desktop Computers	Equip	X	
Laptop Computers	Equip	X	
Laptop Docking Stations	Equip	X	
Computer Monitors	Equip	X	
Printers	Equip	X	
Credit Card Reader	Equip	X	
Camera Switches			X
Cameras	Turnkey		X
Card Readers - Access Control	Turnkey		X
Cabling	Turnkey		X
Security Monitors	Equip	X	
VoIP - Phones	Equip	X	
Wireless Access Points - backbone	Cabling		X
Wierless Access Points -	Equip	X	
Analog Lines - (AT&T, backbone)			X
UPS			X
Electrical Circuits - Add to Const.			
Docs			X
AT&T Circuit (Abdias)		X	
Comcast Circuit (Abdias)		X	

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services

RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
1.01	10/20/21	Elevation 1/A6.13	Drawing calls out the same item as a "composite wood tellis system" and a "painted metal trellis." Please clarify which one is correct.		Composite Wood Trellis system is correct.
1.02	"	"	Please confirm that there will be no multi-color storefront framing finishes (Section 084113, 2.3A.1.a) , i.e. dark bronze on one side and clear anodized on the other.		All storefront systems will be anodized bronze throughout. We will revise the specifications accordingly.
1.03	"	A2.13, A2.14, A2.23, A2.24	Please furnish specifications and detail for the canopy/trellis systems at the yards typical of room #207.		Trellis system is to be a pre-manufactured and prefinished aluminum trellis. Basis of Design: Awnex, Tuscany system, sun shade panel option. This is applicable to room #080, #146/7, #205 & 206, #207 & 208, #307 & 308, #407 & 408, #507 & 508, #607 & 608.
1.04	"	2/A7.55	Would products by Mitchell Metals or Peachtree Protective Covers be acceptable for the exterior rod-hung doorway canopies?		Yes, these should be acceptable pending architectural review of submitted product.
1.05	"		Please specify location of the CW3-designated curtainwall system.		CW3 curtain wall system drawing is incorrect in the documents. Please see the attached revised curtain wall elevation. It is located along column line A to the east of 11.5.
1.06	"		Please clarify the type of countertops in rooms numbered 110 Dental, 112 Pharmacy, and typical Exam rooms - solid surface or plastic laminate countertops?		Plastic laminate with the specified edge banding is correct.
1.07	"	Section 084113, 2.3A.1.a	Please confirm that there will be no multi-color storefront framing finishes as discussed at the 8-18-2021 meeting.		See RFI response 1.02
1.08	"	Section 084113, 2.3E	Please advise on locations of Vent Windows on the project.		See revised drawings
1.09	"		Please furnish specification for the freezer system for the room #159. Freezer.		See Spec 114000, 2.3C
1.10	"	Specification Section 122413	Please advise on the selection of rooms and locations to receive the roller shades		Room #009 @ window and storefront, #025 both, #026, #099, #098 both, #104, #105, #106 all, #119, #126
1.11	"	C4.40	Please advise on the diameter of the OCS		Response from Lowe Engineers: The Diameter of the OCS (Structure 1.1) is 6ft
1.12	"	A0.10	Partition types for all masonry walls show them as fully grouted. This does not match the requirements of S4.01. Please clarify.		Architectural drawings will revise wall section to indicate "For grouting and reinforcing requirements, see structural drawings."
1.13	"	A1.10	This sheets shows a gravel path for Ga Power access. Keynote 30 on C3.02 calls this out as a dirt path. Please clarify.		Civil is correct, Architectural will revise note.
1.14	"	A1.10	Please confirm that the EV ready spaces for the employee parking lot are correctly identified per sheet E1.03.		Confirmed. 7 standard EV-ready spaces in parking lot. 20 oversized EV-ready spaces along drive.
1.15	"	A1.10	The note for the public parking area calls for 7 EV ready spaces. Sheet E1.02 has circuiting for 5 spaces identified. Please clarify.		E1.02 is correct, architectural will revise.
1.16	"	4/A1.10	Dock lift pit width dimension is shown as 6'6", but the notes call for the width to be 6'2". Please clarify.		Please see revised detail and mfr. documentation regarding pit dimensions
1.17	"	A2.02	No depression is shown for the freezer on this sheet but S2.12 does show a depression. Please clarify		Arch to update on the EOS plan.
1.18	"	A2.02, P2-12	A floor drain is shown in the freezer. Is the intent for this drain to be under the freezer floor or actually cut into the freezer?		The drain is in the slab, freezer will not have a floor system (slab serves as the freezer floor).

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services



1.19	"	A7.50, A7.52	Various details on these sheets show a perimeter drainage system. No further information was found. Please clarify.		No perimeter drainage system, arch to revise details. However, downspouts that are NOT within dog kennel yards will be tied into the storm system below grade. Civil is revising their documents.
1.20	"	A1.20, 4/A7.58, S2.22	No support is shown for the upper run of the roof stair at the garage. Please advise.		There will be posts from the top landing down to grade, as well as posts up from the CMU parapet to support the walk-over and stairs down to the roof side. Structural: Detail 5/S5.09 has been added showing the stair supported on the CMU wall and floating above the roof.
1.21	"	G1.10	Please advise which fire extinguisher cabinets are surface mounted and which are recessed. All the symbols are the same.		All cabinets are to be fully recessed. If a cabinet can not be fully-recessed due to unforeseen construction circumstances, then semi-recessed is acceptable. No cabinets should be surfaced mounted.
1.22	"	A2.12, room 162	The north and west walls in the mechanical room are scheduled as M580. Should these walls go to the deck?		Yes. Arch to revise to M880 partition type.
1.23	"	3/A9.03	Please advise on how the veneer be supported above the saloon doors. No structural section was found for this condition.		Steel angle lintel, see structural for sizing requirements. Structural: Veneer above the saloon door shall be supported by loose lintel. Loose lintel schedule has been added. Arch will revise the detail.
1.24	"	A7.12, 2/A7.30	Sections 3 and 4 on A7.12 call out detail 2/A7.30 in multiple locations. This does not appear to be correct. Please clarify.		Wall section is typical to the wall section shown on 2/A7.30, however exterior slab condition is different. Arch. to provide additional detail for clarity, see RFI 1.35 for more information.
1.25	"	E1.03	Utility Pad Mount – Keynote 12, EC to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Per coordination call with Georgia Power, it's understood there is a current project in progress along Fulton Industrial Blvd that is covering existing primary overhead lines to underground. It was noted that GP would be able to "splice and connect for service to our building anywhere along the frontage of our building as a result of everything being underground." Now that 100% CDs are complete, next steps can be taken with GP to finalize the location of the primary connection point, which is intended to be due north of the service transformer on the south side of Fulton Industrial Blvd as indicated on the electrical site plan. It's understood a new switch or tap enclosure will be provided by GP.
1.26	"	E3.11	Light Fixture types not called out for Day Foster Office 076A.		L1-4'
1.27	"	E3.11	Light Fixture types not called out for Rescue Coord Office 076B.		L1-4'
1.28	"	E3.11, E3.12, E3.13	Please confirm that the ceiling fan and its controls are to be Owner-Furnished, Owner-Installed. Contractor only provide power to the fan location.		Ceiling fans to be contractor provided / contractor installed. Ceiling fan basis of design: Big Ass Fans, Essence, 8', Oil Rubbed Bronze finish, LED light kit.
1.29	"	e.g. 4/A7.52	The drawing details show an "air/moisture barrier" on top of the substrate board. This is not called for in the specifications. Please clarify.		Air barrier not required above substrate board at roof. Arch to revise.
1.30	"	Section 075423, e.g. 4/A7.53	The drawing details call for the substrate board to be 5/8" but the specification section 075423, Paragraph 2.5, A is calling for a 1/2"		1/2" substrate board is acceptable. Arch to revise.
1.31	"	E1.03	Utility Pad Mount – Keynote 12, EC to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Duplicate to RFI 1.25
1.32	"	E1.03	Utility Pad Mount – Keynote 12, electrical contractor to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Duplicate to RFI 1.25

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services

1.33	"	E6.01	The breaker on feeder from the main switchboard to the mechanical chiller is designated as 110A/3ph, which seems inconsistent with the chiller schedule information on sheet M1-03. If incorrect, please advise on correct breaker size.	The breaker for Chiller Circuit 2 connected to the MSB is understood to be 250A/3P. Chiller Circuit 1 is 350A/3P and connected to standby panel HSA. Electrical one-line diagram and schedules will be revised to clarify correct chiller circuit labeling and corresponding breaker sizes.
1.34	"	A2.12	What is the partition type that separates courtyards 146 and 147?	8" Masonry wall with 4" Trenwyth block (both sides) to match surrounding courtyard walls, provide cast stone coping at the top, similar wall section to monumental sign. Height to be 8'-8" to bottom of cast stone coping. Arch to provide detail revision in updated drawings.
1.35	"	A2.11, A2.12, 13/A1.19	If the K9 grass called out on 13/A1.19 is to be installed in courtyards 80, 146 and 147, won't these slabs need to be depressed? If so, please provide details.	Yes, slabs will be depressed. Arch to provide detail.
1.36	"	S2.21, S2.22, 4/S5.05	Please provide connection details for the L8x4x1/2 shown at the north and south ends of courtyards 80, 146 and 147. The section cut through these areas, 4/S5.05 does not include them.	Structural: Connection is similar to connection shown in detail 5/S5.07. Clarification has been made.

Exhibit A - Attachment G

RFI Log #2 - 10/28/2021

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
2.01	10/26/21	A1.15B	Please advise on the paver color selections.		Light Pavers: Techo Paver HD smooth, Shale Grey, 051353; Dark Pavers (dark hatch on drawings): Techo Paver HD Smooth, Greyed Nickel 051310
2.02	"	A1.15B	The paver system specs call for #57 stone, #8 stone, geofabric and sand. Please provide section cut detailing the thicknesses of the layers.		See attached detail from manufacturer
2.03	"		We assume that heat required in room 114? Please confirm.	10/26/21	Heat is not required in this room.
2.04	"		Is heat required in room 115?	10/26/21	Yes, heat is required. We will add a 3kW electric cabinet unit heater in future revised drawings.
2.05	"	M2-12	Does code allow ductwork in the electrical room as is currently?	10/26/21	Ductwork is allowed in the electrical room, but will need to be re-routed to avoid running above electrical panels. Updated duct routing will be provided in future revised drawings.
2.06	"	Section 230923	There are no manufacturers listed for the Direct Digital Control (DDC) system for the HVAC. Please provide acceptable manufacturers so we can solicit multiple providers for competitive pricing.	10/26/21	20/20 Engineering's only requirement is that the manufacturer be approved for use by Fulton County.
2.07	"	Section 084113, A0.31	Paragraph 2.4A.1 aluminum entrance door specifications call for narrow stile YKK 20D series doors, which are 1¾" thick. Same specification calls for 2" thermal (even at interior) doors which is medium stile. Furthermore, hardware schedule specify door types FG1 and FG2 as medium and wide stile doors. Please advise on what aluminum entrance door specifications to price.		No narrow stile doors; Specs to be updated to include medium and wide stile doors. Aluminum entrance doors to be medium stile doors.
2.08	"	drawing detail 2/P4-00	Detail references slack cables and spring hangers. Is this something that needs to be on all of our hangers? Or just certain sizes?	10/26/21	Slack cables and spring hangers are not required on every hanger. Specific locations to be determined at a later date based on the total weight being supported.
2.09	"	sections 083323, 08330, 083613	It appears that "Section 083323 Overhead Coiling Doors" and "Section 083330 Overhead Coiling Grilles" are the only overhead door systems applicable to the project, and are at the intake garage and the reception area respectively. Please confirm. Is provide door number on the door schedule for the overhead grille.		Yes - only (4) Overhead Coiling Doors in the project and are located at the Intake Garage. Only (1) Overhead Coiling Grille and is located at the Adoption Lobby. Door Number can be given for the grille.
2.10	"		Can the AISC certification requirement for the fabricator be waived if they can furnish an annual independent review of their shop policies and procedures, and can offer a 'job specific' inspection during fabrication for this project?		This will require further review and response sent in the few days.
2.11	"	section 042000	Paragraphs 3.5 and 3.6 call for cavity rigid insulation to be adhered to the masonry block. Please confirm this is not required?		Not required to be adhered to the block, but must be secured in place.
2.12	"	section 042001	Paragraph 2.10 is calling for Loose-Fill Insulation "Perlite." Please confirm that this is not needed as the cavity has rigid insulation.		This is not for cavity insulation, but for masonry cell fill insulation. Given that there is no longer any single wythe exterior wall construction on the project, this application would not be necessary.
2.13	"	A1.18	Please clarify the dimensions and model of the chicken coop.		Dimensions have been added - see sketch
2.14	"	C3.02	Regarding Key Note 29 can you clarify the crosswalk work that is shown? Does it need to be done or do we need to exclude it based on the note saying that a revision is "to be designed an permitted in a separate document sent to GDOT"?	10/26/21	Lowe Engineers: The crosswalk that is being referenced in Key Note 29 is referring the existing GDOT crosswalk at our signalized driveway entrance. This is detailed more in the plans that we submitted to GDOT. Plans can be provided to PGAL and WJG if needed.

Exhibit A - Attachment G

RFI Log #2 - 10/28/2021

Fulton County Animal Services



2.15	"	"	Can details be provided for the building perimeter downspout tie-ins to the storm drain system along with the secondary storm drainage layout?	10/26/21	Low Engineers: We spoke with PGAL and Low Engineers will show downspout connections to the proposed stormwater system rather than having a full permitter system. PGAL: All Downspouts are to be connected to offset powder coated gray iron downspout boots. These will be connected to the storm system. At dog runs, downspouts are pvc pipes to drain to yard.
2.16	"	C5.01, C5.02	What class DIP sewer pipe is needed?	10/26/21	Low Engineers: Class 250 with a minimum of a Class "C" bedding
2.17	"	C5.01	A sized jack and bore is indicated for the water tap on Fulton Industrial Boulevard. None is shown for the sanitary sewer tap. Please advise on whether the sewer line A1 to A0 (tie-in to existing) needs to be jack and bore, and if so what size is required?	10/26/21	Low Engineers: ±42 LF of Jack & Bore with 16" steel encasement. For the water line we used a 5ft wide pit. If this needs to be modified to allow easier access please let us know and we will denote it on our plans.
2.18	"	C3.01, Key note 29	Regarding the curb and gutter re-configuration in the middle of Fulton Industrial Blvd. at the southern entrance, we assume this work is to be performed by the owner outside of Winter Johnson's scope of work? Please confirm.	10/26/21	Low Engineers: We can speak with GDOT District 7 to determine who will need to perform the work. We are proposing the medians to force a right-in/right-out only at the unsignalized intersection.
2.19	"	"	Please clarify what the GDOT asphalt paving profile is for the decel lanes shown on Fulton Industrial Boulevard.	10/26/21	Low Engineers: We can add a paving profile to our plans for the next submittal unless needed sooner for internal coordination
2.20	"	HVAC	Please advise whether equivalent Chilled Water & Hot Water AHUs, Air Cooled Heat Recovery Chiller, Chilled Water & Gas Heating DOAS, Ductless Split System Heat Pump, VAV Box, Energy Recovery Unit, DDC Controls systems from Trane are acceptable.	10/26/21	Trane will be considered as an approved alternate if all equivalent components match the performance listed as well as the accessories, dimensions, weights, and electrical specifications. Any additional engineering or design support will be financially responsible by the vendor/contractor prior to approval.
2.21	"	Sections 084113, 102219	Are Doors #002A, 002B, 004, 005 & 007 supposed to be a part of the demountable partitions system, or interior storefront (with Sliding Doors)?		Doors 002A, 002B, 004, 005, 007, and 008A are to be part of demountable partition systems.
2.22	"	A2.11, S2.11	Please provide details/direction for operable partition support steel.		Detail provided on 4/A3.20
2.23	"	Sections 084113, 084413	Please confirm if equivalents of the specified YKK storefront, curtainwall, and aluminum entrance systems from Kawneer, EFCO or Tubelite would be acceptable.		Yes, they are acceptable as long as the products being priced meet the performance / function / quality level as specified in the YKK systems
2.24	"	section 096723	Please confirm if Key Resin Company's equivalent to the Dur-A-Flex system specified for Resinous Flooring is acceptable?		Currently being studied
2.25	"	section 075423	Paragraphs 3.5, C, 1 & 2 state to loose lay the substrate board, mechanically attach the first layer of polyisocyanurate, loose lay or adhere the second layer of Polyisocyanurate then adhere the cover board. The roof system is mechanically attached as stated in paragraph 1.2 A1. Please confirm that it is acceptable to gang fasten all layers simultaneously, and then mechanically attach the TPO. This will not have any effect on the manufacturer's warranty.		Technically, this is acceptable. PGAL has reached out to the County for confirmation that the installation method and warranty would be acceptable to the County.
2.26	"	HVAC	Chilled Water & Hot Water AHUs, Air Cooled Heat Recovery Chiller, Chilled Water & Gas Heating DOAS, Ductless Split System Heat Pump, VAV Box, Energy Recovery Unit, DDC Controls	10/26/21	Question is unclear.
2.27	"	S2.21	Per the marked up drawing sheet S2.21 attachment, please furnish clarifications regarding the HSS 4x4 column.		Clarification has been provided in "GMP Structural Revisions" package
2.28	"	S2.22	Per the marked up drawing sheet S2.22 attachment, please furnish clarifications regarding the HSS beam.		Clarification has been provided in "GMP Structural Revisions" package
2.29	"	S7.01	Per the marked up drawing sheet S7.01 attachment, please furnish clarifications regarding the location of some steel members.		Clarification has been provided in "GMP Structural Revisions" package
2.30	"	sections 074213	Would equivalent metal wall panel systems by Alfrex be acceptable for the project?		Yes, this is acceptable. PGAL has asked if any of the sub-contractors have experience with the product and where it has been installed previously.

Exhibit A - Attachment H

RFI Log #3 - 10/29/2021

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
3.01	10/27/21	A2.01 & A 2.02	There appear to be raised areas shown on the slab plans on A2.01 and A2.02 noted 0'-4", 0'-6" or 0'-8". Are these areas intended to be raised concrete housekeeping pads per detail 9/S3.03?	10/28/21	The raised areas are concrete or wood curbs noted with a material tag for built in animal housing. Detail 9/S3.03 is for the concrete pad under the washing machines in laundry. Reference sheets A9.04 and A9.05 for details of curb conditions.
3.02	"	2 & 3/S6.01	What is the edge of slab condition at the Yards/Outdoor Runs? 2 & 3/S6.01 appear to show a turn-down but no section or detail is provided. Please provide a section or detail that shows required dimensions and reinforcing if a turn-down is required.		The edge condition at the yards is a 1'-0" wide x 2'-8" deep turn-down, similar to, and reinforced, like one shown in detail 2/S3.04.
3.03	"	A1.18	Please provide foundation/slab plan and details for the barn structure	10/28/21	The barn manufacturer does all the engineering for the barn including foundation and slab. All details will be provided by the manufacturer. That will be coordinated as a submittal later.
3.04	"	1/S3.01	Footing types F5.0, F6.0SP, F6.0x10.0 and F6.0x12.0 are listed on the footing schedule on 1/S3.01 but are not shown on the foundation plans. Please verify these footings types are not applicable to the project.		Confirmed. Footings not shown on plan are not applicable to the project.
3.05	"	Section 051213	The specifications mention AESS. Please confirm that AESS is not required on the project.	10/28/21	There is architecturally exposed structural steel on the project. Please adhere to specifications.
3.06	"	S0.01	SS-1.4 states that all steel permanently exposed to weather is to be galvanized. Is the exposed galvanized steel to be finish painted. If so, please identify specific members and paint finish type.	10/28/21	Painted Steel does not need to be galvanized. To have Primer Coat of Carbozinc 859 VOC, Mid Coat of Carboguard 890 VOC, and Top Coat of Carbothane 134 MC. All from Carboline. See attached specs.
3.07	"	Section 087100	Are doors 017, 104, 107A, 108A, 135 and 300B hollow metal, wood, or aluminum? If aluminum, what hardware set should be priced?	10/28/21	All doors listed are Aluminum doors
3.08	"	L1.0 & A1.17	A1.17 details RT-1 as the dog yard floor material. L1.0 notes pea gravel. Please clarify which material is correct. If rubber turf is the correct material, please confirm that Spec Section 027920 applies to this location. Please also confirm that no drainage is required for these dog yards.	10/28/21	RT-1 is correct for the dog yards. That is the correct spec section. No drains are shown for these yards. Reference detail 10/A1.19 fence detail for keeping the rubber in the fence.
3.09	"	C3.02	Please provide additional detail or narrative for Note 30 "Dirt Path" Are there compaction requirements? Are there transition details between asphalt and dirt?	10/28/21	Per the geotech provided by Wood PLC dated 4/14/2020 We should anticipate a compaction of at least 95% in thin 8" lifts (ASTM D 698). We do not have a transition detail between the asphalt and gravel at this time. We are showing a curb cut at each of the entrances to the dirt path with fencing as well. If needed we can provide one in the next submittal
3.10	"		Detail 2 on A1.17 shows fence type FC-1, FC-2 and FS-2 but there are no details associated with those types. Please provide additional fence details or advise on the correct fence type tag.	10/28/21	Fencing Types legend on A1.17 states the special conditions of "C and S" for fences and the types. For example, FS-2 is F-2 fence type with privacy slats.
3.11	"	A1.15 through A1.18	Except for the 8' aluminum picket fencing on the site retaining wall at Fulton Industrial boulevard, the heights of the remainder of the fencing is not stated. Please clarify heights of each fence type.	10/28/21	See attached sketch for additional site fence heights. Fence heights around the dog yards are called out on Fencing Type Legend on Sheet A1.17
3.12	"	G1.10 through G1.1	Symbol legend refers to FER-C as both surface mounted and fully recessed. Please clarify.	10/28/21	Fully Recessed FECs are to remain as FEC-R. Surface Mounted FECs are renamed to FEC-S. Please see attached updated LS drawings.

Exhibit A - Attachment H

RFI Log #3 - 10/29/2021

Fulton County Animal Services



3.13	"	C3.01. C3.02 and C9.00	Is any thermoplastic striping required? Please advise.	10/28/21	Yes. We are planning on using thermoplastic striping for the parking and turn lane stripes. Let us know if you need further information or if there is a preferred alternative
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Exhibit A - Attachment I

RFI Log #4 - 11/04/21

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
4.01	10/28/21	Section 088000	GL-S glass type is requiring sound insulation. What is the STC requirement?	10/29/21	There is no STC requirement. Insulated glazing is required at sound walls to provide a higher level of acoustic performance in that particular wall assembly, however no STC rating is required for the glazing itself. Typical 1" insulated glass has been tested to achieve a value of STC 35. Glazing to match specifications for glazing thickness and total assembly thickness.
4.02	"	Section 088000	Frames M and Z on A0.40 do not have detail call outs or glass type call outs. Please advise.	10/29/21	Glass Type for "M" and "Z" frames is to be GL-I. Note that both M and Z frames are found at the Surgery Rm #106. The window labeled "R4" is mislabeled and should be the "M" type window. This will be corrected on the drawings.
4.03	"	A5.12	Detail indicates a thin layer on CMU wall projection in detail 2. The typical elevations of this wall on 3/A6.10 show CMU continuing to the end of the projection. Please specify what coating or paint goes on this wall projection.	10/29/21	Detail2/A5.12 shows the transition between the CMU exterior wall of the building envelope and the single-wythe CMU wall that extends out from the building. There is no coating or paint to be applied to the CMU in the single-wythe wall extension. I believe that there may be some confusion graphically associated with a line that is appearing around that wall. The line will be removed or noted separately. The wall is intended to be decorative Trenwythe CMU only with no additional coating or painting.
4.04	"	C2.01, C2.02	Key note #4 states "STORMWATER STRUCTURE TO BE RELOCATED. SEE GDOT PLANS BY LOWE ENGINEERS DATED XX/XX/2021." The note is referencing the existing Catch Basins along Fulton Industrial Blvd. Please confirm that this work is part of the GDOT package to be performed outside Winter Johnson's scope of work.	11/1/21	The permit approval and process is through GDOT but the actual work to be completed with the turn lanes will need to be done by the Contractor whether its WJG or someone else.
4.05	"	P1-03	Please provide direction on location of trap primers and or trap guards. Trap guards are only shown on the floor sinks FS-1 but our plumbers do not recommend that they be used in any area that has a high likelihood of large amounts of hair and or large debris due to the risk of repeat clogging.		Trap guards to be provided on all floor drains/sinks that do not see frequent wash downs. Locations to be further detailed on a future ASI. (20/20 Engineering, Inc.)
4.06	"	P4-00	Please provide direction on spring hanger requirements for plumbing piping. They are shown for all hangers on detail 2/P4-00 but they are not listed in the specs. Spring hangers for all piping will be a significant cost.		Spring isolation is not required on any plumbing system piping (20/20 Engineering).
4.07	"	P1-03,A10.11	SV-1 mixing valve is listed on the plumbing equipment schedule but not shown on any of the plans. Please provide direction as to where this mixing valve should be used. 09-620 is a Accel Mixing Station and locations are shown for this on A10.01-04. Please provide direction if these are for the same use.		SV-1 is not included in the project's scope of work. Accel Mixing Stations are for chemical mixing for sanitary wash down procedures. These should not be included in the plumbing scope of work. (20/20 Engineering).
4.08	"	P2-23, P2-24, P2-34 1/A7-28	Roof drain piping shown going to the roof in areas C&D but no roof drains shown. If these areas will be served by gutters and downspouts please provide direction on how the downspouts will be tied into the storm piping.		Roof gutter and downspout outlets will connect to the 4" storm risers referenced on the plumbing plans. Detail to be incorporated on future ASI (20/20 Engineering).
4.09	"	P4-00, P1-03	Please clarify if the hair traps HT-1 will be supplied with the associated equipment and should just be installed by the plumbing contractor or if they should be supplied by the plumber and they included equipment drains modified.		Plumbing contractor to provide and install HT-1 as specified. HT-1 is a replacement basket strainer and tailpiece for the fixture (20/20 Engineering).

Exhibit A - Attachment I

RFI Log #4 - 11/04/21

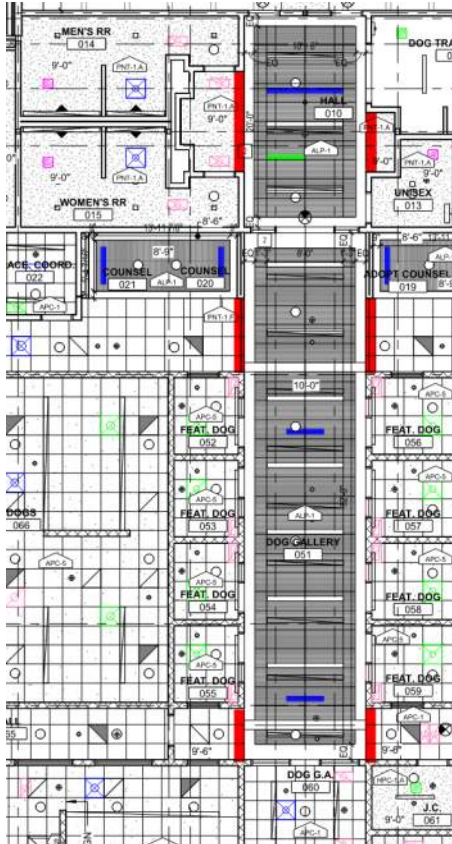
Fulton County Animal Services



4.10	"	E3.11	Please provide labels for lights in rooms 076A and 076B at the matchline in sector B.		
4.11	"	RFI 2.19 response	The GDOT asphalt paving profile for the decel lanes shown on Fulton Industrial Boulevard is needed now for pricing solicitation from bidding subcontractors.		1.5" of 9.5mm Superpave Asphaltic Conc. Surface Course, 2" of 19 mm Superpave Asphaltic Concrete Binder Course, and an 8" Graded Aggregate Base
4.12	"	A6.20	Please clarify what the three CMU colors 1, 2, and 3 are.	10/29/21	Echelon Trendstone: CMU-1 Ground Face Color #4107, CMU-2 Ground Face Color #4205, CMU-3 Ground Face Color #4301
4.13	"	section 042200, par. 2.5A; RFI 1.34 response	Please confirm that glazed block is eliminated from the project per VE #A14.	10/29/21	Correct Glazed Block is no longer to be installed in the project. Section will be removed from the specifications
4.14	"	section 042200, par. 2.5A; 6/A6.20	Please confirm that Trendstone is not included on the project.	10/29/21	Trendstone is included and is scheduled to be the exterior masonry product for this project. Astraglaze product is no longer included on the project. Color selections as noted in detail 6/A6.20 to be priced, however final color/size decisions in the walls shown in details 6, 7, 8/A6.20 are TBD.
4.15	"		Would it be acceptable to change structural steel canopies with roofing to pre-manufactured aluminum canopies?	10/29/21	Yes, that would be acceptable provided that the skyward side of the canopy system would be finished in white or light grey to prevent a heat island effect.
4.16	"		Is every window location that gets rollershades indicated on the A8.? Please confirm.	10/29/21	See response to RFI 1.10
4.17	"		Is the DIRTT an acceptable substitution for the demountable systems?	10/29/21	Yes, provided that the dark bronze finish is available in the DIRTT system and that they can provide glazing over sliding glass doors at reception area.

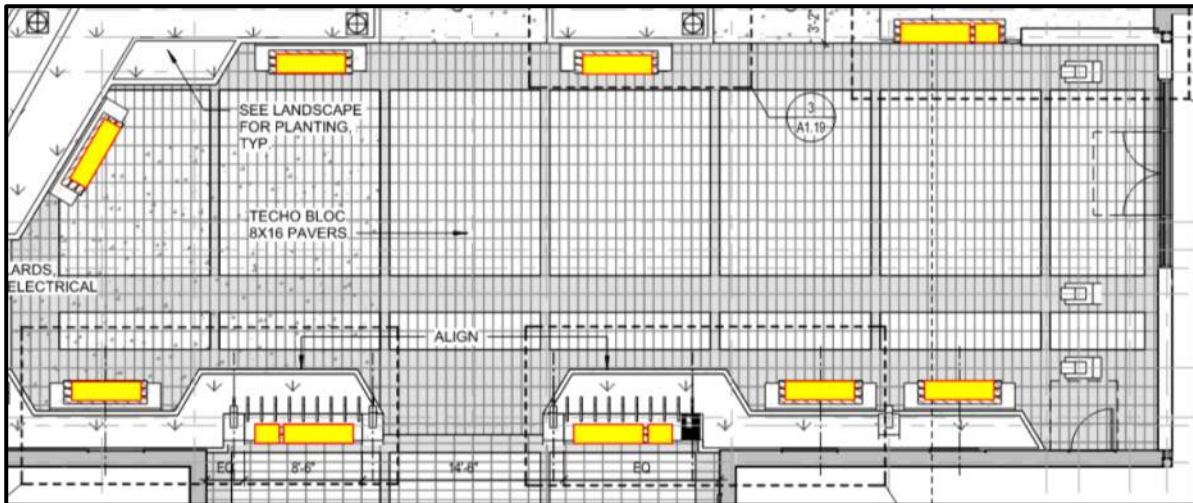
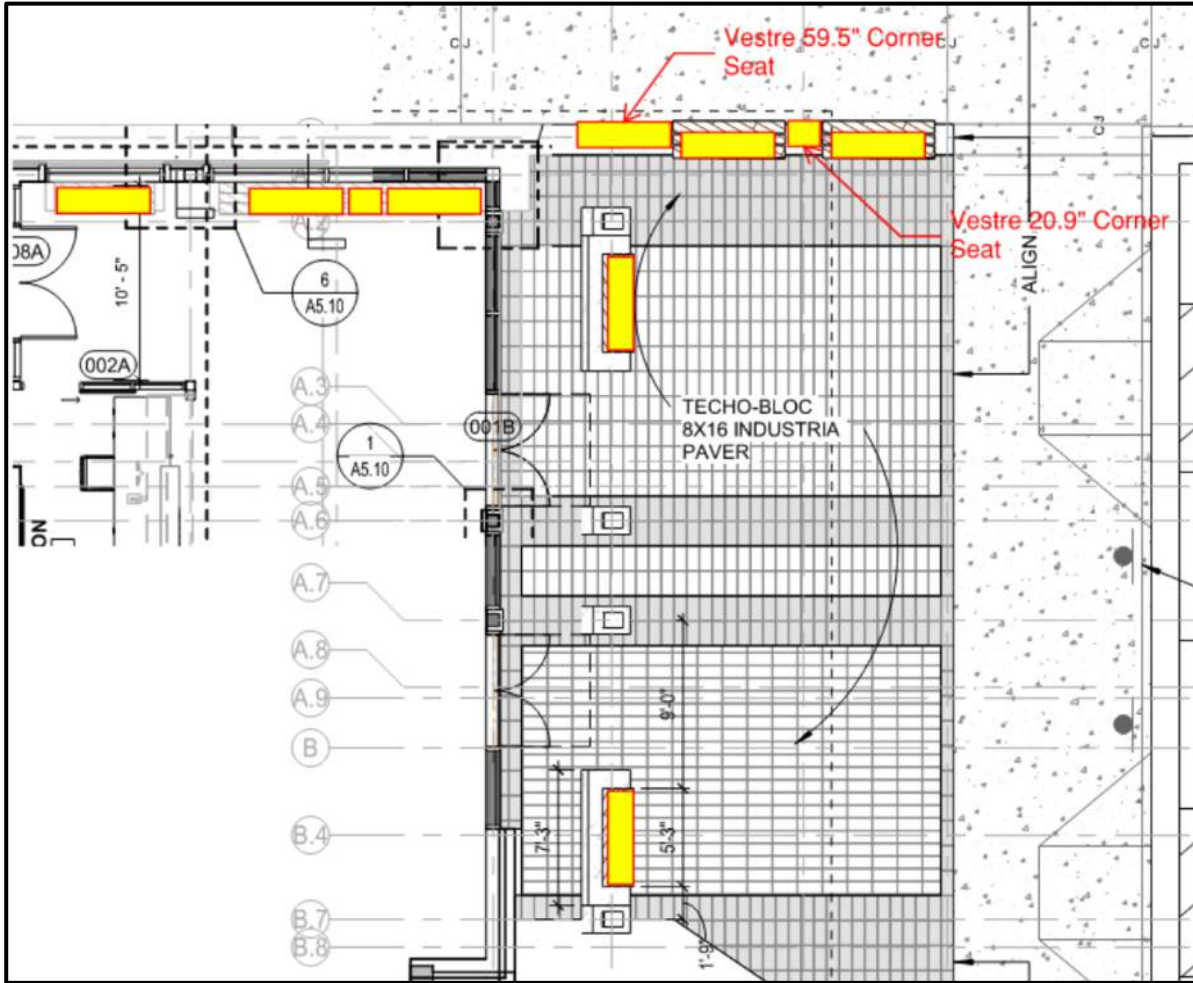
10/21/2021 GMP Impact Items - Narrative

1. Color for PL-1 changed from Vapor Strandz 4939K-18 to Dove Geo Y0677-60 (2-4 week lead time)
2. Color for PL-2 changed from Washi Gold 5019-38 to White Cascade 5003-38
3. Color for SS-1 changed from Oatmeal 9101GS to Frosty White Mirage 1573MG
4. Dog Gallery and Hall 010 are open to structure. Areas highlighted in red to have drywall bulkhead to go up to deck to close off plenum space in this area.



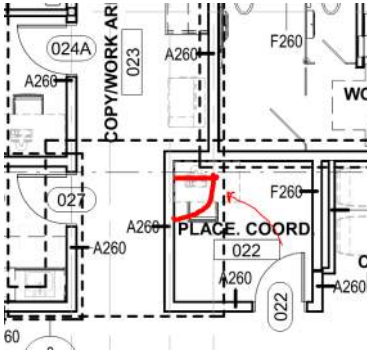
5. Sheet A4.11 shows Herringbone pattern tile in Single-Use Restrooms. This tile will be CWT-1 and will have 33% offset subway tile pattern (similar to elevations of restroom 049 and 050 on 3/A4.10).
6. Revisions to Equipment Schedule (per 10/18/21 meeting) – Revisions to be sent out on 10/22/21

- 7. Concrete Bench Seat - Possible product: Manufacturer: Vestre, Product: Corner

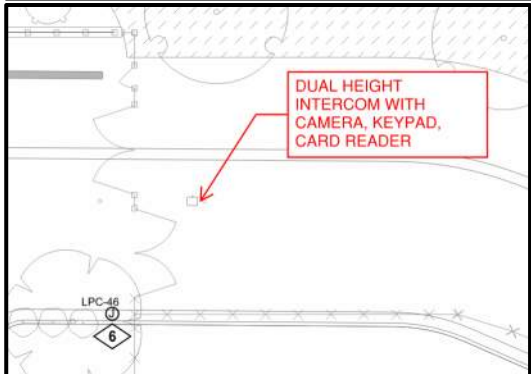
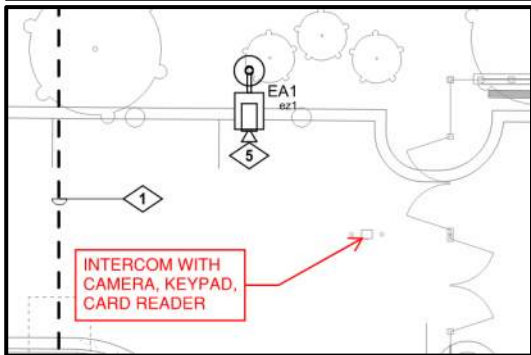
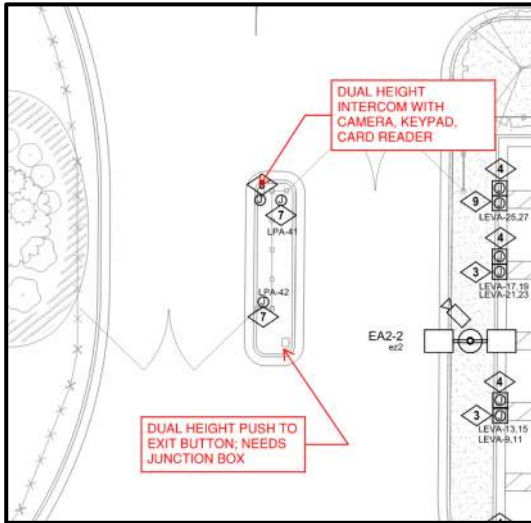


- 8. Study if Solid Wood doors should be stained or laminated

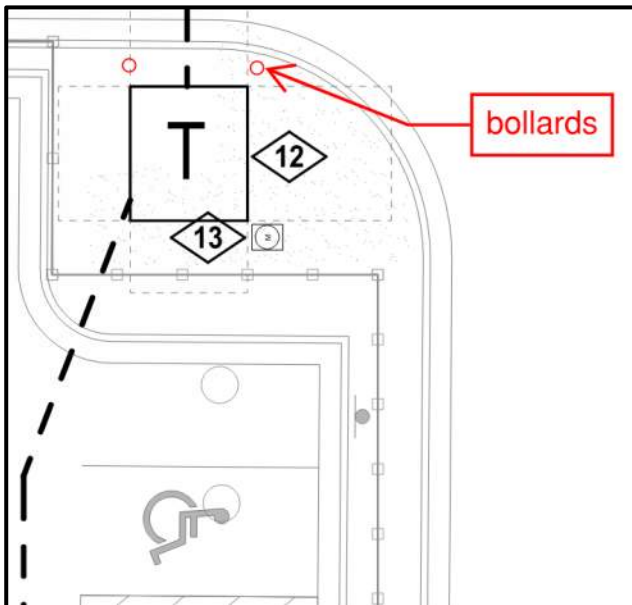
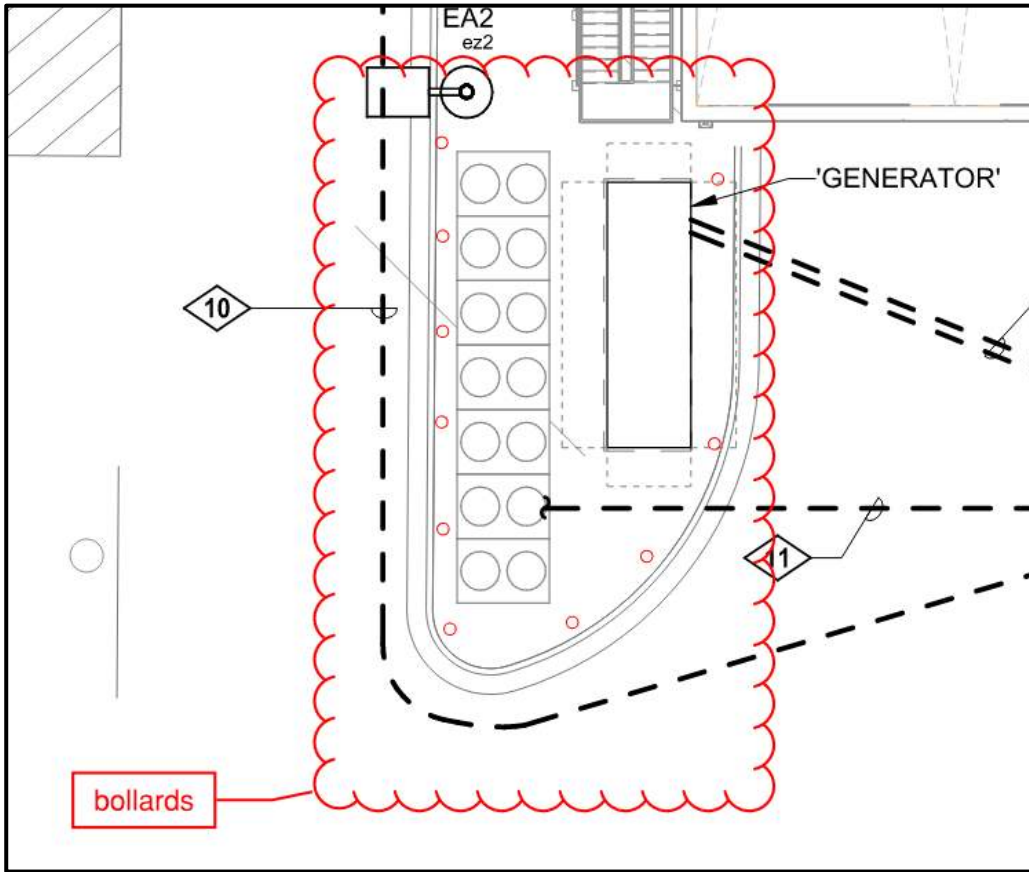
- 9. 022 Placement Coordinator Door to be Wood Door with HM Frame and moved for better privacy



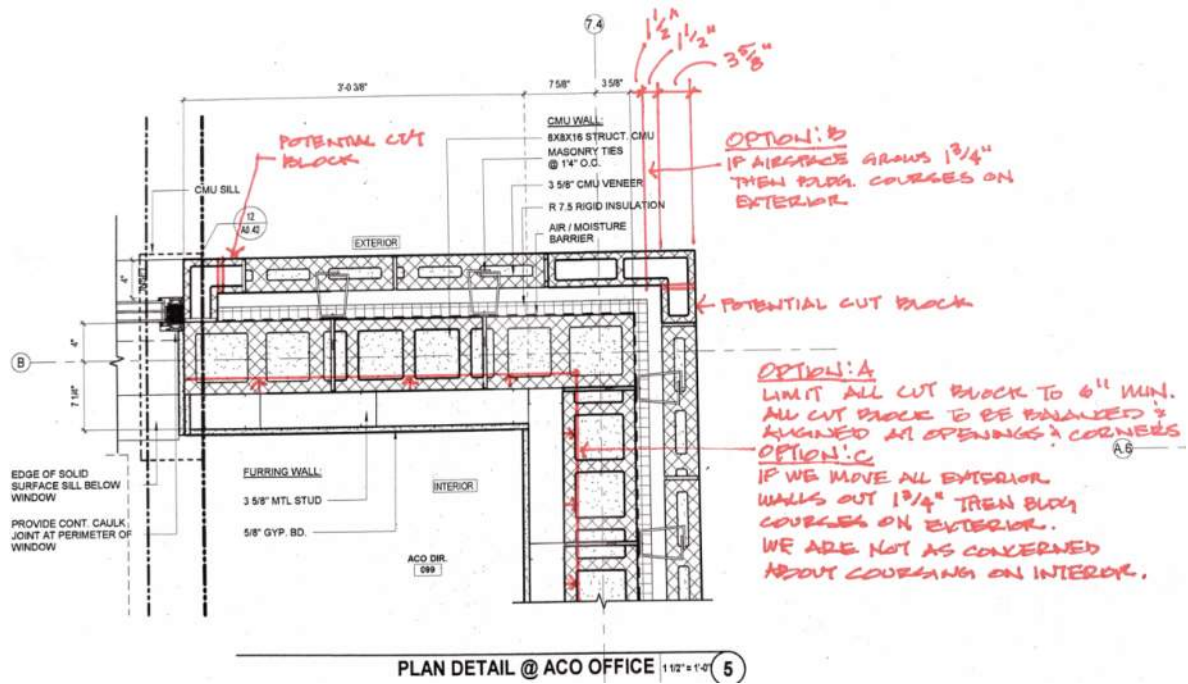
- 10. Call boxes, keypads, card readers at gated entries to be added



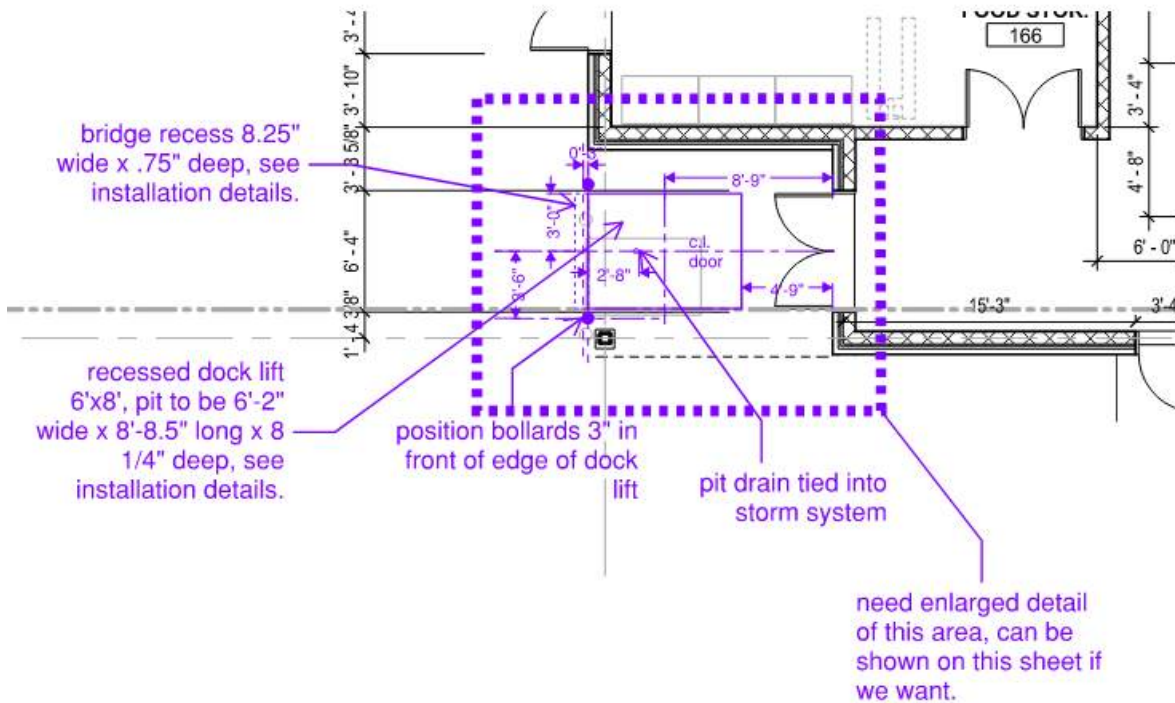
11. Bollards around exterior equipment to be added



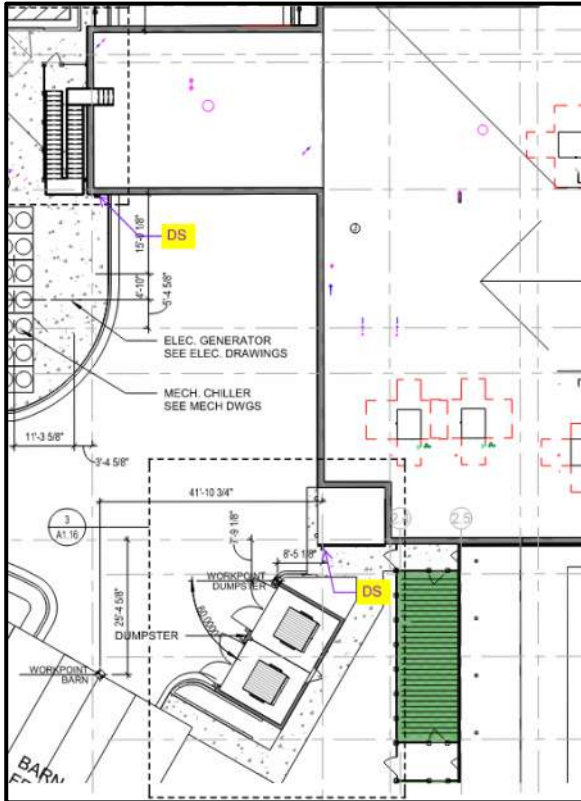
- 12. CMU veneer coursing to be studied (larger air gap vs expanding building to work with exterior coursing) – GC to contact mason.



- 13. Power to be added for Building Mounted Fulton County Sign
- 14. Revised Door Schedule Sent to GC on 10/20. 022, 119B, 120B, 121B, 122B, 126A, 127A to be wood doors; 503B to be Half Glass panel.
- 15. Dock lift to have drain (see email from Greg Mullin 10/21/21)

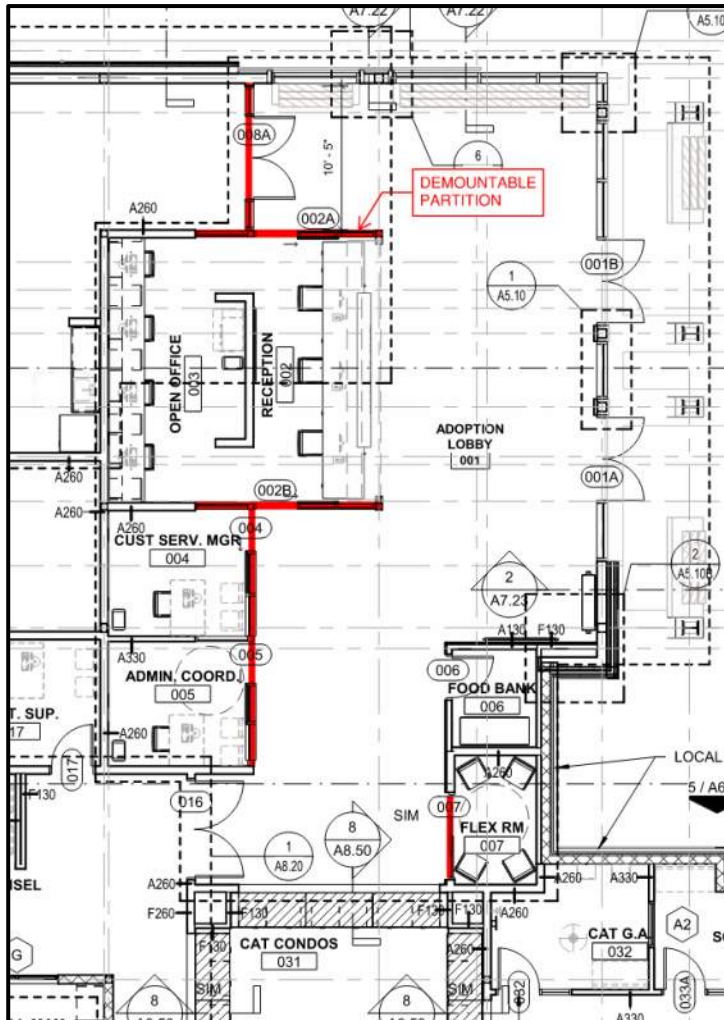


16. Downspouts to be tied into storm



10/25/2021 GMP Impact Items - Narrative

17. Walk Off Mats to be added to meet LEED Requirements (see attached diagram for locations)
18. Exterior Signage to be added at Intake Lobby/Clinic area. Will not need power
19. No Smoking Sign at all entries per attached diagram
20. Demountable Partitions at lobby to be priced out. Will be sent to GC week of 10/25.



11/2/2021 GMP Impact Items – Narrative

21. Door 200A to be changed to Aluminum – Full Glass
22. Add shades at interior door and glazing at conference room for privacy

11/18/2021



Aluminum Canopies • Walkway Covers • Metal Awnings

Fulton County Animal Facility

Type of Canopy:	Extruded Aluminum Walkway Covers, Overhead Supported Rod Canopies and Trellis Structures:
Post Supported Walkway Sizes:	(A) 1 @ 18'-0" x 31'-0" x 12'-6" / (F) 1 @ 11'-0" x 13'-0" x 12'-6" / (G) 1 @ 10'-6" x 84'-0" x 12'-8" (H) 5 @ 12'-0" x 84'-0" x 12'-6" / (I) 3 @ 6'-6" x 84'-0" (J) 1 @ 6'-6" x 95'-6" x 12'-6" (K) 1 @ 8'-0" x 12'-0" x 12'-6" (L) 3 @ 9'-6" x 12'-0" x 12'-6" (M) 8 @ 8'-0" x 12'-0" x 12'-6"
Rod supported Canopies Sizes:	(B) 1 @ 3'-0" x 41'-0" (N) 5 @ 4'-0" x 19'-0"
Trellis Sizes:	(C) 1 @ 17'-6 x 69'-6" 12'-6 (D) 2 @ 12'-3" x 33'-0" x 12'-6" (E) 12 @ 12'-0" x 30'-0"

Materials:

Columns:	4" x 4" / 4" x 6" / 6" x 6" Extruded Aluminum
Beams:	4" x 6" / 6" x 8" Extruded Aluminum
Trellis Tubes:	2" x 6" Extruded Aluminum
Gutter / Fascia:	6" Extruded Aluminum
Decking:	3" x 6" Extruded Aluminum Cap & Pan
Overhead Rods:	2" x 2" Extruded Aluminum Tube
Color / Finish:	Kynar 2-coat – one color only, from Mitchell Metals Standard Kynar Colors. Custom Kynar colors available with a 3 to 4-week additional lead time.

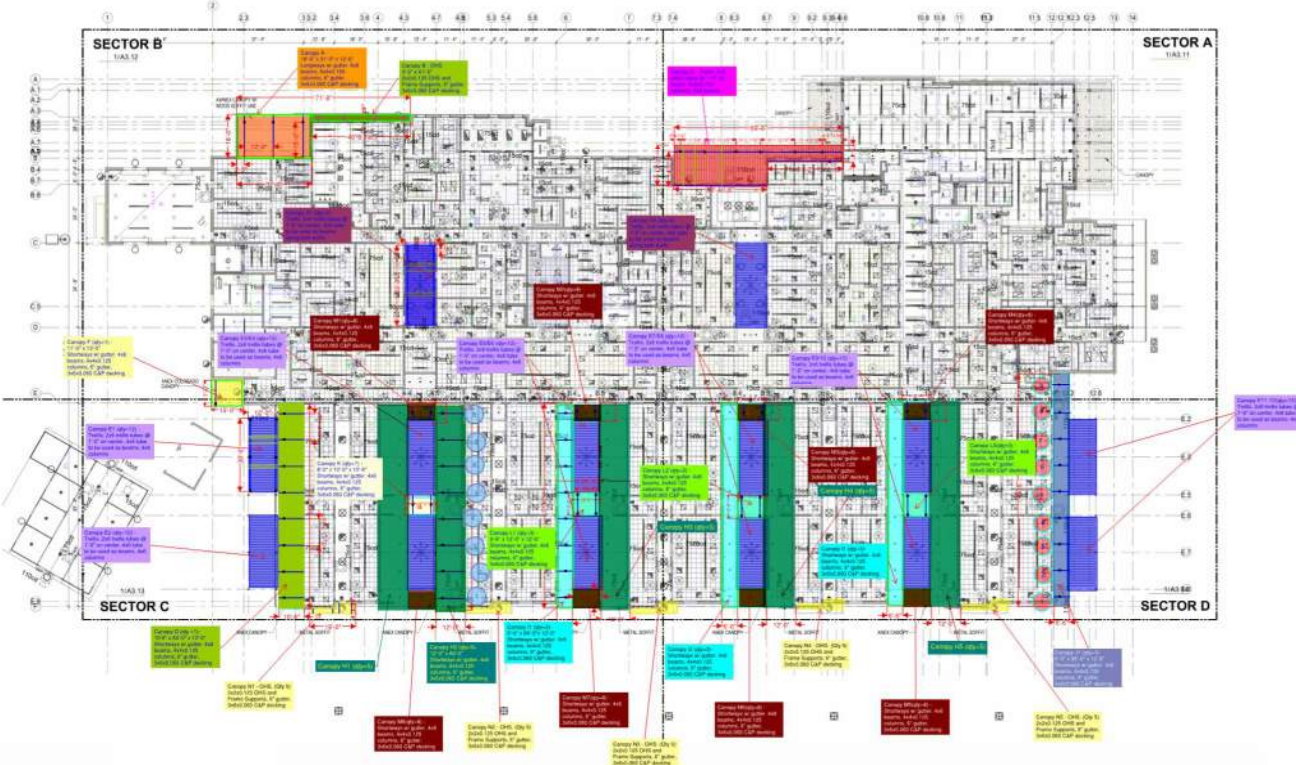
Notes & Exclusions:

- Mitchell Metals is providing custom designed systems utilizing the standard Prefabricated / Pre-engineered Parts and pieces listed above (See attached sketch).
- No specifications were provided for this scope of work.
- Price is based on Mitchell Metals interpretation of the Scope provided by Winter Construction
- Footing design and installation excluded. Mitchell Metals to provide Styrofoam block outs with installation by others.
- Blocking (if required) to support canopy gutter and overhead rods EXCLUDED. Blocking to be furnished and installed by others per Mitchell Metals' APPROVED Shop Drawings. *Blocking must be accessible during time of canopy installation to allow for proper canopy attachment.* Wall conditions: Brick/CMU
- Any demolition, lighting, conduit covers, thru-wall flashing, bonds and Davis Bacon Wage Rates excluded.
- Canopies are not designed to handle building roof drainage and will result in overflow of canopy system.

General Notes:

- **Georgia** PE sealed drawings and design calculations are included in this price. Canopy is designed to meet IBC with Wind Load requirements of 120mph, 20 psf Live Load and 5 psf Snow Load, Exposure Category – C, Risk Category – II.

Project Lead Time: May 17th, 2022 – Mitchell Metals minimum lead time based on bid date above.



RCP - OVERALL 1

GENERAL NOTES	
1.	CONSTRUCTION AND MATERIALS SHALL BE AS SHOWN OR AS NOTED.
2.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC).
3.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK.
4.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK.
5.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK.

FINISH LEGEND	
001	CONCRETE
002	PAINT
003	WOOD
004	GLASS
005	METAL
006	CEILING
007	FLOOR
008	WALL
009	DOOR
010	WINDOW
011	MECHANICAL
012	ELECTRICAL
013	PLUMBING
014	MECHANICAL
015	ELECTRICAL
016	PLUMBING
017	MECHANICAL
018	ELECTRICAL
019	PLUMBING
020	MECHANICAL
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046	PLUMBING
047	MECHANICAL
048	ELECTRICAL
049	PLUMBING
050	MECHANICAL

CEILING LEGEND	
001	CONCRETE
002	PAINT
003	WOOD
004	GLASS
005	METAL
006	CEILING
007	FLOOR
008	WALL
009	DOOR
010	WINDOW
011	MECHANICAL
012	ELECTRICAL
013	PLUMBING
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046	PLUMBING
047	MECHANICAL
048	ELECTRICAL
049	PLUMBING
050	MECHANICAL

WORK NOTES	
1.	CONSTRUCTION AND MATERIALS SHALL BE AS SHOWN OR AS NOTED.
2.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC).
3.	CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK.
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CEILING LEGEND	
001	CONCRETE
002	PAINT
003	WOOD
004	GLASS
005	METAL
006	CEILING
007	FLOOR
008	WALL
009	DOOR
010	WINDOW
011	MECHANICAL
012	ELECTRICAL
013	PLUMBING
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049	PLUMBING
050	MECHANICAL



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F 404 802 3810
www.fcgov.com

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CONSULTANT

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CONSTRUCTION PURPOSES.

PROJECT NAME
Fulton County
Animal Services
Facility

PROJECT LOCATION
1251 Fulton Industrial
Boulevard
Atlanta, GA 30318

PROJECT NUMBER
1004636.00

SHEET TITLE
OVERALL
REFLECTED
CEILING PLAN

SHEET NUMBER
A3.10

Exhibit A - Attachment K

Fulton County Animal Services

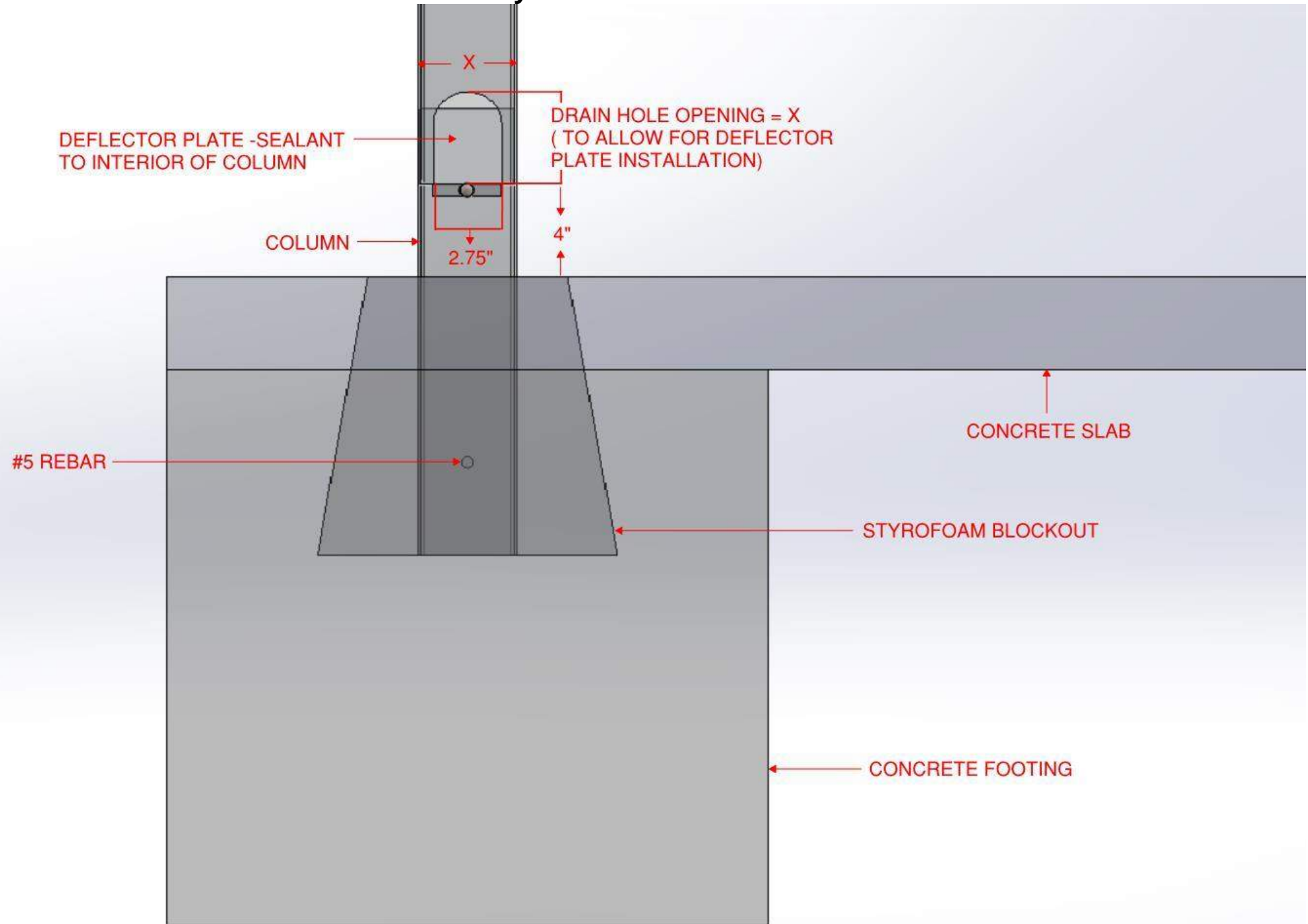


Exhibit A - Attachment K

Fulton County Animal Services

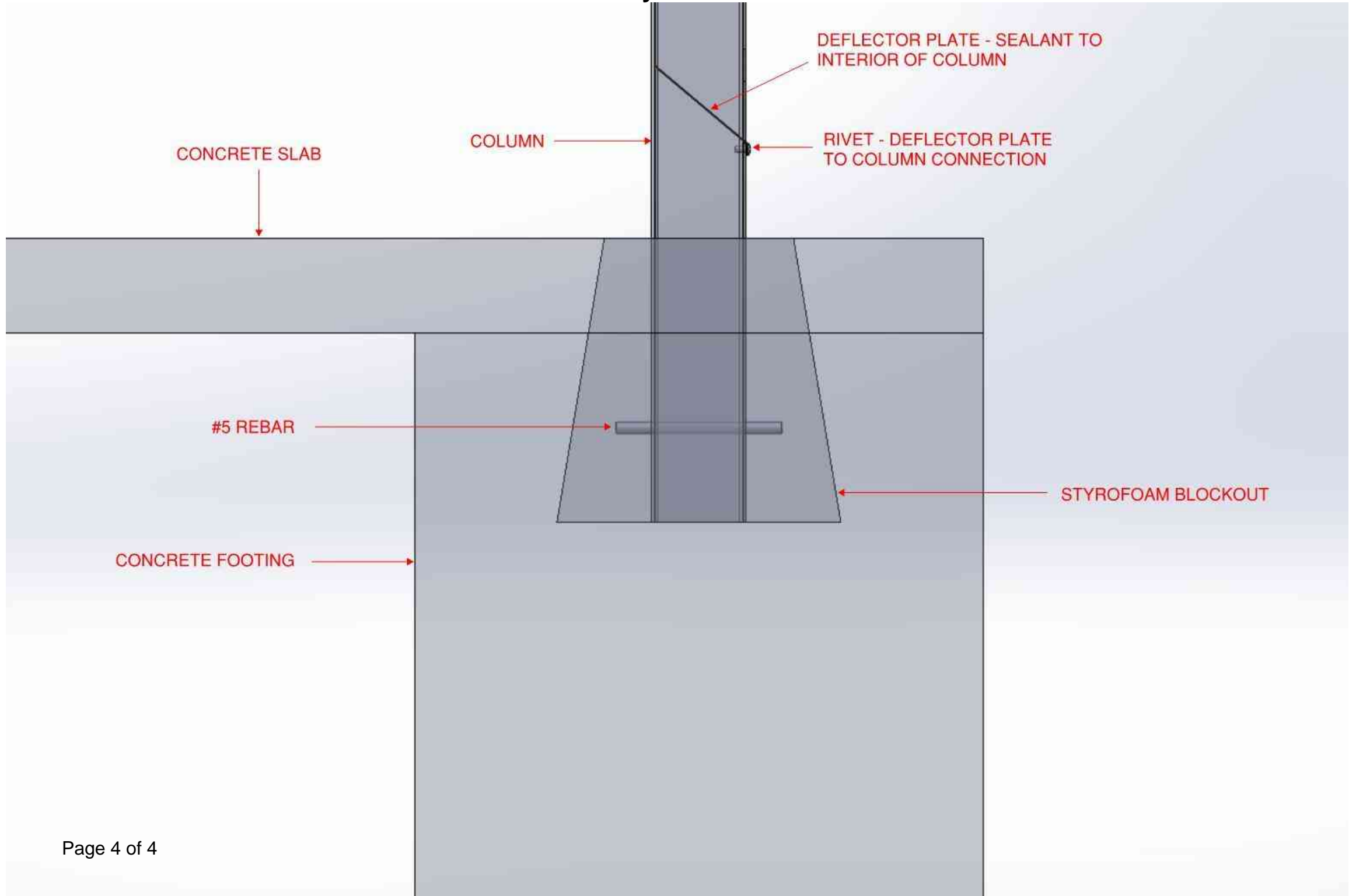


Exhibit A - Attachment L

Fulton County Animal Shelter



10/26/2021



Sierra Dennis, LEED AP BD+C, WELL AP, Fitwel Ambassador | Sustainability Consultant

Integral Consulting Engineering | **Trust** | **Nurture** | **Inspire**

P: 404.481.5686x1611

integralgroup.com | Sierra.Dennis@integralgroup.com

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-----Original Appointment-----

From: Sierra Dennis

Sent: October 20, 2021 11:58 AM

To: Sierra Dennis; Greg Mullin; Kelley Park; Briana Keith; Jerry Oglesbee; 'Clemente Quinones'; 'amaddox@greenbergfarrow.com'; Mar Goldstone; heather@animalarts.com; sarah@animalarts.com; bbarnes@epstengroup.com; Jeremy@2020engineer.com; mwothe@aedesign-inc.com; kkeller@aedesign-inc.com; jmullikin@aedesign-inc.com; gpfiler@aedesign-inc.com; dave@2020engineer.com; carrie@2020engineer.com; kelli@2020engineer.com; enielsen@aedesign-inc.com; skaltz@aedesign-inc.com; Steph Powell; Taylor Marshall; Andi Walter; Jean Shi; Kathleen Truong; Akemi Flores; Blake Bredbenner; Katy Townsend; erin@2020engineer.com; Jonathan Pilgrim; 'Sarah McCracken'; 'Patrick Nesbitt'; 'William Mensah'

Cc: Anais Engel; Marilyn Specht; John Nelson; Ruicong Liu

Subject: LEED Online Help Session

When: October 25, 2021 1:00 PM-1:30 PM (UTC-05:00) Eastern Time (US & Canada).

Where: Microsoft Teams Meeting

Hi FCASF team,

I will be hosting a 30-minute session, for all team members, demonstrating how to navigate the LEED Online profile, including setting-up accounts, reviewing credits, uploading documents, etc. The meeting will be recorded and shared. Please forward this invite to team members, as needed.

*PLEASE NOTE: The LEED Online interface is most efficient when using an **Internet Explorer** browser!*

Best,

Sierra Dennis
Sustainability Consultant
Integral Group

Additional Resources:

- [LEED Online](#)
- [USGBC](#)
- [LEED v4 credits](#)
- [LEED v4.1 credits](#)

Microsoft Teams meeting

Join on your computer or mobile app

[Click here to join the meeting](#)

10/26/2021

William Mensah

From: Sarah McCracken
Sent: Tuesday, October 26, 2021 3:38 PM
To: Drew Clayton; William Mensah; Patrick Nesbitt
Cc: Carrie Campbell; 21123
Subject: FW: FCASF: Recording - LEED Online Help Session
Attachments: RE: FCASF: Recording - LEED Online Help Session

All,

I was able to speak to Sierra this afternoon. See response below in [blue](#).

We discussed scheduling a WJG huddle to get into more specifics of the LEED construction credits in the next 2-3 weeks, after the design submission is complete. Pat, can you take the lead on reaching out to Sierra the week of November 15th?

Thanks,

Sarah McCracken | LEED AP

Project Executive
404-965-3350 (d)
404-861-7099 (c)

From: Sarah McCracken
Sent: Monday, October 25, 2021 4:10 PM
To: Drew Clayton <dclayton@winter-construction.com>
Cc: Patrick Nesbitt <pnesbitt@winter-construction.com>; William Mensah <WMensah@winter-construction.com>
Subject: FW: FCASF: Recording - LEED Online Help Session

Drew (and team),

FYI.....

I left a voicemail with Sierra to chat about who the WJG contact will be (maybe need a couple options) along with some general questions as noted: [Sierra confirmed we can have multiple people assigned to credits \(and encourages this\) as the new LEED online system operates where you can only see the credits that you are assigned to, so it is good to have multiple people assigned to each credit. I suggest that Drew, Pat, and I all create USGBC accounts and are both assigned to the project.](#)

- She mentioned LEED V4 and V4.1. Was curious as to why some credits seemed to fall under different versions as this hasn't been the case in the past. [Although the project is registered under V4.0, we can select to use the newer v4.1 requirements for certain credits at will. Sierra explained that some of the v4.1 requirements are less stringent than v4.0. See attached e-mail for the credits she is assuming we will use v4.1 versus v4.0.](#)
- Does WJG actually upload everything or do we send it to them to review and then they upload (the latter is how it worked on Central Library)? [The Integral Group will review our submittals \(i.e. IAQ plans, certification letters, etc.\) before we upload to LEED Online. For the tracking spreadsheets, we will simply enter the information into LEED online and then The Integral Group will review. In summary, WJG enters/uploads all required credit back-up, but The Integral Group reviews/confirms everything and actually submits to USGBC.](#)

10/26/2021

- During the kick-off meeting, she mentioned that she would send us templates for required documentation plans, etc. I will request those.....[Sierra confirmed she will send in the next week or so.](#)
- If Certified wood is a pre-requisite for MRc3: Building Product Disclosure & Optimization Sourcing of Raw Materials Product [Certified Wood is not a required pre-requisite. The requirement is simply a minimum of 5 product manufacturers meet one or more of the requirements \(recycled content, regional content, renewable materials, and/or certified wood\). It is all based on percentages of cost of construction so in theory we could meet the credit through recycled content \(as an example\) if we had 5 different product manufacturers that met the percentage requirement.](#)

Let me know if anyone has any additional questions. I will let you know once I hear back from her.

Thanks,

Sarah McCracken | LEED AP

Project Executive
404-965-3350 (d)
404-861-7099 (c)

From: Sierra Dennis <Sierra.Dennis@integralgroup.com>

Sent: Monday, October 25, 2021 3:09 PM

To: Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; Briana Keith <BKeith@pgal.com>; 'Jerry Oglesbee' <jerry@2020engineer.com>; 'Clemente Quinones' <clemente.quinones@loweengineers.com>; 'amaddox@greenbergfarrow.com' <amaddox@greenbergfarrow.com>; Mar Goldstone <mgoldstone@epstengroup.com>; heather@animalarts.com; sarah@animalarts.com; bbarnes@epstengroup.com; Jeremy@2020engineer.com; mwothe@aedesign-inc.com; kkeller@aedesign-inc.com; jmullikin@aedesign-inc.com; gpfiler@aedesign-inc.com; dave@2020engineer.com; carrie@2020engineer.com; kelli@2020engineer.com; enielsen@aedesign-inc.com; skaltz@aedesign-inc.com; Steph Powell <spowell@aedesign-inc.com>; Taylor Marshall <TMarshall@pgal.com>; Andi Walter <awalter@aedesign-inc.com>; Jean Shi <jshi@greenbergfarrow.com>; Kathleen Truong <KTruong@pgal.com>; Akemi Flores <akemi.flores@loweengineers.com>; Blake Bredbenner <blake.bredbenner@loweengineers.com>; Caty Townsend <caty@animalarts.com>; erin@2020engineer.com; Jonathan Pilgrim <jonathan@animalarts.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; William Mensah <WMensah@winter-construction.com>

Cc: Anais Engel <aengel@integralgroup.com>; Marilyn Specht <mspecht@integralgroup.com>; John Nelson <john.nelson@integralgroup.com>; Ruicong Liu <rliu@integralgroup.com>

Subject: FCASF: Recording - LEED Online Help Session

Hi All,

Please see below for the *LEED Online Help Session* recording - the Sharepoint link password is **FCASF2021**

https://integralgroup2-my.sharepoint.com/:v/g/personal/sierra_dennis_integralgroup_com/EQ0cl2JjbitNm6CuqlrEi_wBX2zvbETnx-ve_aXptLBymA?e=1UBZLz

Best,
Sierra Dennis

11/01/2021

William Mensah

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Sent: Monday, November 1, 2021 9:40 AM
To: Greg Mullin
Cc: Sarah McCracken; William Mensah; Kelley Park
Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121
Attachments: RE: Fulton County Animal Services Facility - Roofing Specifications TLMM TMANI60

Yes, I got a response back on Friday and I am sorry for the late response. Sam Bakare (County Building Construction Administrator) stated "The most important thing for us is the warranty period, which in this case is 20 years with Manufacturer guarantee. We will leave the installation and inspection assurance to the A/E of record."

See the attached email for record as well.

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
 FCURA – Project Management Team
 Department of Real Estate & Asset Management
 Fulton County Government Center
 141 Pryor Street, SW - Suite 6001
 Atlanta, GA 30303
 404-612-5916 (office) | 470-201-8508 (CELL)
 Email: Armond.Borders@fultoncountyga.gov

From: Greg Mullin [mailto:GMullin@pgal.com]
Sent: Monday, November 1, 2021 9:38 AM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Cc: Sarah McCracken <SMcCracken@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Kelley Park <KPark@pgal.com>
Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121

Armond –
 Have you heard anything back from the County's Roofing Manager?
 Thanks.
 Greg



GREG MULLIN AIA LEED AP
Principal

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN	DALLAS/FT WORTH	HOUSTON	SALT LAKE CITY	

11/01/2021

T 512 236 1005 T 972 871 2225 T 713 622 1444 T 801 999 9850

PGAL.COM



From: Greg Mullin
Sent: Wednesday, October 27, 2021 10:21 AM
To: 'William Mensah' <WMensah@winter-construction.com>; Sarah McCracken <SMcCracken@winter-construction.com>
Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

FYI, they, and I, would like the County to sign off on this as an acceptable solution. Technically, it is fine with PGAL and we can get our specs revised to reflect the actual installation. However, I think that we all want to make sure that it meets the County's requirements from a warranty and insurability standpoint.
Thanks.
Greg

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Sent: Wednesday, October 27, 2021 7:58 AM
To: Greg Mullin <GMullin@pgal.com>; Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>
Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121

It looks good to me and still achieves a 20 year warranty. I may need to check with the County's Roofing Manager Michelle Cox just to make sure.

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
FCURA – Project Management Team
Department of Real Estate & Asset Management
Fulton County Government Center
141 Pryor Street, SW - Suite 6001
Atlanta, GA 30303
404-612-5916 (office) | 470-201-8508 (CELL)
Email: Armond.Borders@fultoncountyga.gov

From: Greg Mullin [<mailto:GMullin@pgal.com>]
Sent: Tuesday, October 26, 2021 3:00 PM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>
Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

Not sure who at the County would want or need to review...but this does achieve a 20-yr warranty, if that is acceptable to the County.



GREG MULLIN AIA LEED AP
Principal

Exhibit A - Attachment M

Fulton County Animal Shelter



11/01/2021

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: William Mensah <WMensah@winter-construction.com>
Sent: Monday, October 25, 2021 7:25 PM
To: Greg Mullin <GMullin@pgal.com>
Cc: Kelley Park <KPark@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Drew Clayton <dclayton@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

Greg,
 Pleased see attached assembly letter from GAF showing that fastening all layers of substrate, insulation and cover boards simultaneously and mechanically attaching a 60 mil TPO is eligible for a 20 year NDL warranty as called for in the specifications.

Thanks,
 William Mensah LEED AP
 Senior Estimator
 Winter Construction
 404-965-3347 (d)
 404-822-6273 (c)
 404-588-3300 (o)

Disclaimer

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution or taking action in relation of the contents of this information is strictly prohibited and may be unlawful.

MATERIALS & FINISHES

MATERIAL DESCRIPTION	MARK	SUBCATEGORY
ALP-1		ACOUSTICAL LINEAR PLANK
APC-1		ACOUSTICAL PANEL CEILING
APC-2		ACOUSTICAL PANEL CEILING
APC-3		ACOUSTICAL PANEL CEILING
APC-3H		ACOUSTICAL PANEL CEILING
APC-4		ACOUSTICAL PANEL CEILING
APC-4H		ACOUSTICAL PANEL CEILING
APC-5		ACOUSTICAL PANEL CEILING
BB-1		BULLETIN BOARD
C-1		SEALED CONCRETE
CG-1		CORNER GUARD
CG-2		CORNER GUARD
CG-3		CORNER GUARD
CG-4		CORNER GUARD
CU-1		CEMENTITIOUS RESINOUS
CW-1		CERAMIC WALL TILE
CW-2		CERAMIC WALL TILE
FRP-1		FIBERGLASS REINFORCED PLASTIC
HPC-1		HIGH PERFORMANCE COATING
HPC-2		HIGH PERFORMANCE COATING
HPC-3		HIGH PERFORMANCE COATING
HPC-5		HIGH PERFORMANCE COATING
OP-1		OPERABLE PARTITION
PL-1		HIGH PRESSURE LAMINATE
PL-2		HIGH PRESSURE LAMINATE
PL-3		HIGH PRESSURE LAMINATE
PNT-1		INTERIOR PAINT
PT-1		PORCELAIN TILE
PVC-1		PVC SHEET WALL COVERING
PVC-2		PVC RUB RAL
PVC-3		PVC SHEET WALL COVERING
PVC-4		PVC SHEET WALL COVERING
PWT-1		PORCELAIN WALL TILE
PWT-2		GAUGED PORCELAIN TILE
QZ-1		QUARTZ
RB-1		RUBBER BASE
RB-2		RUBBER BASE
RP-1		RESINUS PANEL
SS-1		SOLID SURFACE
SS-2		SOLID SURFACE
ST-1		STAINED CONCRETE
SV-1		SHEET VINYL
SV-2		SHEET VINYL
TP-1		TOILET PARTITION
TR-1		WALL TRIM
TR-2		WALL TRIM
WC-1		WALL COVERING
WD-1		COMPOSITE WOOD
WF-1		WINDOW FILM

ROOM FINISH TAG:

CEILING
WALL
BASE
FLOOR

* DENOTES ACCENT WALL FINISH
 A - FIELD COLOR
 B - ACCENT, RE: FINISH SCHEDULE
 C - ACCENT, RE: FINISH SCHEDULE
 D - ACCENT, RE: FINISH SCHEDULE
 E - ACCENT, RE: FINISH SCHEDULE
 F - ACCENT, RE: FINISH SCHEDULE
 G - ACCENT, RE: FINISH SCHEDULE

DENOTES FLOOR PATTERN DIRECTION:

PATTERN

GENERAL NOTES

- REFER TO A9.10 FOR FINISH INFORMATION
- ALL FLOOR FINISHES TO BE CENTERED WITH ROOM UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF DRYWALL UNLESS NOTED OTHERWISE.
- ALIGN FLOOR AND WALL TILE UNLESS NOTED OTHERWISE.
- FLOOR DRAIN LOCATIONS IN RESTROOMS TO BE CENTERED ON TILE INTERSECTION. LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO BE ADJUSTED. CHECK FINISHED SQUARE FLOOR DRAIN AT PUBLIC AREAS. ADVISE ARCHITECT OF ANY DISCREPANCIES AND LOCATIONS.
- REFER TO INTERIOR ELEVATIONS FOR WALL FINISH DIMENSIONS AND LOCATIONS.
- OUTSIDE CMU CORNERS TO BE BULLMOSE

CLIENT



Fulton County Georgia
141 Pryor Street, SW,
Atlanta, GA 30303
T 404 612 4000

ARCHITECT



PGAL
1425 Ellsworth Industrial
Suite 15
Atlanta, GA 30318
T 404 602 3500
F 404 602 3810
www.pgal.com

CONSULTANT

DRAWING HISTORY

NO.	DATE	DESCRIPTION
1	10/08/2021	100% CD

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CONSTRUCTION PURPOSES.



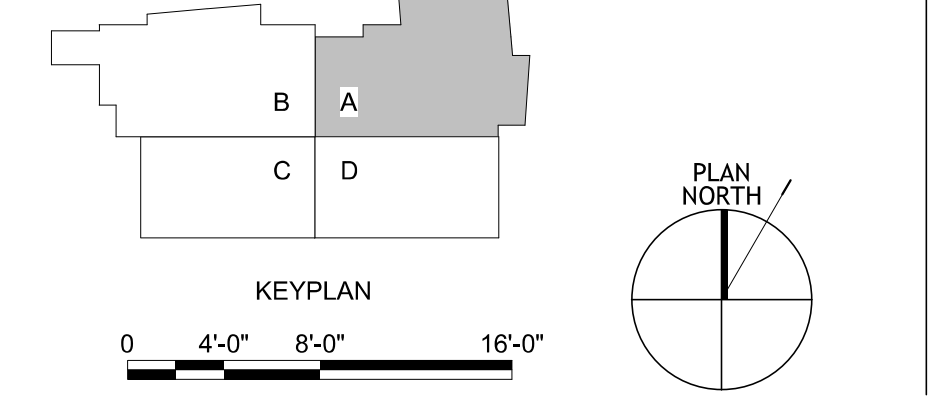
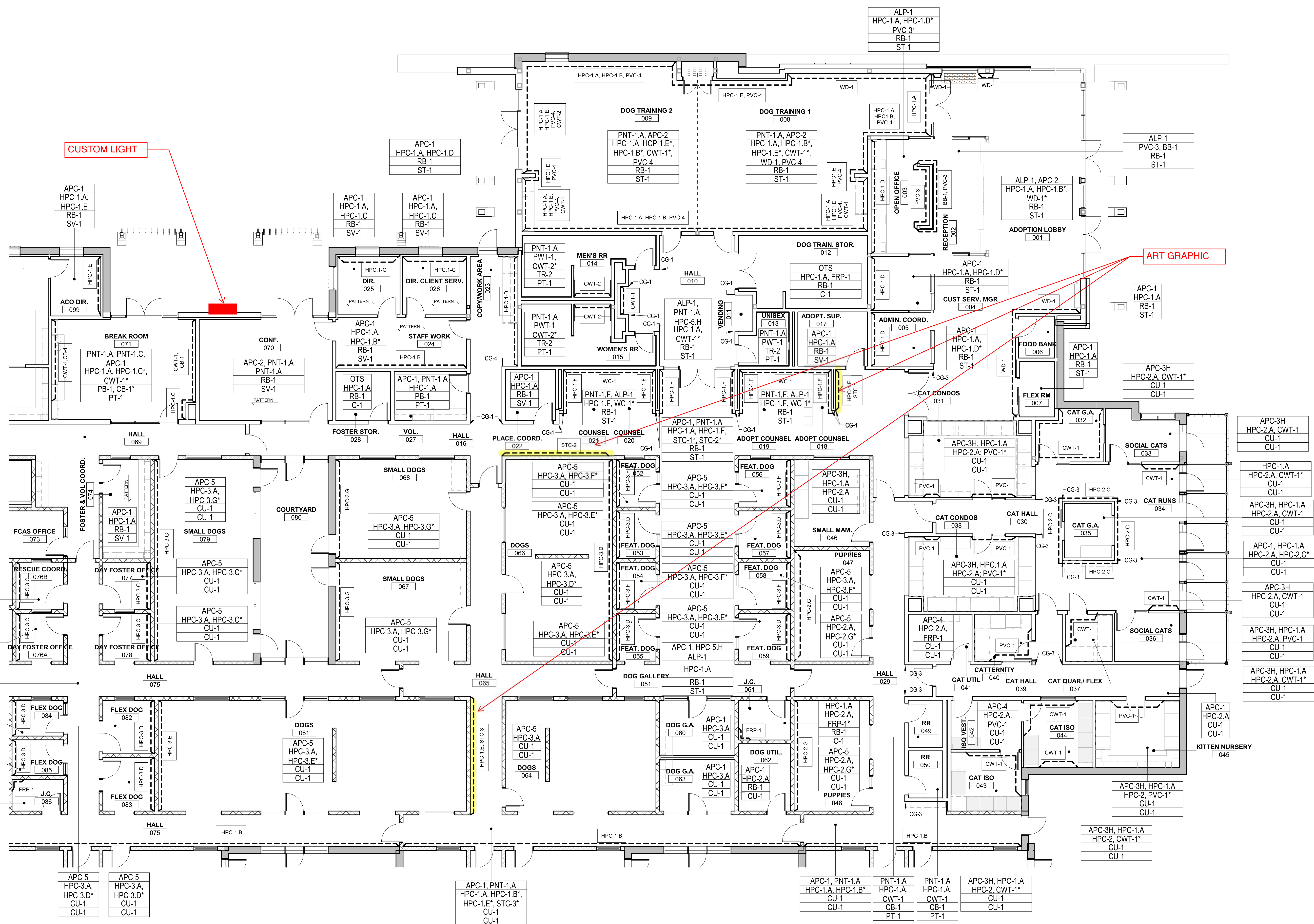
PROJECT NAME
Fulton County
Animal Services
Facility

PROJECT LOCATION
1251 Fulton Industrial
Boulevard
Atlanta, GA 30318

PROJECT NUMBER
1004636.00

SHEET TITLE
FINISH PLAN -
SECTOR A

SHEET NUMBER
A9.11



FINISH PLAN - SECTOR A 1/8" = 1'-0" 1

Fulton County Animal Shelter



IEQc1 WALK-OFF MAT PLACEMENT DIAGRAM

FLOOR PLAN - OVERALL 1/16" = 1'-0" 1

11/03/2021

William Mensah

From: Greg Mullin <GMullin@pgal.com>
Sent: Wednesday, November 3, 2021 4:57 PM
To: William Mensah; Kelley Park
Cc: Sarah McCracken
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

I've used KI's demountable product before and this is acceptable.



GREG MULLIN AIA LEED AP
Principal

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: William Mensah <WMensah@winter-construction.com>
Sent: Wednesday, November 3, 2021 4:24 PM
To: Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>
Cc: Sarah McCracken <SMcCracken@winter-construction.com>
Subject: FW: Demountable Walls / Fulton County Animal Services Facility

Greg/Kelley,
Attached is a demountable partition manufacturer's product information for your review. Please let us know if this would be acceptable.

Thanks,
William Mensah LEED AP
Senior Estimator
Winter Construction
404-965-3347 (d)
404-822-6273 (c)
404-588-3300 (o)



www.wintercompanies.com


From: Grant Huebner <Grant.Huebner@ki.com>
Sent: Wednesday, November 3, 2021 3:59 PM
To: William Mensah <WMensah@winter-construction.com>
Cc: Hassan Hagood <hassan@contractbusinessinteriors.com>; Cheryl Madison <cheryl@contractbusinessinteriors.com>; Carl Hagood <carl@contractbusinessinteriors.com>; Stephen Gamble <stephen@contractbusinessinteriors.com>
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

William,

Please see attached Genius Brochure, STC Report, and Environment Data Sheet.

This information should be more than sufficient for the architect. Let me know if there is any additional information that you may need.

Thank you.

 **GRANT HUEBNER** | Wall Specialist-Strategic Accounts
P: 404.869.0885 | **M:** 404.323.5838 | **E:** grant.huebner@ki.com | ki.com



Visually inspiring. Seamlessly functional.

Learn more about KI architectural walls at ki.com/wall

Due to the rising cost of raw materials, transportation and logistical shortages, effective July 12th all orders* received on or after this date will incur a 5% material & transportation surcharge.

*Some exclusions apply

From: Stephen Gamble <stephen@contractbusinessinteriors.com>
Sent: Wednesday, November 3, 2021 3:09 PM
To: womensah@winter-construction.com
Cc: Hassan Hagood <hassan@contractbusinessinteriors.com>; Cheryl Madison <cheryl@contractbusinessinteriors.com>; Carl Hagood <carl@contractbusinessinteriors.com>; Grant Huebner <Grant.Huebner@ki.com>
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

CAUTION: This message originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Grant,

I just spoke with William (Winter-Construction / copied). He is requesting the technical data of our product offering so as to forward to the Architect for approval. Please send as an attachment ASAP. Thank you.

Regards,

Stephen

Disclaimer

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11/01/2021

William Mensah

From: Kelley Park <KPark@pgal.com>
Sent: Monday, November 1, 2021 4:28 PM
To: Borders, Armond; Crayton, Gregory; Sarah McCracken
Cc: Dunlap, Duane @ ATLANTA; Drew Clayton; William Mensah; Patrick Nesbitt; Carrie Campbell; Greg Mullin; All.IT.Operations; Regis, Abdias; Kallmyer, Matthew; Dimond, Timothy; Mason, Bill; Eric Nielsen; Greg Pfile; Taylor Marshall; Briana Keith; Sarah Boman; Caty Townsend
Subject: RE: Animal Services Facility - IT/Security Scope Review - 11/01/21
Attachments: 2021-11-01_Animal Services Facility - FIB Updates.xls

Good Afternoon,
Please see updated Equipment spreadsheet from today's meeting.

I also followed up with Animal Arts and they mentioned if it is in the budget, then it would be ideal if the barn and the dog kennel run yards could have WAPs. The only areas where wifi is not needed is the west-most dog yard (this is only for the quarantine dogs) and the south-most yards.



I will send out Arch/Elec/IT floor plans for the County to use to coordinate laptop/computer/printer locations with Lifeline. This will be sent via Newforma as the file is to large to send by email.

Thank you,
Kelley

Exhibit A - Attachment Q

11/01/2021

Fulton County Animal Shelter**KELLEY PARK RA RID LEED AP BD+C**
Associate

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM**From:** Borders, Armond <Armond.Borders@fultoncountyga.gov>**Sent:** Wednesday, October 27, 2021 3:39 PM**To:** Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Sarah McCracken <SMcCracken@winter-construction.com>**Cc:** Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; All.IT.Operations <All.IT.Operations@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>**Subject:** RE: Animal Services Facility - IT/Security Scope Review - 10/27/21

Please see the attached document we reviewed today. Kelly Park is setting up a meeting Monday at 1:00pm with the team to go through the drawings and determine how many phones, computers, printers, etc. will be needed. It was determined that Lifeline will not be providing the phones, computers etc. Sorry if I missed anything, please provide any notes to this email string that are needed.

- **IT will be providing the 8 network switches.**
- **WJG will be providing Camera, WAP, Data lines, card readers. WJG needs a narrative or it to be listed in the documents. Kelly to verify with G. Mullin.**
- **IDENTIV Hirsch Panels (Access Control) – Need power supply, dual contacts, locks, electric strikes. WJG needs specifications from FULCO and then integrated into the Contract Documents. Kelly will check with their Electrical group. Programming to be provided by Fulton County.**
- **OptiPlex 7090 Tower – M. Kallmyer needs to get with his team and review the documents to determine the amount that is needed. We will need the PGAL team and DREAM to coordinate in Monday's meeting.**
- **Phones – will be provided by the County.**

11/01/2021

- **Computers** – M. Kallmyer states the computers will be included in the County's setup. Need to coordinate with drawings & drops to determine the number. Will review on Monday 10/1/21.
- **Camera Switches** – Need to make sure we have space on the racks in the MDF closet.
- **AT&T-Comcast Circuit** – Need clear demarcation from the AT&T source at the street to the IT closet inside the building.
- **We are setting up a meeting for Monday@1:00p to go room by room to determine the number of phones, PC's printers, etc. We need to make sure the IT closet has enough room as well.**

Armond Borders | Project Manager
 HEERY/McAfee3, A Joint Venture
 FCURA – Project Management Team
 Department of Real Estate & Asset Management
 Fulton County Government Center
 141 Pryor Street, SW - Suite 6001
 Atlanta, GA 30303
 404-612-5916 (office) | 470-201-8508 (CELL)
 Email: Armond.Borders@fultoncountyga.gov

From: Crayton, Gregory
Sent: Tuesday, October 26, 2021 1:09 PM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Sarah McCracken <SMcCracken@winter-construction.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; All.IT.Operations <All.IT.Operations@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>
Subject: RE: Animal Services Facility - IT/Security Scope Review

Armond see attached, please let me know if you have any questions.

For discussion during our meeting the meeting tomorrow...

Gregory Crayton
Technical Operations Manager
 Data Center Operations | Physical Security | Infrastructure
 Fulton County Information Technology
 Main: 404.612.0058 | Direct: 404.612.0034 | Mobile: 404.861.7850
gregory.crayton@fultoncountyga.gov

From: Borders, Armond
Sent: Tuesday, October 26, 2021 11:40 AM
To: Sarah McCracken
Cc: Crayton, Gregory; Dunlap, Duane @ ATLANTA; Drew Clayton; William Mensah; Patrick Nesbitt; Carrie Campbell; Greg Mullin; Kelley Park
Subject: Re: Animal Services Facility - IT/Security Scope Review

I spoke with Greg this morning and he should be sending it over today.

Exhibit A - Attachment Q

Fulton County Animal Shelter



Armond Borders | Project Manager

11/01/2021

HEERY/McAfee3, A Joint Venture

FCURA – Project Management Team

Department of Real Estate & Asset Management

Fulton County Government Center

[141 Pryor Street, SW - Suite 6001](#)

[Atlanta, GA 30303](#)

[404-612-5916](#)

[470-201-8508](#)

Email: Armond.Borders@fultoncountyga.gov

On Oct 26, 2021, at 11:35 AM, Sarah McCracken <SMcCracken@winter-construction.com> wrote:

Greg C.,

Can we expect to receive the below referenced low voltage scope spreadsheet today? It would be great if we could have time to review prior to tomorrow's meeting.

Thank you,

Sarah McCracken | LEED AP

Project Executive

404-965-3350 (d)

404-861-7099 (c)

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>

Sent: Thursday, October 21, 2021 11:30 AM

To: Greg Mullin <GMullin@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>

Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesebitt@winter-construction.com>

Subject: RE: Animal Services Facility - IT/Security Scope Review

Sarah please send out the invite for Wednesday 2:30p-4:00p.

G. Crayton please send over the spreadsheet for us to review as well.

Armond Borders | Project Manager

HEERY/McAfee3, A Joint Venture

FCURA – Project Management Team

Department of Real Estate & Asset Management

Fulton County Government Center

141 Pryor Street, SW - Suite 6001

Atlanta, GA 30303

404-612-5916 (office) | 470-201-8508 (CELL)

Email: Armond.Borders@fultoncountyga.gov

11/01/2021

From: Greg Mullin [<mailto:GMullin@pgal.com>]
Sent: Thursday, October 21, 2021 10:47 AM
To: Sarah McCracken <SMcCracken@winter-construction.com>; Borders, Armond <Armond.Borders@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: RE: Animal Services Facility - IT/Security Scope Review

That works for me as well.



GREG MULLIN AIA LEED AP
Principal

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: Sarah McCracken <SMcCracken@winter-construction.com>
Sent: Thursday, October 21, 2021 10:12 AM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Greg Mullin <GMullin@pgal.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: RE: Animal Services Facility - IT/Security Scope Review

The Winter Johnson Group team can meet on Wednesday from 2:30 – 4 pm. Let us know if we should issue a meeting invitation.

Thank you,

Sarah McCracken | LEED AP
Project Executive

11/01/2021 404-965-3350 (d)
404-861-7099 (c)

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Sent: Wednesday, October 20, 2021 2:46 PM
To: Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Greg Mullin <GMullin@pgal.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>
Subject: Animal Services Facility - IT/Security Scope Review
Importance: High

These are the time slots that Fulco IT gave me as their availability. Let me know which date works for everyone. Also participation by all is required as we need to get scope nailed down determine who will be responsible for what and prevent scope gap. I will send out the spreadsheet from Greg Crayton and his team once I receive and we can review before the meeting next week.

Monday October 25, 2021 – 11:30a – 3:00pm est
 Wednesday October 27, 2021 – 2:30pm – 4:00pm est

- Phones
- Computers
- Printers
- Servers
- Server Racks
- Laptops
- Laptop Docking Stations
- Card Readers
- Credit Card Readers
- Cabling
- Cameras
- Security Monitors (2)
- Computer Monitors for Desktops

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
 FCURA – Project Management Team
 Department of Real Estate & Asset Management
 Fulton County Government Center
 141 Pryor Street, SW - Suite 6001
 Atlanta, GA 30303
 404-612-5916 (office) | 470-201-8508 (CELL)
 Email: Armond.Borders@fultoncountyga.gov

From: Crayton, Gregory
Sent: Wednesday, October 20, 2021 1:13 PM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>

Exhibit A - Attachment Q **Fulton County Animal Shelter**



11/01/2021 Cc: Regis, Abdias <Abdias.Regis@fultoncountyga.gov>

Subject: RE: Time Slots for Enrique & I

Thanks Abdias,

Armond, see the below time slots we are available to meet and discuss Animal Services Technology details and responsibilities.

Monday October 25, 2021 – 1130 – 3pm est
Wednesday October 27, 2021 – 230 – 4pm est

Please let me know if either of the slots works for everyone involved...

Thanks,

Gregory Crayton
Technical Operations Manager
Data Center Operations | Physical Security | Infrastructure
Fulton County Information Technology
Main: 404.612.0058 | Direct: 404.612.0034 | Mobile: 404.861.7850
gregory.crayton@fultoncountyga.gov

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Disclaimer

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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	APPROXIMATE LOCATION OF INCOMING SERVICE CONDUITS. PROVIDE (2) 4" CONDUITS AND (1) 2" CONDUIT TO IT ROOM 126. CONTRACTOR SHALL COORDINATE FINAL LOCATION AND CONNECTION REQUIREMENTS WITH APPROVED SHOP DRAWINGS PRIOR TO ROUGH-IN.
2	EC SHALL COORDINATE EXACT MOUNTING HEIGHT AND LOCATION OF RECEPTACLE WITH ARCHITECTURAL ELEVATIONS & SECTIONS PRIOR TO ROUGH-IN.

CLIENT

FULTON COUNTY
 Fulton County Georgia
 141 Pryor Street, SW,
 Atlanta, GA 30303
 T 404 612 4000

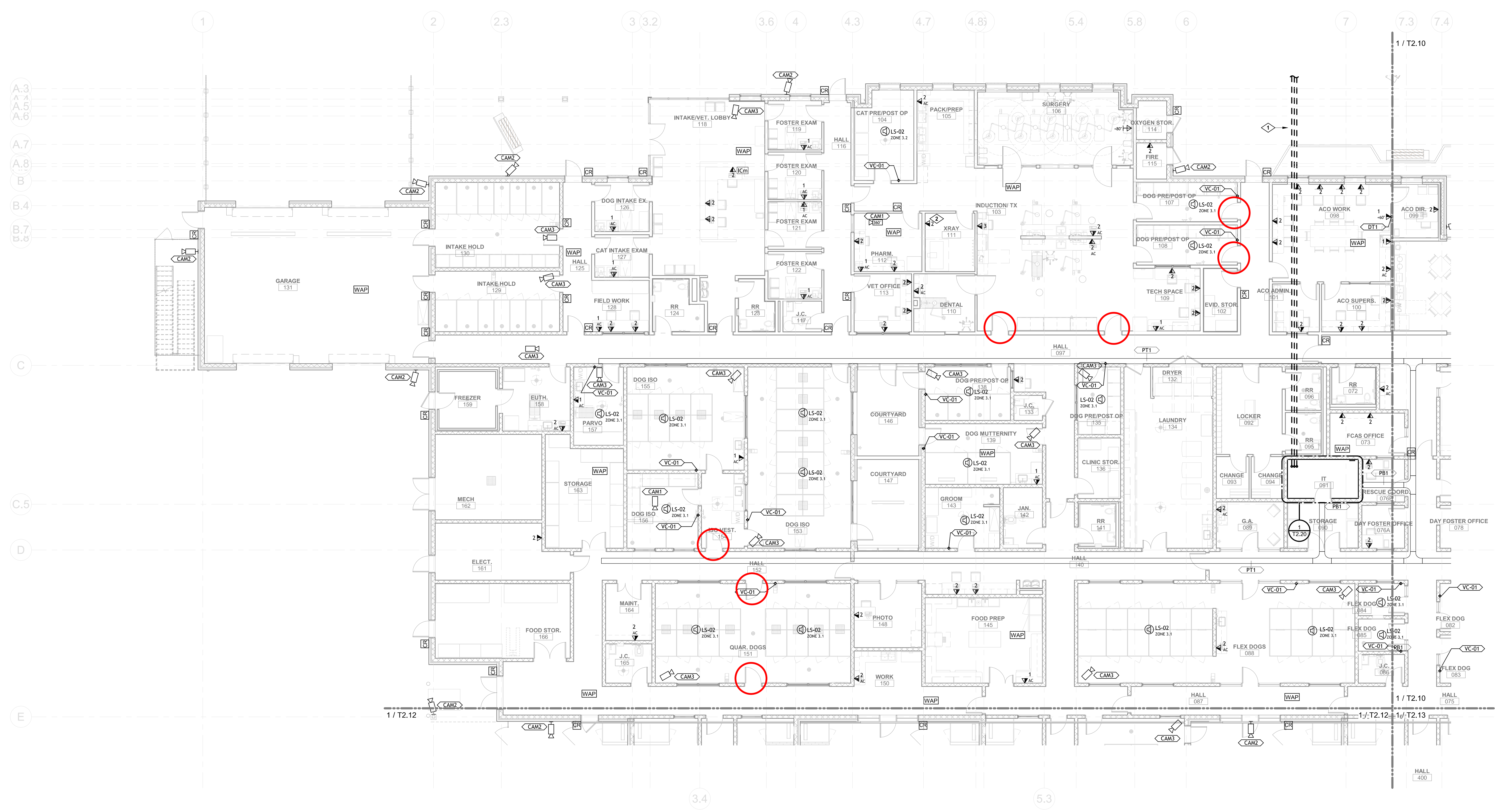
ARCHITECT

PGAL

PGAL
 1425 Ellsworth Industrial
 Suite 15
 Atlanta, GA 30318
 T 404 602 3500
 F 404 602 3810
 www.pgal.com

CONSULTANT

AE DESIGN
 Integrated Lighting and Electrical Solutions
1000 Peachtree Street, NE, Suite 100, Atlanta, GA 30309



1 | PARTIAL ELECTRICAL TECHNOLOGY PLAN - SECTOR B
 T2.11 | 1/8" = 1'-0"

DRAWING HISTORY

No.	DATE	DESCRIPTION
1	10/06/2021	100% CD

REGISTRATION
 Copyright © 2020
 RELEASED FOR
 CONSTRUCTION
 FOR REGULATORY APPROVAL,
 BIDDING, PERMIT, OR
 CONSTRUCTION PURPOSES.



PROJECT NAME
**Fulton County
 Animal Services
 Facility**

PROJECT LOCATION
 1251 Fulton Industrial
 Boulevard
 Atlanta, GA 30318

PROJECT NUMBER
1004636.00

SHEET TITLE
**SECTOR B -
 TECHNOLOGY
 PLAN**

SHEET NUMBER
T2.11

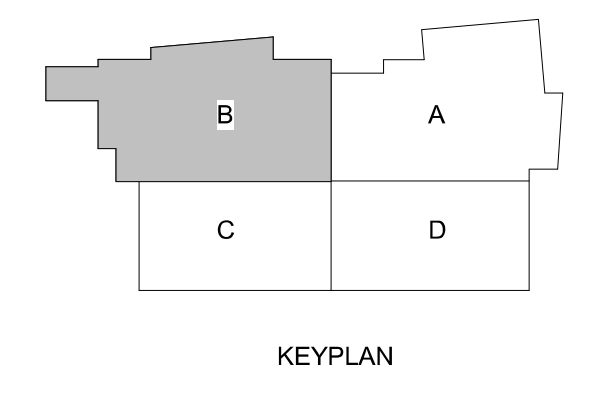
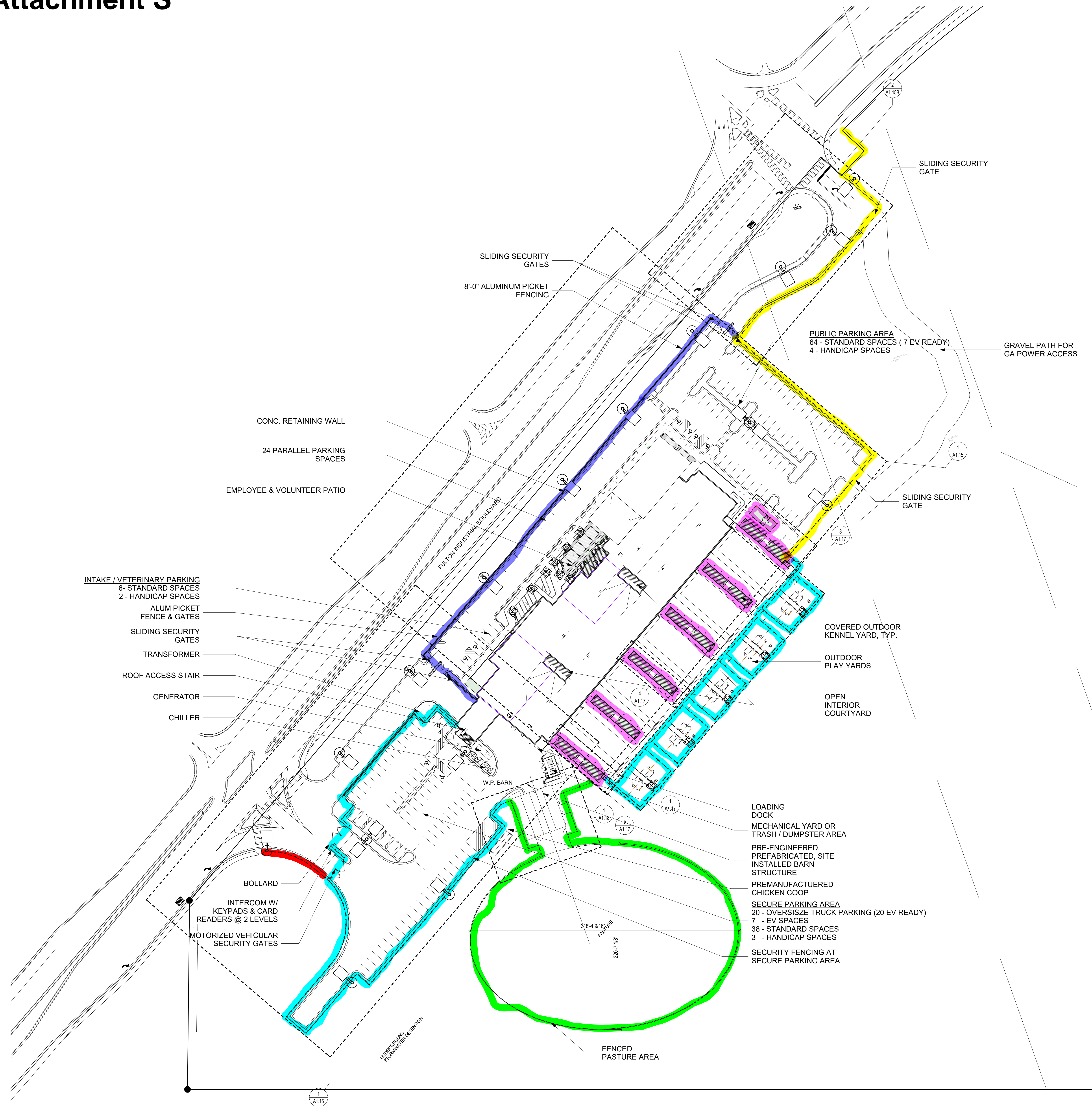


Exhibit A - Attachment S

11/18/2021

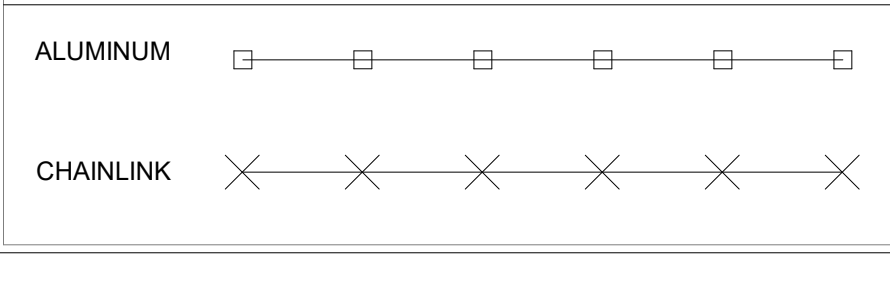
FILE NAME: BIM 360/Fulton County Animal Services Facility/ARCH - FCAS - RVT2020.rvt
DATE STAMP: 10/8/2021 4:23:55 PM



GENERAL SITE PLAN NOTES

- FFE OF 6'-0" IN THESE PLANS REFERS TO CIVIL ELEVATION XX.XX' NAVD OR XX.XX' NGVD.
- EXISTING SITE TO REMAIN AS-IS WITHIN LIMITS OF DISTURBANCE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
- REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ECT.
- REFER TO ELECTRICAL & SECURITY FOR SITE LIGHTING POLE FIXTURE & VIDEO SURVEILLANCE.
- GATES TO MATCH ADJACENT FENCING, RE FENCE TYPES.
- FENCING TO REMAIN 3'-0" OFF EXTERIOR FACE OF CURB.

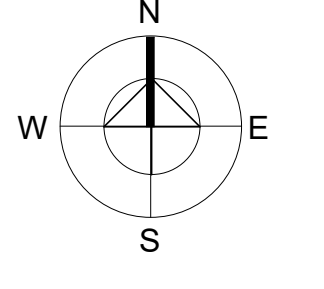
SITE FENCING TYPES



- Fencing required by GP per conditions agreed to in order to allow site access within the easement.**
- To remain in the project scope**
Type: Black Vinyl Coated Chain Link
- Pasture / Barn Fencing**
To remain in the project scope
FUTURE REVISION - VE NOT INCLUDED IN BASE SCOPE OF WORK
- Secure Parking / Dog Play Area Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
- Public Facing Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
FUTURE REVISION - VE NOT INCLUDED IN BASE SCOPE OF WORK
- Dog Yard / Kennel Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
- Fencing NOT REQUIRED**

- PUBLIC PARKING COUNT**
64 STANDARD SPACES (7 EV READY)
24 PARALLEL SPACES
4 ACCESSIBLE SPACES
92 PARKING SPACES
- INTAKE/VETERINARY PARKING COUNT**
6 STANDARD SPACES
2 ACCESSIBLE SPACES
8 PARKING SPACES
- SECURE PARKING AREA**
20 OVERSIZE TRUCK SPACES (20 EV READY)
8 STANDARD SPACES
7 EV READY SPACES
3 ACCESSIBLE SPACES
38 PARKING SPACES
- TOTAL PARKING COUNT = 138 SPACES**

ENLARGED SITE PLAN 1" = 50'-0" 1



CLIENT

FULTON COUNTY
Fulton County Georgia
141 Pryor Street, SW,
Atlanta, GA 30303
T 404 612 4000

ARCHITECT

PGAL
PGAL
1425 Ellsworth Industrial
Suite 15
Atlanta, GA 30318
T 404 602 3500
F 404 602 3810
www.pgal.com

CONSULTANT

DRAWING HISTORY

NO.	DATE	DESCRIPTION
1	10/08/2021	100% CD

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CONSTRUCTION PURPOSES.



PROJECT NAME
Fulton County
Animal Services
Facility

PROJECT LOCATION
1251 Fulton Industrial
Boulevard
Atlanta, GA 30318

PROJECT NUMBER
1004636.00

SHEET TITLE
ARCHITECTURAL
SITE PLAN
(ENLARGED)

SHEET NUMBER

A1.10

11/19/2021



MEMO

TO: Kelley Park, Greg Mullin, PGAL
CC: Sierra Dennis, Integral Consulting Engineers
FROM: Alan Burt, SSA Acoustics
DATE: November 19, 2021
SUBJECT: FCASF – LEED Acoustical Review

The following report provides the results of the LEED acoustical review for FCASF. The review was conducted based on the LEED documentation requirements associated with IEQc9 Acoustic Performance v4.1.

The following are the requirements for the acoustic performance credit:

LEED BD+C: New Construction v4.1 - Acoustic Performance

Requirements

For all occupied spaces, meet two of the following: HVAC background noise, Sound Transmission, and/or Reverberation time. Meet all three for an exemplary performance point. Confirm compliance via calculations or measurements in representative rooms, and/or design documentation from a person experienced in the field of acoustics.

Sound Transmission

Categorize all occupied spaces by use and desired level of acoustic privacy. Meet the composite sound transmission class (STC_c) ratings listed in Table 1.

Table 1: Minimum STC_c Ratings for Adjacent Spaces

Adjacency Combination		STC _c
Collaborative / Multi-use	Hallway, Stairway	25
Private	Hallway, Stairway	35
Confidential	Hallway, Stairway	40
Collaborative / Multi-use	Collaborative / Multi-use	35
Collaborative / Multi-use	Private	45
Collaborative / Multi-use	Confidential	50
Private	Private	45
Private	Confidential	50
Confidential	Confidential	50
Conference Room	Conference Room	50
Mechanical equipment room	Hallway, Stairway	50
Mechanical equipment room	Occupied area	60

11/19/2021

FCASF LEED Acoustical Review**Page 2**

Reverberation Time

Meet the reverberation time requirements in Table 2

Table 2: Reverberation Time Requirements

Office Building	T60 (s), at 500, 1000, and 2000 Hz
Executive or Private Office	<0.6
Conference Room	<0.6
Teleconference Room	<0.6
Open-plan office without sound masking	0.8
Open-plan office with sound masking	<0.8

HVAC Background Noise

Achieve maximum background noise levels from heating, ventilating, and air conditioning (HVAC) systems per 2015 ASHRAE Handbook-- HVAC Applications, Chapter 48, Table 1; AHRI Standard 885-2008, Table 15; or a local equivalent. Comply with design criteria for HVAC noise levels resulting from the sound transmission paths listed in 2015 ASHRAE Handbook—HVAC Applications, Chapter 48, Table 6; or a local equivalent.

LEED Credit Review

The following is a review of the acoustical design with respect to the LEED requirements. Recommendations are provided for items that do not meet the requirements.

Sound Transmission

Source Room	Adjacent Room	Wall Type	STC _c Rating	LEED STC _c	Note
Dir Office 025	Dir Client Services 026	A330	40	45	1
Dir Office 025	Staff Work 024	A330	40	45	1
Dir Client Services 026	Copy/Work Area 023	A260	45	35	
Staff Work	Copy/Work Area 023	A260	45	25	
Conference 070	Staff Work 024	A260	45	45	
Conference 070	Break Room 071	A260	45	45	
Conference 070	Hallway	A260	45	45	
Place Coord. 022	Hallway	A260	45	35	
Cust. Serv Mgr 004	Open Office 003	A260	45	35	
Cust. Serv Mgr 004	Lobby 001	Glass	35	35	
Cust. Serv Mgr 004	Admin Coord 005	A330	40	45	1
Admin Coord 005	Lobby 001	Glass	35	35	
Aco Dir. 099	Break Room 071	A260	45	45	
Aco Dir. 099	Aco Work 098	A330	40	45	1
Aco Supers 100	Aco Work 098	A330	40	35	
Aco Admin 101	Aco Work 098	A330	40	45	1
Aco Admin 101	Aco Supers 100	A330	40	45	1
Aco Admin 101	Hallway	A260	45	35	
Aco Work 098	Hallway	A260	45	35	
Vet Office 113	Hallway	A260	45	35	
Vet Office 113	Pharm, Dental	A330	40	35	

Table Notes:

1. Change to full-height wall (A230) to meet STC-45 rating

11/19/2021

FCASF LEED Acoustical Review**Page 3**

Reverberation Time

Space	T60			LEED
	500	1000	2000	
Office (Typ.)	0.4	0.5	0.3	0.6
Open Office (Typ.)	0.5	0.4	0.4	0.8
Conf Room 070	0.8	0.9	0.6	0.6

Recommendations:

According to the calculated reverberation times, Conference Room 070 does not meet the LEED criteria. The following should be added to the Conference Room to meet the criteria:

Install 150 square feet of sound absorbing material on the walls. Material to have a minimum NRC of 0.70. The following materials are recommended:

- Fabric wrapped or polyester acoustical panels (1" thick):
 - Polyester acoustical panels: [G&S Melody](#), [Polysorb](#), [F-Sorb](#) or similar material.
 - Fabric wrapped acoustical panels: [G&S AP](#)

Background Noise

The following are the calculated background noise levels based on the source noise data for the AHUs and terminal units:

Room ID	NC Level	LEED NC
Place Coord. 022	30	30
Cust. Serv Mgr 004	25	30
Admin Coord 005	25	30
Dir Office 025	30	30
Dir Client Services 026	30	30
Staff Work 024	35	40
Conference 070	40	30
Aco Admin 101	30	30
Aco Dir. 099	30	30
Aco Supers 100	30	40
Aco Work 098	30	40
Vet Office 113	35	40

11/19/2021

Recommendations:

According to the calculated NC levels, the predicted NC level in Conference Room 070 does not meet the LEED criteria. Noise levels are exceeded from noise generated by AHU-3 and the fan powered terminal units. The following noise control measures will need to be implemented to meet the criteria:

AHU-3:**Supply Side:**

- Line the 34"x16" duct with 1" duct liner

Return Side:

- Line the 42"x16" duct with 1" duct liner.
- Provide 5' of flex duct prior to the return grill in the conference room.

FPVAV 3-2:

- Flex duct prior to supply diffusers should be minimum 5'.

FPVAV 3-3:

Radiated noise from this unit is resulting in NC-40 in the Conference Room. The following is recommended to address this issue:

- Relocate unit to above the Break Room.

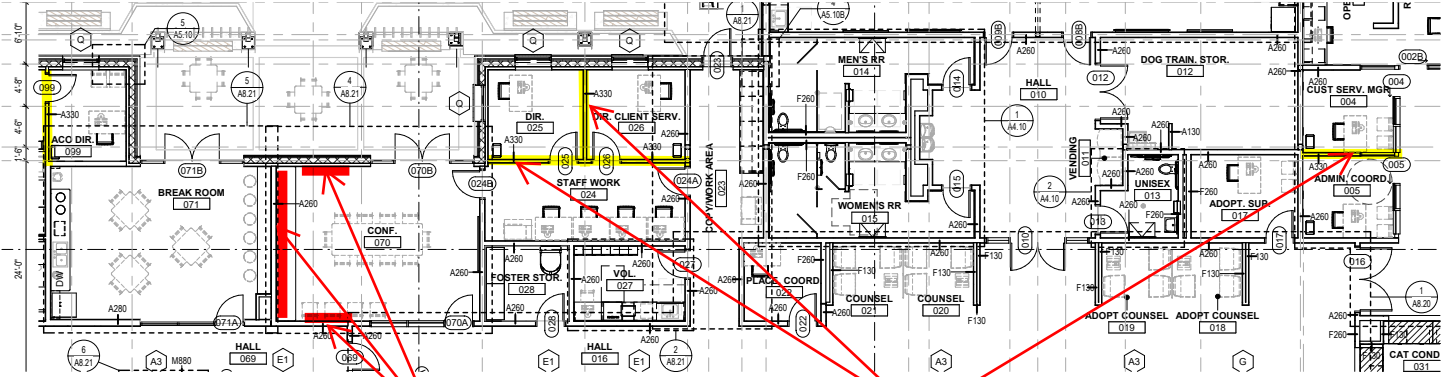
ACT Ceiling:

The ceiling tile is Armstrong Optima which is fiberglass ceiling tile. While this provides a significant amount of sound absorption, it does not block sound very effectively from the HVAC equipment in the plenum above. To help reduce noise levels, specify solid ACT backer for the ceiling that has a minimum surface weight of 1.0 lb / sq. ft..

Please contact us if you have questions or need additional information.

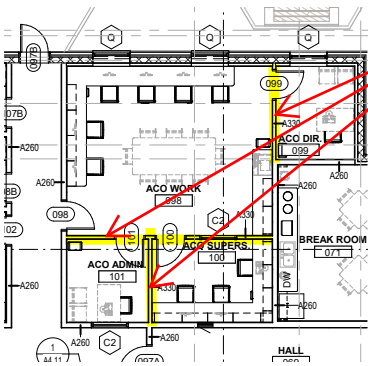
This report has been prepared for the titled project or named part thereof and should not be used in whole or part and relied upon for any other project without the written authorization of SSA Acoustics, LLP. SSA Acoustics, LLP accepts no responsibility or liability for the consequences of this document if it is used for a purpose other than that for which it was commissioned. Persons wishing to use or rely upon this report for other purposes must seek written authority to do so from the owner of this report and/or SSA Acoustics, LLP and agree to indemnify SSA Acoustics, LLP for any and all resulting loss or damage. SSA Acoustics, LLP accepts no responsibility or liability for this document to any other party other than the person by whom it was commissioned. The findings and opinions expressed are relevant to the dates of the works and should not be relied upon to represent conditions at substantially later dates. Opinions included therein are based on information gathered during the study and from our experience. If additional information becomes available which may affect our comments, conclusions or recommendations SSA Acoustics, LLP reserves the right to review the information, reassess any new potential concerns and modify our opinions accordingly.

11/19/2021

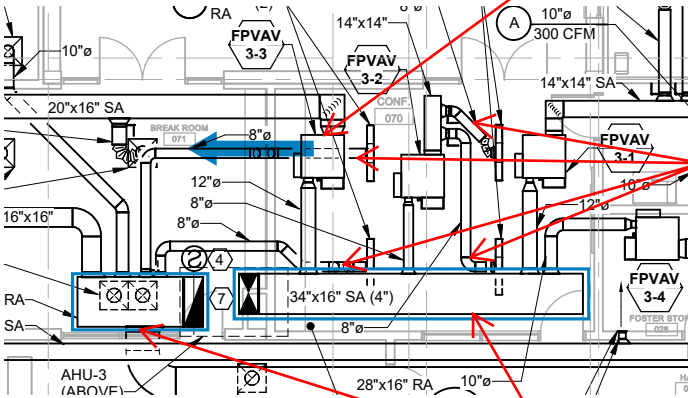


Add 150 SF of 1" acoustical paneling in Conf 070

Change walls from 3 5/8" stud walls to above ceiling to 6" stud walls taken to structure. Approximately 83' LF of wall.



Shift FPVAV 3-2 over to Break Room 071



Provide min. 5 LF of flex duct at all supply and return air ducts above conference room

1" duct liner at main supply and return ducts

- Add solid ACT backer to the ACT tile for the Conference Room ONLY.

EXHIBIT B

GMP'S COST

EXHIBIT **B**

GMP COST



Project Name: *Fulton Co. Animal Shelter GMP*

Estimate Number: *21-21027*

Date: *11/29/2021*

BID PACKAGE	TOTAL COST	TOTAL COST	VARIANCE	NOTES
	50% CD Budget w/ Approved VE 9/14/2021	GMP 11/29/2021		
01A GENERAL CONDITIONS	\$ 1,878,756	\$ 1,878,756	\$ -	
01 GENERAL REQUIREMENTS	\$ 97,613	\$ 97,613	\$ -	
01D.1400 FINAL CLEAN-UP	\$ 34,614	\$ -	\$ (34,614)	Included in General Conditions
02B.2100 SITEWORK	\$ 1,984,413	\$ 2,126,855	\$ 142,442	
02D.2400 PILE SUBCONTRACTOR	\$ 153,000	\$ 128,724	\$ (24,276)	
02E.2500 PAVING & SURFACING	\$ 367,556	\$ 491,140	\$ 123,584	Fuel price escalation
02E.2510 SITE CONCRETE	\$ 343,516	\$ 589,369	\$ 245,853	Shoring required plus material escalation
02E.2520 CURBS AND GUTTERS	w/Paving & SURFACING	\$ 96,640	\$ 96,640	
02E.2530 STRIPING AND SIGNS	w/Paving & SURFACING	\$ 11,093	\$ 11,093	
02F.2620 UNIT PAVERS		\$ 87,956	\$ 87,956	New scope
02F.2640 FENCES AND GATES	\$ 583,748	\$ 849,189	\$ 265,441	Added welded picket fence and paddock fencing at barn and pasture. Added call tower.
Approved changes to vinyl coated chain link				Incorporated VE at GA Power Easement and Dog Courtyards
02G.2700 LANDSCAPING	\$ 251,361	\$ 317,135	\$ 65,774	Market price
03A.3000 CONCRETE TURNKEY	\$ 1,085,022	\$ 1,480,641	\$ 395,619	Foundations lowered to accommodate drains; new piers; material escalation
04A.4000 MASONRY	\$ 3,090,444	\$ 2,394,823	\$ (695,621)	VE Incorporated
05A.5000 STRUCTURAL STEEL - TURNKEY	\$ 2,336,310	\$ 2,368,102	\$ 31,792	
06A.6010 ROUGH CARPENTRY	\$ 150,762	\$ 150,762	\$ -	
06B.6100 ARCHITECTURAL MILLWORK	\$ 510,066	\$ 566,366	\$ 56,300	Market price. Steel cabinetry material escalation
07A.7000 WATERPROOFING	\$ 139,451	\$ 190,630	\$ 51,179	Air-moisture barrier at exterior wall cavity (previous in masonry system)
07C.7220 ROOFING	\$ 834,234	\$ 1,269,594	\$ 435,360	Escalation in insulation prices & procurement times (requiring temp roof).
07C.7230 METAL ROOF AND WALL PANELS	\$ 343,740	\$ 316,131	\$ (27,609)	
07C.7320 EXTERIOR SIDING	\$ 201,960	\$ 192,260	\$ (9,700)	
08A.8000 DOORS, FRAMES, AND HARDWARE	\$ 860,747	\$ 1,067,411	\$ 206,664	Changes to Doors, Frames and Hardware and Glass and Glazing scopes
08A.8040 OVERHEAD DOORS/COILING GRILLS	\$ 89,472	\$ 66,728	\$ (22,744)	
08A.8090 DOOR & HARDWARE INSTALLATION	\$ 61,200	\$ 50,949	\$ (10,251)	
08B.8210 GLASS AND GLAZING	\$ 792,383	\$ 552,126	\$ (240,257)	Changes to Doors, Frames and Hardware and Glass and Glazing scopes
09B.9100 DRYWALL	\$ 1,559,376	\$ 1,095,113	\$ (464,263)	Market price
09B.9200 TILE & STONE	w/Resilient Flooring	w/Resilient Flooring	\$ -	
09D.9350 RESILIENT FLOORING	\$ 150,704	\$ 170,436	\$ 19,732	
09E.9410 SPECIAL FLOORING	\$ 560,728	\$ 527,299	\$ (33,429)	
09E.9500 PAINTING	\$ 626,865	\$ 368,891	\$ (257,974)	
09E.9520 ACOUS. TREATMENTS		\$ 87,832	\$ 87,832	Previously with drywall. Increased scope of work
10A.1002 MARKERBOARDS/TKBOARDS		\$ 5,702	\$ 5,702	New scope
10A.1004 TOILET COMPARTMENTS & ACCESS.	\$ 18,315	\$ 50,579	\$ 32,264	
10A.1008 WALL/CORNER GUARDS	\$ 22,129	\$ 31,932	\$ 9,803	
10A.1012 CANOPIES	\$ 133,155	\$ 649,034	\$ 515,879	Canopy designed in accordance with structural design
Target Additional Canopy VE		in above		VE incorporated to change to standard finish and revised details
10A.1014 SIGNAGE	\$ 197,160	\$ 197,160	\$ -	Design-Build Allowance
10A.1022 LOCKERS	\$ 2,861	\$ 9,996	\$ 7,135	
10A.1024 FIRE EXT. & CABINETS	\$ 5,826	\$ 8,421	\$ 2,595	
10A.1030 OPERABLE PARTITIONS	\$ 36,268	\$ 43,248	\$ 6,980	
10A.1037 DEMOUNTABLE PARTITIONS		\$ 47,736	\$ 47,736	New Scope
11A.1120 LAUNDRY EQUIP.	w/Miscellaneous Equipment	\$ 100,343	\$ 100,343	
11A.1126 PROJECTORS & SCREENS	w/Miscellaneous Equipment	\$ 28,050	\$ 28,050	
11A.1130 LOADING DOCK EQUIP.	w/Miscellaneous Equipment	\$ 19,355	\$ 19,355	
11A.1136 FOOD SERVICE EQUIP.	w/Miscellaneous Equipment	\$ 62,911	\$ 62,911	
11A.1138 RESIDENTIAL EQUIP.	w/Miscellaneous Equipment	\$ 25,000	\$ 25,000	
11A.1144 MEDICAL & MISC. EQUIPMENT	\$ 1,740,878	\$ 2,409,023	\$ 668,145	Changes to Miscellaneous Equipment scope. Added medical equipment
12A.1230 WINDOW TREATMENTS	\$ 92,658	\$ 10,926	\$ (81,732)	Scope clarified
13A.1330 PRE-ENGINEERED BUILDINGS	\$ 128,387	\$ 141,735	\$ 13,348	
15A.1500 PLUMBING	\$ 3,175,346	\$ 2,844,002	\$ (331,344)	Market price
15B.1525 HVAC SYSTEMS	\$ 3,102,840	\$ 3,191,325	\$ 88,485	Market price
15C.1560 FIRE PROTECTION	\$ 212,160	\$ 215,089	\$ 2,929	Market price
16A.1600 ELECTRICAL SYSTEMS	\$ 3,420,025	\$ 2,995,781	\$ (424,244)	
Light fixt Pkg	in above	in above	\$ -	Target VE \$\$ incorporated
Large fans at dog run courtyard deleted		in above	\$ -	Incorporated VE
Tier 3 Generator		in above	\$ -	Incorporated VE
SUBTOTAL CONSTRUCTION COST	31,376,052	32,677,912	1,301,860	
PERMITS	w/original RFP	\$ 14,704	\$ 14,704	Add'l Permit amount needed for constr. cost beyond original \$32.5 mil
BONDS & INSURANCE	w/original RFP	\$ 48,607	\$ 48,607	Add'l Bond & Ins. amount needed for constr. cost beyond original \$32.5 mil
G.C. FEE	\$ 850,718	\$ 844,292	\$ (6,426)	Variance due to reconciled VE
TOTAL BEFORE CONTINGENCY	\$ 32,226,770	\$ 33,585,515	\$ 1,358,745	
OWNER-CONTROLLED CONTINGENCY	\$ 875,019	\$ 825,000	\$ (50,019)	Contingency = 2.69% of hard costs
DESIGN CONTINGENCY	\$ 875,019	\$ -	\$ (875,019)	Used to cover difference between 50% & 100% docs and market conditions
TOTAL CONSTRUCTION COST + CONTINGENCY	33,976,807	34,410,515	433,708	
	*50% CD - ROW 64 ON PROJECT BUDGET ESTIMATE => \$33,646,807 + \$330,000 equipment reallocation			
ADDITIONAL UNINCORPORATED VALUE ENGINEERING				
Fencing change at the pasture & barn		\$ (80,000)		
Previously rejected fence VE at Entrance		\$ (55,000)		Deferred decision toward end of the project
Target Pile Reduction		\$ (15,000)		
Landscaping		\$ (50,000)		Deferred decision toward end of the project
Change unit pavers to scored concrete		\$ (35,000)		Deferred decision toward end of the project
Shop fab roof coping in lieu of Pre-manufactured		\$ (27,000)		
ADJUSTED TOTAL CONSTRUCTION COST + CONTINGENCY	33,976,807	34,148,515	171,708	*ADJUSTED - 100% CD - ROW 64 ON PROJECT BUDGET ESTIMATE

EXHIBIT C

CLARIFICATIONS & ASSUMPTIONS

EXHIBIT **C**

CLARIFICATIONS AND
ASSUMPTIONS

Clarifications and Assumptions

The following clarifications, in conjunction with the attached detailed Guaranteed Maximum Price (GMP) estimate, represent the complete scope of work, as understood, for the Fulton County Animal Services Facility. The following documents were used in preparation of this GMP estimate:

<u>Exhibit</u>	<u>Attachment</u>	<u>Date</u>
Exhibit A	Attachment A – Drawing Log	11/18/21
	Attachment B – Specification Log	11/18/21
	Attachment C – Geotechnical Exploration Report*	07/02/21
	Attachment D – Equipment (FF&E) Schedule	11/04/21
	Attachment E – FIB Update	11/01/21
	Attachment F – RFI Response Log #1	10/25/21
	Attachment G – RFI Response Log #2	10/28/21
	Attachment H – RFI Response Log #3	10/29/21
	Attachment I – RFI Response Log #4	11/04/21
	Attachment J – GMP Impact Items	10/21/21
	Attachment K – Mitchell Metals Canopy/Trellis Information	11/18/21
	Attachment L – LEED Online Session Email	10/26/21
	Attachment M – Roof Warranty Acceptance Email	11/01/21
	Attachment N – Custom Art Light	11/04/21
	Attachment O – Walk Off Mat Diagram	11/09/21
	Attachment P – Demountable Walls Email	11/03/21
	Attachment Q – Extended Wireless Access Points Email	11/01/21
	Attachment R – Additional Card Readers	11/03/21
	Attachment S – GMP Fencing Scope	11/18/21
	Attachment T – LEED Acoustical Review	11/19/21

* - Geotechnical Exploration Report (see Exhibit A Attachment C) is included for informational purposes only. WJG expects any recommendations coming out of the report to be incorporated into the plans and specifications.

01. GENERAL REQUIREMENTS

- 01.01. Escalation and Procurement Delays: Due to the volatile market conditions, owner-controlled construction contingency can be used for costs associated with material escalation and procurement delays. This is especially true for steel, plastic, insulation, and roofing materials. The GMP is based upon the premise that WJG and Subcontractors can bill for and receive payment for materials procured and stored off site.

02. SITEWORK

- 02.01. Grading and Site Utilities
- a. Fees for water meter and vault to be installed by City of Atlanta are included at \$33,900
 - b. Sewer tap fees are included at \$3,995.
 1. Sanitary sewer tie-in to be done by open trench, not jack and bore.
 - c. Relocation of overhead power and associated costs are not included.

Exhibit C

11/29/2021



- d. Relocation of “all utilities, ~~storm drainage~~, signs, traffic signals and poles, etc.” required for GDOT work per General Site Note #17 on drawing C3.02 is not included. Storm drainage relocation included per 11/30/2021 email from Lowe Engineers, specifically including the following:
1. Revised Grading & Utility plans portraying relocation of existing storm structures impacted by the turn lanes, including:
 - a. 34 LF of 18” RCP
 - b. 45 LF of 24” RCP
 - c. Four (4) Single Wing Catch Basins
 - d. Four (4) Junction Boxes
 - e. Key Note #4 on drawing C2.02 calls for “Storm Water Structure to be [Relocated]. See GDOT plans by Lowe Engineers dated XX/XX/2021.” Storm drain rework included per 11/30/2021 email from Lowe Engineers, specifically including the following:
 1. Revised Grading & Utility plans portraying relocation of existing storm structures impacted by the turn lanes, including:
 - a. 34 LF of 18” RCP
 - b. 45 LF of 24” RCP
 - c. Four (4) Single Wing Catch Basins
 - d. Four (4) Junction Boxes
- 02.02. Asphalt Paving
- a. DOT Right of Way striping included as thermoplastic. All other striping is two coats of traditional marking paint.
 - b. As noted in item 02.01.e above, only storm drain work associated with Key Note #29 (GDOT work) on drawing C3.02 is included in addition to both turn lanes into the project as shown on drawings C3.01 and C3.02.
- 02.03. Site Concrete
- a. The site retaining wall is per detail 11/S3.03. No facing material is included.
- 02.04. Fencing
- a. Priefert Estate Fencing included as fence type F3. Specified product not available.
 - b. Animal housing has been included per the equipment number and count on the Equipment Schedule (see Exhibit A Attachment D). Equipment designated Owner-Furnished-Contractor-Installed is included as install only (see Exhibit A Attachment D).
 - c. Fencing has been included per the GMP Fencing Scope (see Exhibit A Attachment S).
- 02.05. Hardscape
- a. Unit pavers subgrade is included as 4” GAB and 1” of setting sand.
- 02.06. Landscaping
- a. An irrigation system is not included.
- 03. CONCRETE**
- 03.01. Cast-in-Place Concrete
- a. Wall at the reception to receive a rubbed concrete finish.
- 04. MASONRY**
- 04.01. Grout is only included at cells with rebar per RFI 1.12. All below-grade masonry cells are fully grouted.

Exhibit C

11/29/2021



05. METALS

05.01. Metal Fabrications

- a. Prices of raw steel continue to be volatile; manufacturers are unable to guarantee pricing until shop drawings are approved and sent to the fabricator. As noted above, any escalation from GMP pricing is expected to be an allowable owner-controlled contingency expense.
- b. All canopies and trellises on the project are included as pre-manufactured aluminum systems (see Exhibit A Attachment K) in lieu of the structural steel fabrications indicated on the 10/8/2021 100% CD drawings.

06. WOOD

06.01. Millwork

- a. Per email dated 10/26/2021, certified wood not included for LEED (see Exhibit A Attachment L).

07. THERMAL & MOISTURE PROTECTION

07.01. Waterproofing

- a. Intumescent coating is not included.
- b. Spray-applied fireproofing is not included.

07.02. Roofing

- a. Prices and lead times of roofing insulation continue to be volatile; manufacturers are unable to guarantee pricing until submittals are approved and the material is fabricated and loaded onto the delivery truck. As noted above, any escalation from GMP pricing is expected to be an allowable owner-controlled contingency expense. Additionally, due to extraordinary long lead times, GMP includes installation of a temporary roof system to not impede interior finish schedules.
- b. Per the 11/1/2021 email response (Exhibit A Attachment M) from the Owner and the Architect, the roofing system is included with all layers of substrate, insulation and cover boards fasten simultaneously and mechanically attaching a 60 mil TPO.

08. DOORS & WINDOWS

08.01. Doors, Frames, and Hardware

- a. Slabs are included as being poured monolithically (with no masonry) at the door thresholds in lieu of detail 8/A7.55.

08.02. Special Glass Systems

- a. A skylight system is not included. A Specification Section 086250 – Tubular Daylighting Devices, is listed in the Project Manual Table of Contents, but no specification section is actually included, and no skylights are indicated on the drawings.

09. FINISHES

09.01. Paint & Wallcoverings

- a. Exposed ceilings / structure in housekeeping, mechanical room, and electrical rooms to be unfinished.
- b. The High-Performance Coating at CMU walls is included two block fill coats due to specifications calling for “pin-hole free” plus a finish coat.
- c. STC stenciling is not included. See Add Alternate 1 below.
- d. Artwork and custom light fixture per 11/4/2021 email (see Exhibit A Attachment N) are not included. See Add Alternate 1 below.

Exhibit C

11/29/2021



- e. Changes noted in LEED Acoustical Review (see Exhibit A Attachment T) are not included. See Add Alternate 2 below.

10. SPECIALTIES

- 10.01. Signage is included as a design-build allowance.
- 10.02. Canopies
 - a. Kynar coated exterior canopies as provided by Mitchell Metals is included as approved by PGAL (see Exhibit A Attachment K).
- 10.03. Visual Display
 - a. Glass markerboards are included.
- 10.04. Mats
 - a. Entrance mats are included as Construction Specialties *Design Step* entrance mat, 20-50 square feet, 3/8" thick with rubber backing, 1 1/2" perimeter frame, Duration texture in one of 8 manufacturer's standard colors. Locations are in accordance with architects 11/9/2021 emailed sketch (see Exhibit A Attachment O).

11. EQUIPMENT

- 11.01. Furniture, Fixtures, Equipment, and FF&E
 - a. Equipment designated Contractor-Furnished-Contractor-Installed is included (see Exhibit A Attachment D). Equipment designated Owner-Furnished-Contractor-Installed is included as install only (see Exhibit A Attachment D).
 - b. Acoustical panels are included per the counts indicated on Equipment Schedule previously noted in the documents list.
- 11.02. Shelving
 - a. The following counts and types of metal shelving are included as a shelving type is not specified on the FF&E schedule:
 - 1. Nineteen (19) each of Metro Super Erecta Shelving Preconfigured model 3048-46NC (chrome finish) for Equipment Number 01-121 per Exhibit A Attachment D.
 - 2. Six (6) each of Metro Super Erecta Shelving Preconfigured model 2436-46BR (Brite finish) for Equipment Number 01-121A per Exhibit A Attachment D.
 - 3. Seven (7) each of Metro Super Erecta Shelving Preconfigured model 2448-46BR (Brite finish) for Equipment Number 01-121B per Exhibit A Attachment D.
 - 4. Four (4) each of Metro Super Erecta Shelving Preconfigured model 2460-46BR (Brite finish) for Equipment Number 01-121C per Exhibit A Attachment D.
 - 5. Five (5) each of Metro Super Erecta shelves model 1448NS (stainless steel finish) for Equipment Number 01-122E per Exhibit A Attachment D.
 - 6. Fourteen (14) each of Metro Super Erecta shelves model 1460NS (stainless steel finish) for Equipment Number 01-122F per Exhibit A Attachment D.

13. SPECIAL CONSTRUCTION

- 13.01. An 8'x 30' x 6'(high) chicken coop as manufactured by American Coop is included.
- 13.02. Demountable partitions are included as manufactured by KI (see Exhibit A Attachment P) for architect's 11/3/2021 emailed approval.

15. MECHANICAL

- 15.01. Plumbing
 - a. No trap primers are included. 45 Trap guards are included for the areas assumed to have irregular wash downs per RFI response 4.05.

Exhibit C

11/29/2021



b. No plumbing under the barn slab is included. Civil drawings show piping to it and refer to plumbing plans, but no plumbing scope is shown.

15.02. Fire Protection

a. A fire pump is not included.

16. ELECTRICAL

16.01. Electrical

a. WAPs are not included in the plan west-most dog yard in Sector C and the plan south dog yards below Sector C and Sector D, as shown on drawing A2.10 (see Exhibit A Attachment Q).

b. Tier 4 generator exhaust per specification section 263212.14 -2.3 E is not included. Tier 4 exhaust is only available on tier 4 generators and a tier 4 generator will not work with the electrical system as designed. A tier 3 generator meeting the specification is included.

c. Additional card readers are included per architect's 11/3/2021 email (see Exhibit A Attachment R)

d. Wi-Fi system at the barn is not included as scope and extent are yet to be determined.

e. Large fans and associated infrastructure at dog run courtyard not included.

f. Includes alternate lighting package to achieve target value engineering of \$400,000.00 (value inclusive of overhead and profit).

ADD ALTERNATE(S) not included in GMP:

1. Add Alternate allowance to provide and install STC stenciling, artwork, and custom light fixture per 11/4/2021 email (see Exhibit A Attachment N): add \$28,000.00
2. Add Alternate allowances to provide and install the following LEED Acoustical Review changes (see Exhibit A Attachment T):
 - a. Walls to Structure: add \$9,323.00
 - b. Added Acoustical Panels: add \$6,575.00
 - c. Mechanical Adjustments and ACT Backer to Conference (070): add \$9,102.00

ALLOWANCES included in GMP:

- | | |
|--|-----------|
| 1. Barn concrete foundation (yet to be designed). | \$34,000 |
| 2. Design build signage package. | \$197,160 |
| 3. Emergency Radio Responder System (ERRC) if required by City of Atlanta. | \$60,000 |

EXHIBIT D
ALLOWANCES
(see Exhibit C)

EXHIBIT **D**

ALLOWANCES - INCLUDED IN
EXHIBIT C
(see previous page)

EXHIBIT E

PAYMENT & PERFORMANCE BONDS

EXHIBIT E

**PAYMENT AND PERFORMANCE
BOND**

**#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility**

**Section 9
Payment Bond**

Bond no. ES00010337

PAYMENT BOND

"County:" means Fulton County Government; a political subdivision of the State of Georgia (hereinafter called the "Owner").

"Project:" means #21RFP22421K-DB; Construction Management at Risk Services for the new Fulton County Animal Shelter Facility

"Principal:" (Legal Name and Business Address), called the

[Insert Name of Contractor (hereinafter "Principal")
Winter Johnson Group, a Joint Venture
5616 Peachtree Road, Suite 100
Atlanta, GA 30341

Type of Organization ("X" one): Individual
 Partnership
 Joint Venture
 Corporation

"Surety:" (Name and Business Address)

Everest Reinsurance Company
100 Everest Way, Warren Corporate Center
Warren, NJ 07059
duly authorized by the Commissioner of Insurance of the State of Georgia to transact surety business in the State of Georgia.

"Contract:" Agreement between Principal and Owner, dated 5th day of August, 2021, regarding performance of Work relative to the Project.

"Penal Sum:" [100% of contract amount] Thirty Four Million One Hundred Forty Eight Thousand Five Hundred Sixteen and 00/100 Dollars
(\$34,148,516.00)

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety hereto, as named above, are held and firmly bound to the Owner in the above Penal Sum for the payment of which well and truly to be made we bind ourselves, executors, administrators, successors and assigns, jointly and severally.

WHEREAS, the Principal and the Owner entered into a certain written Contract identified above, which is incorporated herein by reference in its entirety (hereinafter called the "Contract"), for construction-type services for the Project identified above;

NOW, THEREFORE, the conditions of this obligation are such that if the Principal shall promptly make payment of all persons working on or supplying labor or materials or equipment for the performance of said work, this obligation shall be void; otherwise of full force and effect.

1. A "Claimant" shall be defined herein as any subcontractor, person, party, partnership, corporation or the entity furnishing labor, services or materials used, or reasonably required for use, in the performance of the Contract, without regard to whether such labor, services or materials were sold, leased or rented, and without regard to whether such Claimant is or is not in privity of contract with the Principal or any subcontractor performing work on the Project, including, but not limited to, the following labor, services, or materials: water, gas, power, light, heat, oil, gasoline, telephone service or rental of equipment directly applicable to the Contract.

**#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility**

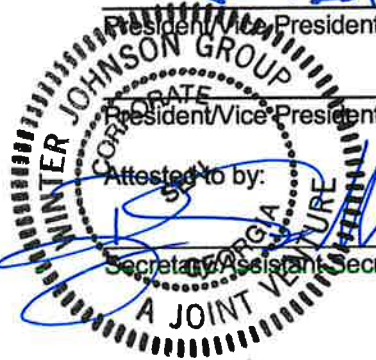
**Section 9
Payment Bond**

2. In the event a Claimant files a lien against the property of the Owner, and the Principal fails or refuses to satisfy or remove it promptly, the Surety shall satisfy or remove the lien promptly upon written notice from the Owner, either by bond or as otherwise provided in the Contract.
3. The Surety hereby waives notice of any and all modifications, omissions, additions, changes, alterations, extensions of time, changes in the payment terms, and any other amendments in or about the Contract and agrees that the obligations undertaken by this Bond shall not be impaired in any manner by reason of any such modifications, omissions, additions, changes, alterations, extensions of time, changes in payment terms, and amendments.
4. The Surety hereby agrees that this Bond shall be deemed amended automatically and immediately, without formal or separate amendments hereto, upon any amendment or modifications to the Contract, so as to bind the Principal and Surety, jointly and severally, to the full payment of any Claimant under the Contract, as amended or modified, provided only that the Surety shall not be liable for more than the penal sum of the Bond, as specified in the first paragraph hereof.
5. This Bond is made for the use and benefit of all persons, firms, and corporations who or which may furnish any materials or perform any labor for or on account of the construction-type services to be performed or supplied under the Contract, and any amendments thereto, and they and each of them may sue hereon.
6. No action may be maintained on this Bond after one (1) year from the date the last services, labor, or materials were provided under the Contract by the Claimant prosecuting said action.
7. This Bond is intended to comply with O.C.G.A. Section 13-10-1, and shall be interpreted so as to comply with the minimum requirements thereof. However, in the event the express language of this Bond extends protection to the Owner beyond that contemplated by O.C.G.A. Section 13-10-1 and 36-91-1, *et seq.*, or any other statutory law applicable to this Project, then the additional protection shall be enforced in favor of the Owner, whether or not such protection is found in the applicable statutes.

IN WITNESS WHEREOF, the Principal and Surety have hereunto affixed their corporate seals and caused this obligations to be signed by their duly authorized representatives this day 21st of December, 2021.

PRINCIPAL: Winter Johnson Group, a Joint Venture



 President/Vice President (Sign)


 S. BRENT REID
 President/Vice President (Type or Print)
 Attested to by:


 Secretary Assistant Secretary (Seal)

#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility

Section 9
Payment Bond

SURETY: Everest Reinsurance Company

By: 
Attorney-in-Fact (Sign)

Michelle Wanamaker
Attorney-in-Fact (Type or Print)

N/A
Secretary/Assistant Secretary (Seal)

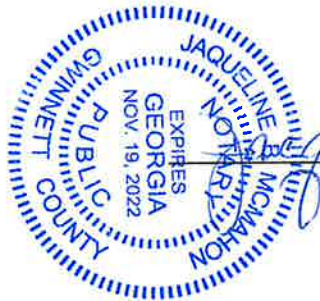
ACKNOWLEDGEMENT OF PRINCIPAL
IF A JOINT VENTURE

STATE OF GEORGIA }

COUNTY OF DEKALB }

On this 21ST day of DECEMBER 20 21, personally appeared before me
S. Brent Reio member of the firm/Joint Venture of
Winter Johnson Group to me known and known to me to be the individual
described in and who executed the foregoing instrument and he acknowledged to me that he
executed the same for an on behalf of said firm/Joint Venture.

Sworn before me this 21st day of December 20 21



Jaqueline B. McManahan
Notary Public

SURETY ACKNOWLEDGEMENT

STATE OF MARYLAND)
COUNTY OF BALTIMORE)

SS

DATE OF ACKNOWLEDGEMENT:

DEC 21 2021

Michelle Wannamaker, Attorney-in-Fact and authorized representative of Everest Reinsurance Company, personally appeared before me on the date of this acknowledgement to affirm and verify that she is authorized to execute the foregoing instrument and acknowledged to me that she executed this instrument as Attorney-in-Fact and for the act and deed of Everest Reinsurance Company.

Notary Seal



Terry D. Shawkey, Notary Public

**State of Maryland
County of Baltimore
Terry D. Shawkey
Notary Public
Commission Expires July 13, 2022**



**POWER OF ATTORNEY
EVEREST REINSURANCE COMPANY
DELAWARE**

KNOW ALL PERSONS BY THESE PRESENTS: That Everest Reinsurance Company, a corporation of the State of Delaware ("Company") having its principal office located at 477 Martinsville Road, Liberty Corner, New Jersey 07938, do hereby nominate, constitute, and appoint:

Desiree Cardlin, Colette R. Chisholm, Camille Maitland, George O. Brewster, Gerard S. Macholz, Nelly Renchiwich, Rita Losquadro, Thomas Bean, Robert T. Pearson, Susan Lupski, Dana Granice, Michelle Wannamaker, Katherine Acosta, Lee Ferrucci

its true and lawful Attorney(s)-in-fact to make, execute, attest, seal and deliver for and on its behalf, as surety, and as its act and deed, where required, any and all bonds and undertakings in the nature thereof, for the penal sum of no one of which is in any event to exceed UNLIMITED, reserving for itself the full power of substitution and revocation.

Such bonds and undertakings, when duly executed by the aforesaid Attorney(s)-in-fact shall be binding upon the Company as fully and to the same extent as if such bonds and undertakings were signed by the President and Secretary of the Company and sealed with its corporate seal.

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Board of Directors of Company ("Board") on the 28th day of July 2016:

RESOLVED, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby appointed by the Board as authorized to make, execute, seal and deliver for and on behalf of the Company, any and all bonds, undertakings, contracts or obligations in surety or co-surety with others and that the Secretary or any Assistant Secretary of the Company be and that each of them hereby is authorized to attest to the execution of any such bonds, undertakings, contracts or obligations in surety or co-surety and attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby authorized to execute powers of attorney qualifying the attorney named in the given power of attorney to execute, on behalf of the Company, bonds and undertakings in surety or co-surety with others, and that the Secretary or any Assistant Secretary of the Company be, and that each of them is hereby authorized to attest the execution of any such power of attorney, and to attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the signature of such officers named in the preceding resolutions and the corporate seal of the Company may be affixed to such powers of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be thereafter valid and binding upon the Company with respect to any bond, undertaking, contract or obligation in surety or co-surety with others to which it is attached.

IN WITNESS WHEREOF, Everest Reinsurance Company has caused their corporate seals to be affixed hereto, and these presents to be signed by their duly authorized officers this 28th day of July 2016.



Everest Reinsurance Company

Attest: Nicole Chase, Assistant Secretary

By: Anthony Romano, Vice President

On this 28th day of July 2016, before me personally came Anthony Romano, known to me, who, being duly sworn, did execute the above instrument; that he knows the seal of said Company; that the seal affixed to the aforesaid instrument is such corporate seal and was affixed thereto; and that he executed said instrument by like order.

LINDA ROBINS
Notary Public, State of New York
No 01RO6239736
Qualified in Queens County
Term Expires April 25, 2023

Linda Robins, Notary Public

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Company, at the Liberty Corner, this 21st day of December 2021.

EVEREST REINSURANCE COMPANY
STATEMENTS OF FINANCIAL CONDITION

	December 31,	
	2020 Unaudited	2019 Audited
ASSETS		
Bonds	\$ 9,452,250,173	\$ 6,733,064,269
Stocks	914,135,093	579,431,010
Short-term investments	3,099,547	9,977,402
Other invested assets	2,113,872,323	2,024,154,026
Cash and cash equivalents	737,985,959	278,923,034
Accounts receivable-premium balances	2,184,883,136	1,762,474,335
Reinsurance recoverable	759,807,429	553,401,455
Other assets	674,687,110	577,418,297
Total Assets	\$ 16,840,720,770	\$ 12,518,843,828
LIABILITIES		
Loss and loss adjustment expense reserve	\$ 7,727,564,458	\$ 6,025,226,576
Unearned premium reserve	2,024,484,169	1,788,807,161
Ceded reinsurance premium payable (net of ceding commission)	363,237,788	322,866,050
Reserve for commissions, taxes and other liabilities	1,449,431,852	642,804,051
Total Liabilities	\$ 11,564,718,267	\$ 8,779,703,838
SURPLUS AND OTHER FUNDS		
Common capital stock	\$ 10,000,000	\$ 10,000,000
Contributed Surplus	3,400,178,517	2,464,960,596
Unassigned surplus	1,865,823,986	1,264,179,394
Total capital and surplus	\$ 5,276,002,503	\$ 3,739,139,990
Total Liabilities and Surplus	\$ 16,840,720,770	\$ 12,518,843,828

Bonds and stocks are valued on a basis promulgated by the National Association of Insurance Commissioners

DocuSigned by:

margaret horn

58C1DAB84C6F448...

Electronically Signed by Margaret Horn, Vice President this 15th day of April 2021

PERFORMANCE BOND

"County:" means Fulton County Government; a political subdivision of the State of Georgia (hereinafter called the "Owner").

"Project:" means #21RFP22421K-DB; Construction Management at Risk Services for the new Fulton County Animal Shelter Facility

"Principal:" (Legal Name and Business Address),

[Insert Name of Contractor (hereinafter called the "Principal")]

Winter Johnson Group, a Joint Venture
5616 Peachtree Road, Suite 100
Atlanta , GA 30341

Type of Organization ("X" one): Individual
 Partnership
 Joint Venture
 Corporation

"Surety:" (Name and Business Address)

Everest Reinsurance Company
100 Everest Way, Warren Corporate Center
Warren, NJ 07059

duly authorized by the Commissioner of Insurance of the State of Georgia to transact surety business in the State of Georgia.

"Contract:" Agreement between Principal and Owner, dated 5th day of August, 2021, regarding performance of Work relative to the Project.

"Penal Sum:" [100% of contract amount] Thirty Four Million One Hundred Forty Eight Thousand Five Hundred Sixteen and 00/100 Dollars
(\$34,148,516.00)

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety hereto, as named above, are held and firmly bound to the Owner in the above Penal Sum for the payment of which well and truly to be made we bind ourselves, our executors, administrators, successors and assigns, jointly and severally.

WHEREAS, the Principal and the Owner entered into a certain written Contract identified above, which is incorporated herein by reference in its entirety (hereinafter called the "Contract"), for construction-type services for the Project identified above;

NOW, THEREFORE, the conditions of this obligation are such that if the Principal shall faithfully and fully comply with, perform and fulfill all of the undertakings, covenants, conditions and all other of the terms and conditions of said Contract, including any and all duly authorized modifications of such Contract, within the original term of such Contract and any extensions thereof, which shall include, but not be limited to any obligations created by way of warranties and/or guarantees for workmanship and materials which warranty and/or guarantee may extend for a period of time of one year beyond completion of said Contract, this obligation shall be void; otherwise, of full force and effect.

Whenever the Principal shall be, and declared by the Owner to be, in default under the Construction-Type Contract, the Surety shall promptly remedy the default as follows:

1. Complete the Contract in accordance with its terms and conditions; or, at the sole option of the Owner,
2. Obtain a bid or bids for completing the Contract in accordance with its terms and conditions, and upon determination by the Surety and the Owner of the lowest responsible bidder,

arrange for a contract between such bidder and Owner and make available as the work progresses (even though there should be a default or succession of defaults under the Contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety may be liable hereunder, the penal sum set forth in the first paragraph hereof, as may be adjusted, and the Surety shall make available and pay to the Owner the funds required by this Paragraph prior to the payment of the Owner of the balance of the contract price, or any portion thereof. The term "balance of the contract price," as used in this paragraph, shall mean the total amount payable by the Owner to the Contractor under the Contract, and any amendments thereto, less the amount paid by the Owner to the Contractor; or, at the sole option of the Owner,

3. Allow Owner to complete the work and reimburse the Owner for all reasonable costs incurred in completing the work.

In addition to performing as required in the above paragraphs, the Surety shall indemnify and hold harmless the Owner from any and all losses, liability and damages, claims, judgments, liens, costs and fees of every description, including reasonable attorney's fees, litigation costs and expert witness fees, which the Owner may incur, sustain or suffer by reason of the failure or default on the part of the Principal in the performance of any or all of the terms, provisions, and requirements of the Contract, including any and all amendments and modifications thereto, or incurred by the Owner in making good any such failure of performance on the part of the Principal.

The Surety shall commence performance of its obligations and undertakings under this Bond promptly and without delay, after written notice from the Owner to the Surety.

The Surety hereby waives notice of any and all modifications, omissions, additions, changes, alterations, extensions of time, changes in payment terms, and any other amendments in or about the Contract, and agrees that the obligations undertaken by this Bond shall not be impaired in any manner by reason of any such modifications, omissions, additions, changes, alterations, extensions of time, change in payment terms, and amendments.

The Surety hereby agrees that this Bond shall be deemed amended automatically and immediately, without formal or separate amendments hereto, upon any amendment to the Contract, so as to bind the Principal and the Surety to the full and faithful performance of the Contract as so amended or modified, and so as to increase the penal sum to the adjusted Contract Price of the Contract.

No right of action shall accrue on this Bond to or for the use of any person, entity or corporation other than the Owner and any other obligee named herein, or their executors, administrators, successors or assigns.

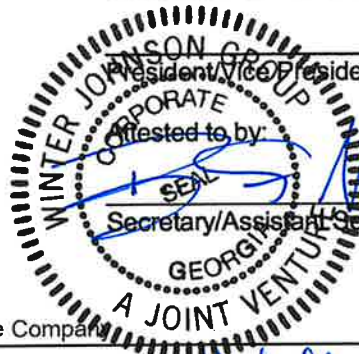
This Bond is intended to comply with O.C.G.A. Section 36-91-1 et seq., and shall be interpreted so; as to comply with; the minimum requirements thereof. However, in the event the express language of this Bond extends protection to; the Owner beyond that contemplated by O.C.G.A. Section 36-91-1 et seq. and O.C.G.A. Section 13-10-1, as amended, or any other statutory law applicable to this Project, then the additional protection shall be enforced in favor of the Owner, whether or not such protection is found in the applicable statutes.

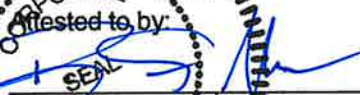
IN WITNESS WHEREOF, the Principal and the Surety have caused these presents to be duly signed and sealed this 21st day of December, 2021.

PRINCIPAL: Winter Johnson Group, a Joint Venture


President/Vice President (Sign)

S. BRENT REID
President/Vice President (Type or Print)




Secretary/Assistant Secretary (Seal)

SURETY: Everest Reinsurance Company

By: 
Attorney-in-Fact (Sign)

Michelle Wannamaker
Attorney-in-Fact (Type or Print)

END OF SECTION

ACKNOWLEDGEMENT OF PRINCIPAL
IF A JOINT VENTURE

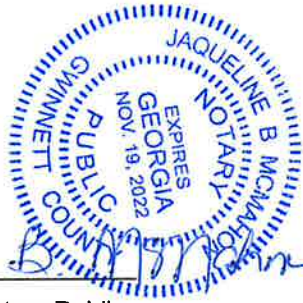
STATE OF Georgia }

COUNTY OF DEKALB }

On this 21ST day of DECEMBER 2021, personally appeared before me
S. BRENT REID member of the firm/Joint Venture of
Winter Johnson Group to me known and known to me to be the individual
described in and who executed the foregoing instrument and he acknowledged to me that he
executed the same for an on behalf of said firm/Joint Venture.

Sworn before me this 21st day of December 2021

Jaqueline B. McMahon
Notary Public



SURETY ACKNOWLEDGEMENT

STATE OF MARYLAND) SS DATE OF ACKNOWLEDGEMENT: DEC 21 2021
COUNTY OF BALTIMORE)

Michelle Wannamaker, Attorney-in-Fact and authorized representative of Everest Reinsurance Company, personally appeared before me on the date of this acknowledgement to affirm and verify that she is authorized to execute the foregoing instrument and acknowledged to me that she executed this instrument as Attorney-in-Fact and for the act and deed of Everest Reinsurance Company.

Notary Seal


Terry D. Shawkey, Notary Public

**State of Maryland
County of Baltimore
Terry D. Shawkey
Notary Public
Commission Expires July 13, 2022**



**POWER OF ATTORNEY
EVEREST REINSURANCE COMPANY
DELAWARE**

KNOW ALL PERSONS BY THESE PRESENTS: That Everest Reinsurance Company, a corporation of the State of Delaware ("Company") having its principal office located at 477 Martinsville Road, Liberty Corner, New Jersey 07938, do hereby nominate, constitute, and appoint:

Desiree Cardlin, Colette R. Chisholm, Camille Maitland, George O. Brewster, Gerard S. Macholz, Nelly Renchiwich, Rita Losquadro, Thomas Bean, Robert T. Pearson, Susan Lupski, Dana Granice, Michelle Wannamaker, Katherine Acosta, Lee Ferrucci

its true and lawful Attorney(s)-in-fact to make, execute, attest, seal and deliver for and on its behalf, as surety, and as its act and deed, where required, any and all bonds and undertakings in the nature thereof, for the penal sum of no one of which is in any event to exceed UNLIMITED, reserving for itself the full power of substitution and revocation.

Such bonds and undertakings, when duly executed by the aforesaid Attorney(s)-in-fact shall be binding upon the Company as fully and to the same extent as if such bonds and undertakings were signed by the President and Secretary of the Company and sealed with its corporate seal.

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Board of Directors of Company ("Board") on the 28th day of July 2016:

RESOLVED, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby appointed by the Board as authorized to make, execute, seal and deliver for and on behalf of the Company, any and all bonds, undertakings, contracts or obligations in surety or co-surety with others and that the Secretary or any Assistant Secretary of the Company be and that each of them hereby is authorized to attest to the execution of any such bonds, undertakings, contracts or obligations in surety or co-surety and attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby authorized to execute powers of attorney qualifying the attorney named in the given power of attorney to execute, on behalf of the Company, bonds and undertakings in surety or co-surety with others, and that the Secretary or any Assistant Secretary of the Company be, and that each of them is hereby authorized to attest the execution of any such power of attorney, and to attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the signature of such officers named in the preceding resolutions and the corporate seal of the Company may be affixed to such powers of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be thereafter valid and binding upon the Company with respect to any bond, undertaking, contract or obligation in surety or co-surety with others to which it is attached.

IN WITNESS WHEREOF, Everest Reinsurance Company has caused their corporate seals to be affixed hereto, and these presents to be signed by their duly authorized officers this 28th day of July 2016.



Everest Reinsurance Company

Attest: Nicole Chase, Assistant Secretary

By: Anthony Romano, Vice President

On this 28th day of July 2016, before me personally came Anthony Romano, known to me, who, being duly sworn, did execute the above instrument; that he knows the seal of said Company; that the seal affixed to the aforesaid instrument is such corporate seal and was affixed thereto; and that he executed said instrument by like order.

LINDA ROBINS
Notary Public, State of New York
No 01RO6239736
Qualified in Queens County
Term Expires April 25, 2023

Linda Robins, Notary Public

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Company, at the Liberty Corner, this 21st day of December 2021.

EVEREST REINSURANCE COMPANY
STATEMENTS OF FINANCIAL CONDITION

	December 31,	
	2020	2019
	Unaudited	Audited
ASSETS		
Bonds	\$ 9,452,250,173	\$ 6,733,064,269
Stocks	914,135,093	579,431,010
Short-term investments	3,099,547	9,977,402
Other invested assets	2,113,872,323	2,024,154,026
Cash and cash equivalents	737,985,959	278,923,034
Accounts receivable-premium balances	2,184,883,136	1,762,474,335
Reinsurance recoverable	759,807,429	553,401,455
Other assets	674,687,110	577,418,297
Total Assets	\$ 16,840,720,770	\$ 12,518,843,828
LIABILITIES		
Loss and loss adjustment expense reserve	\$ 7,727,564,458	\$ 6,025,226,576
Unearned premium reserve	2,024,484,169	1,788,807,161
Ceded reinsurance premium payable (net of ceding commission)	363,237,788	322,866,050
Reserve for commissions, taxes and other liabilities	1,449,431,852	642,804,051
Total Liabilities	\$ 11,564,718,267	\$ 8,779,703,838
SURPLUS AND OTHER FUNDS		
Common capital stock	\$ 10,000,000	\$ 10,000,000
Contributed Surplus	3,400,178,517	2,464,960,596
Unassigned surplus	1,865,823,986	1,264,179,394
Total capital and surplus	\$ 5,276,002,503	\$ 3,739,139,990
Total Liabilities and Surplus	\$ 16,840,720,770	\$ 12,518,843,828

Bonds and stocks are valued on a basis promulgated by the National Association of Insurance Commissioners

DocuSigned by:

margaret horn

58C1DAB84C6F448...

Electronically Signed by Margaret Horn, Vice President this 15th day of April 2021

EXHIBIT F

CERTIFICATE OF INSURANCE

EXHIBIT F

CERTIFICATE OF INSURANCE



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/26/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Greyling Ins. Brokerage/EPIC 3780 Mansell Road, Suite 370 Alpharetta, GA 30022	CONTACT NAME: Jerry Noyola PHONE (A/C, No, Ext): 770-220-7699 E-MAIL ADDRESS: jerry.noyola@greyling.com	FAX (A/C, No):
	INSURER(S) AFFORDING COVERAGE	
INSURED Winter Johnson Group, A Joint Venture; 5616 Peachtree Road; Suite 100 Atlanta, GA 30341	INSURER A : Zurich American Insurance Co	NAIC # 16535
	INSURER B : Starr Indemnity and Liability Company	38318
	INSURER C : American Zurich Ins. Co.	40142
	INSURER D : Allied World Assurance Company (U.S.)	19489
	INSURER E :	
	INSURER F :	

COVERAGES CERTIFICATE NUMBER: 21-22 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:			GLO551426404	11/01/2021	11/01/2022	EACH OCCURRENCE \$2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$2,000,000 GENERAL AGGREGATE \$4,000,000 PRODUCTS - COMP/OP AGG \$4,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY			BAP551426504	11/01/2021	11/01/2022	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$0			1000584504211	11/01/2021	11/01/2022	EACH OCCURRENCE \$10,000,000 AGGREGATE \$10,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> Y / <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	WC551426304	11/01/2021	11/01/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000
D	Prof. Liab. incl. Pollution Liab.			03131181	11/01/2021	11/01/2022	Per Claim: \$10,000,000 Aggregate: \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Re: Project ##21RFP22421K-DB - CM@Risk Services for the new Fulton County Animal Shelter Facility. Fulton County Government, Its Officials, Officers & Employees are named as Additional Insureds with respects to General Liability where required by written contract. The above referenced liability policies with the exception of workers compensation and professional liability are primary & non-contributory where required by written contract. Waiver of Subrogation in favor of Additional Insured(s) where required by written contract & allowed by law.

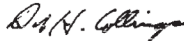
CERTIFICATE HOLDER Fulton County Government Purchasing Department 130 Peachtree Street S.W., Suite 1168 Atlanta, GA 30303-3459	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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EXHIBIT G

PURCHASING FORMS

EXHIBIT **G**

PURCHASING FORMS

**STATE OF GEORGIA
COUNTY OF FULTON**

**FORM A: GEORGIA SECURITY AND IMMIGRATION CONTRACTOR AFFIDAVIT
AND AGREEMENT**

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services¹ under a contract with **[insert name of prime contractor]** Winter Johnson Group on behalf of **Fulton County Government** has registered with and is participating in a federal work authorization program*,² in accordance with the applicability provisions and deadlines established in O.C.G.A. 13-10-91.

The undersigned further agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services to this contract with **Fulton County Government**, contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. 13-10-91 on the Subcontractor Affidavit provided in Rule 300-10-01-.08 or a substantially similar form. Contractor further agrees to maintain records of such compliance and provide a copy of each such verification to the **Fulton County Government** at the time the subcontractor(s) is retained to perform such service.

389164
EEV/Basic Pilot Program* User Identification Number

Winter Johnson Group
BY: Authorized Officer of Agent (Insert Contractor Name)

Managing Member
Title of Authorized Officer or Agent of Contractor

Brent Reid
Printed Name of Authorized Officer or Agent

Sworn to and subscribed before me this 7th day of April, 2021.

Notary Public: Natalie L. Adelmund

County: Cherokee

Commission Expires: 11/01/2021



¹O.C.G.A. § 13-10-90(4), as amended by Senate Bill 160, provides that "physical performance of services" means any performance of labor or services for a public employer (e.g., Fulton County) using a bidding process (e.g., ITB, RFQ, RFP, etc.) or contract wherein the labor or services exceed \$2,499.99, except for those individuals licensed pursuant to title 26 or Title 43 or by the State Bar of Georgia and is in good standing when such contract is for service to be rendered by such individual.

²[Any of the electronic verification of work authorization programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603].

Form C: OFFEROR'S DISCLOSURE FORM AND QUESTIONNAIRE

1. Please provide the names and business addresses of each of the Offeror's firm's officers and directors.

For the purposes of this form, the term "Offeror" means an entity that responds to a solicitation for a County contract by either submitting a proposal in response to a Request for Proposal or a Request for Qualification or a Bid in response to an Invitation to Bid. Describe accurately, fully and completely, their respective relationships with said Offeror, including their ownership interests and their anticipated role in the management and operations of said Offeror.

S. Brent Reid, Winter Johnson Group, Managing Member (70% Ownership), and Winter Construction, CEO
5616 Peachtree Road, Suite 100 | Atlanta, GA 30341

Artis Johnson, Winter Johnson Group, Managing Member (30% Ownership), and Johnson Construction Services, CEO
5616 Peachtree Road, Suite 100 | Atlanta, GA 30341

2. Please describe the general development of said Offeror's business during the past five (5) years, or such shorter period of time that said Offeror has been in business.

Winter Johnson Group has shown consistent growth since its inception in 2010.

3. Please state whether any employee, agent or representative of said Offeror who is or will be directly involved in the subject project has or had within the last five (5) years: (i) directly or indirectly had a business relationship with Fulton County; (ii) directly or indirectly received revenues from Fulton County; or (iii) directly or indirectly receives revenues from the result of conducting business on Fulton County property or pursuant to any contract with Fulton County. Please describe in detail any such relationship.

No employee, agent or representative of Winter Johnson Group that is or will be directly involved in the subject project has or had within the past (5) five years; (i) directly or indirectly had a business relationship with Fulton County; (ii) directly or indirectly received revenues from Fulton County, or (iii) directly or indirectly received revenues from the result of conducting business on Fulton County property or pursuant to any contract with Fulton County.

LITIGATION DISCLOSURE:

Failure to fully and truthfully disclose the information required, may result in the disqualification of your bid or proposal from consideration or termination of the Contract, once awarded.

1. Please state whether any of the following events have occurred in the last five (5) years with respect to said Offeror. If any answer is yes, explain fully the following:

(a) whether a petition under the federal bankruptcy laws or state insolvency laws was filed by or against said Offeror, or a receiver fiscal agent or similar officer was appointed by a court for the business or property of said Offeror;

Circle One: YES NO

(b) whether Offeror was subject of any order, judgment, or decree not subsequently reversed, suspended or vacated by any court of competent jurisdiction, permanently enjoining said Offeror from engaging in any type of business practice, or otherwise eliminating any type of business practice; and

Circle One: YES NO

(c) whether said Offeror's business was the subject of any civil or criminal proceeding in which there was a final adjudication adverse to said Offeror, which directly arose from activities conducted by the business unit or corporate division of said Offeror which submitted a bid or proposal for the subject project. If so please explain.

Circle One: YES NO

2. Have you or any member of your firm or team to be assigned to this engagement ever been indicted or convicted of a criminal offense within the last five (5) years?

Circle One: YES NO

3. Have you or any member of your firm or team been terminated (for cause or otherwise) from any work being performed for Fulton County or any other Federal, State or Local Government?

Circle One: YES NO

4. Have you or any member of your firm or team been involved in any claim or litigation adverse to Fulton County or any other federal, state or local government, or private entity during the last three (3) years?

Circle One: YES NO

5. Has any Offeror, member of Offeror's team, or officer of any of them (with respect to any matter involving the business practices or activities of his or her employer), been notified within the five (5) years preceding the date of this offer that any of them are the target of a criminal investigation, grand jury investigation, or civil enforcement proceeding?

Circle One:

YES

NO

If you have answered "YES" to any of the above questions, please indicate the name(s) of the person(s), the nature, and the status and/or outcome of the information, indictment, conviction, termination, claim or litigation, the name of the court and the file or reference number of the case, as applicable. Any such information should be provided on a separate page, attached to this form and submitted with your proposal.

NOTE: If any response to any question set forth in this questionnaire has been disclosed in any other document, a response may be made by attaching a copy of such disclosure. (For example, said Offeror's most recent filings with the Securities and Exchange Commission ("SEC") may be provided if they are responsive to certain items within the questionnaire.) However, for purposes of clarity, Offeror should correlate its responses with the exhibits by identifying the exhibit and its relevant text.

Disclosures must specifically address, completely respond and comply with all information requested and fully answer all questions requested by Fulton County. Such disclosure must be submitted at the time of the bid or proposal submission and included as a part of the bid/proposal submitted for this project. Disclosure is required for Offerors, joint venture partners and first-tier subcontractors.

Failure to provide required disclosure, submit officially signed and notarized documents or respond to any and all information requested/required by Fulton County can result in the bid/proposal declared as non-responsive. This document must be completed and included as a part of the bid/proposal package along with other required documents.

[SIGNATURES ON NEXT PAGE]

Under penalty of perjury, I declare that I have examined this questionnaire and all attachments hereto, if applicable, to the best of my knowledge and belief, and all statements contained hereto are true, correct, and complete.

On this 7th day of April, 2021

Winter Johnson Group April 7, 2021
(Legal Name of Proponent) (Date)

[Signature] April 7, 2021
(Signature of Authorized Representative) (Date)

Managing Member
(Title)

Sworn to and subscribed before me,

This 7th day of April, 2021

Natalie L. Adelman
(Notary Public) (Seal)

Commission Expires 11/01/2021
(Date)



#21RFP22421K-DB
CM@Risk Services for the new Fulton County Animal Shelter Facility

FORM D: GEORGIA PROFESSIONAL LICENSE CERTIFICATION

NOTE: Please complete this form for the work your firm will perform on this project.

Contractor's Name: Winter Johnson Group

Performing work as: Prime Contractor X Subcontractor/Sub-Consultant _____

Professional License Type (i.e., Georgia Utility License, Engineering, etc):

General Contractors License

Professional License Number:

GCCO003287

Expiration Date of License:

06/30/2022

I certify that the above information is true and correct and that the classification noted is applicable to the Bid for this Project.

Signed:



Date: April 7, 2021

(ATTACH COPY OF LICENSE)

**FORM D3: CONTRACTOR'S GEORGIA GENERAL CONTRACTOR'S LICENSE
CERTIFICATION**

Contractor's Name: Winter Johnson Group

General Contractor's License Number: GCCO003287

Expiration Date of License: 06/30/2022

I certify that the above information is true and correct and that the classification noted is applicable to the Bid for this Project.

Signed:  _____

Date: April 7, 2021

(ATTACH COPY OF LICENSE)



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
State Licensing Board for Residential and General Contractors
LICENSE NO. GCQA003297

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341

Company Name: Winter Johnson Group
Company License NO: GCCO003287
General Contractor Qualifying Agent

EXP DATE - 06/30/2022 Status: Active
Issue Date: 09/15/2011

A pocket-sized license card is below. Above is an enlarged copy of your pocket card.

Please make note of the expiration date on your license. It is your responsibility to renew your license before it expires. Please notify the Board if you have a change of address.

Wall certificates suitable for framing are available at cost, see board fee schedule. To order a wall certificate, please order from the web site – www.sos.state.ga.us/plb.

Please refer to Board Rules for any continuing education requirements your profession may require.

Georgia State Board of Professional Licensing
237 Coliseum Drive
Macon GA 31217
Phone: (844) 753-7825
www.sos.state.ga.us/plb

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
State Licensing Board for Residential and General Contractors
License No. GCQA003297

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341


Company Name: Winter Johnson Group
Company License NO: GCCO003287
General Contractor Qualifying Agent

EXP DATE - 06/30/2022 Status: Active
Issue Date: 09/15/2011

Under penalty of perjury, I declare that I have examined this questionnaire and all attachments hereto, if applicable, to the best of my knowledge and belief, and all statements contained hereto are true, correct, and complete.

On this 7th day of April, 2021

Winter Johnson Group April 7, 2021
(Legal Name of Proponent) (Date)

 April 7, 2021
(Signature of Authorized Representative) (Date)

Managing Member
(Title)

Sworn to and subscribed before me,

This 7th day of April, 2021


(Notary Public) (Seal)

Commission Expires 11/01/2021
(Date)



**STATE OF GEORGIA
COUNTY OF FULTON**

FORM E: LOCAL PREFERENCE AFFIDAVIT OF BIDDER/OFFEROR

I hereby certify that pursuant to Fulton County Code Section 102-377, the Bidder/Offeror Winter Johnson Group is eligible to receive local preference points and has a staffed, fixed, physical, place of business located within Fulton County and has had the same for at least one (1) year prior to the date of submission of its proposal or bid and has held a valid business license from Fulton County or a city within Fulton County boundaries for the business at a fixed, physical, place of business, for at least one (1) year prior to the date of submission of its proposal or bid.

Affiant further acknowledges and understands that pursuant to Fulton County Code Section 102-377, in the event this affidavit is determined to be false, the business named herein shall be deemed "non-responsive" and shall not be considered for award of the applicable contract.

Johnson Construction Service
(BUSINESS NAME)

205 Jupiter Hills Pointe, Johns Creek, GA 30097
(FULTON COUNTY BUSINESS ADDRESS)

President
(OFFICIAL TITLE OF AFFIANT)

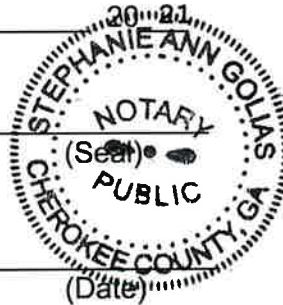
Artis Johnson
(NAME OF AFFIANT)


(SIGNATURE OF AFFIANT)

Sworn to and subscribed before me,

This 27th day of April


(Notary Public) Stephanie Ann Golias



Commission Expires: March 1, 2022
(Date)

EXHIBIT H

OFFICE OF CONTRACT COMPLIANCE

(subcontractors)

EXHIBIT **H**

OFFICE OF CONTRACT
COMPLIANCE

**Location of Bid Advertisements
For
Fulton County Animal Shelter Facility**

- National Association of Minority Contractors (NAMC)
- Georgia Hispanic Construction Association (GHCA)

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
01D.1400.S - FINAL CLEAN-UP	Cleanstar National	Marietta	GA	Doug Elkins	(770) 425-6797	doug@cleanstarnational.com	No Bid		under 100K			
01D.1400.S - FINAL CLEAN-UP	Construction Clean-up Specialists, Inc.	Marietta	GA	Estimating	(770) 435-4100 (main)	estimator@ccsinga.com	No Bid		under 100K			City of Atlanta Vendor ID #1100232; FBE Cert. #: 2013-054FBE; GDOT Vendor ID #: 0; NAICS Code(s): 561720;
01D.1400.S - FINAL CLEAN-UP	Diversified Management Group, LLC \ D.B.A. FNF Enterprises Group	MacClenny	FL	David Vaughn	(904) 704-1653	david.vaughn@fnfcleans.com	No Bid		under 100K			
01D.1400.S - FINAL CLEAN-UP	Resolute Construction Clean-up	Alpharetta	GA	Christian Bateson	(678) 366-4695	christian@resoluteservices.com	No Bid		100K+	Red / Red	-1,298,352	
G06.0020.M - WATCHMAN	Integrated Documentation Services, LLC dba Multivista Southeast	Norcross	GA	Brent Pearce	(678) 691-1541 (main)	b.pearce@multivista.com	No Bid		under 100K			
02B.2100.S - SITEWORK	American Contractors Grading and Paving, Inc.	Lithia Springs	GA	Tim Replogle	(770) 739-0000	tim@amcontractors.net	No Bid		under 100K	Yellow / Yellow	1,876,470	
02B.2100.S - SITEWORK	Brent Scarbrough & Company	Newnan	GA	Rob Fant	(770) 461-8603	rob@brent.us	No Bid		100K+	Yellow / Yellow	-109,109,600	
02B.2100.S - SITEWORK	C.A. MURREN & SONS COMPANY, INC.	GRAYSON	GA	Brian E. Greene	(770) 682-2940	bgreene@camurren.com	No Bid		under 100K	Yellow / Yellow	24,665,712	
02B.2100.S - SITEWORK	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	
02B.2100.S - SITEWORK	Civil Site Services Inc.	Fayetteville	GA	Robert Boggioni	(678) 870-0500	rboggioni@civilsites.com	No Bid		100K+	Yellow / Yellow	7,123,402	
02B.2100.S - SITEWORK	Dennis Taylor & Co., Inc.	Lawrenceville	GA	Daniel Danner	(770) 476-4324	ddanner@dennistaylor.com	No Bid		100K+	Green / Yellow	20,960,289	
02B.2100.S - SITEWORK	FS 360, LLC	Sandy Springs	GA	Ken Trevor	(404) 601-7611	ktrevor@fs360.com	No Bid		under 100K	Yellow / Red	1,907,022	City of Atlanta Vendor ID #810833; AABE Cert. #: 2014-507AABE; Other Certification: Georgia Minority Supplier Development Council. Cert # AT02741.;
02B.2100.S - SITEWORK	FS Scarbrough, LLC	Peachtree City	GA	Spencer Brooks	(678) 371-2346 (cell)	sbrooks@fsscاربrough.com	Bid	11/4/2021	under 100K			
02B.2100.S - SITEWORK	Gregorio's Invert Builders dba Goliath Contracting	Buford	GA	Chris Brouillette	(770) 559-0030	chris@goliathcontracting.net	Bid	11/4/2021	100K+	Yellow / Yellow	2,135,215	
02B.2100.S - SITEWORK	Lewis Contracting Services, LLC	Atlanta	GA	Damon Derixson	(470) 353-4077 (cell)	dderixson@lewiscontractingservices.com	Bid	11/4/2021	under 100K	Yellow / Yellow	9,295,480	City of Atlanta Vendor ID #1107022; AABE Cert. #: 2015-165AABE; SBE Cert #: 2015-165SBE; GDOT Vendor ID #: 12028; NAICS Code(s): 237990; Other Certification: Dekalb County LSBE and MBE and Clayton County Water Authority SLBE-1405-03;
02B.2100.S - SITEWORK	Sierra Grading, Hauling & Pipeline, LLC	Rome	GA	Blake Stewart	(678) 363-6647	blakedstewart@tds.net	No Bid		under 100K	Yellow / Red	670,830	
02D.2400.S - PILE SUBCONTRACTOR	Earth Tech, LLC	Charleston	SC	Stephen Nickerson	(843) 303-9485	snickerson@earthtech.com	No Bid		under 100K			
02D.2400.S - PILE SUBCONTRACTOR	Geopier Foundation Company			Bill Beckler	(770) 518-2788	bbeckler@geopier.com	Bid	11/4/2021	Pending			
02D.2400.S - PILE SUBCONTRACTOR	Keller North America, Inc.	Alpharetta	GA	Redd Schoening	(770) 442-1801	rcschoening@keller-na.com	Bid	11/4/2021	100K+	Yellow / Yellow	161,325,400	
02D.2400.S - PILE SUBCONTRACTOR	Peterson Contractors Inc.	Reinbeck	IA	Cork Peterson	(319) 345-2713	cork@pcius.com	No Bid		under 100K	Yellow / Yellow	71,132,459	
02D.2400.S - PILE SUBCONTRACTOR	WURSTER ENGINEERING & CONSTRUCTION INC.	GREENVILLE	SC	Tripp Ford	(864) 627-7751	tripp.ford@wursterinc.com	Bid	11/4/2021	under 100K	Yellow / Yellow	4,732,636	
02E.2500.S - PAVING & SURFACING	All South Aggregate	Washington	GA	Matt Green	(706) 338-5002	matt@asapaving.com	No Bid		under 100K			
02E.2500.S - PAVING & SURFACING	ALLIED PAVING CONTRACTORS INC.	Pendergrass	GA	Bryan Jones	(706) 693-4042	bjones@paveone.com	No Bid		under 100K			
02E.2500.S - PAVING & SURFACING	Baldwin Paving Co., Inc	Marietta	GA	Pam Haygood	(770) 425-9191	phaygood@baldwin-paving.com	No Bid		100K+	Green / Green	54,644,118	
02E.2500.S - PAVING & SURFACING	C & S Paving Inc.	Marietta	GA	Kent Jones	(770) 422-9124	kent@cspaving.com	No Bid		under 100K	Yellow / Red	434,560	City of Atlanta Vendor ID #804849; FBE Cert. #: 2013-071FBE; GDOT Vendor ID #: 2CS250; NAICS Code(s): 237310, 238140, 238910;
02E.2500.S - PAVING & SURFACING	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
02E.2500.S - PAVING & SURFACING	Lori's Transportation & Excavation, LLC	Atlanta	GA	John Guffey	(678) 430-9185 (cell)	jguffey@lorispaving.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #804539; FBE Cert. #: 2013-043FBE; SBE Cert #: 2012-0405BE; GDOT Vendor ID #: O475; NAICS Code(s): 237310; Fulton Co. Vendor ID #: VS00000-22275; Other Certification: TDOT, NCDOT, SCDOT, DEKALB COUNTY,;
02E.2500.S - PAVING & SURFACING	Magnum Paving, LLC	Villa Rica	GA	Joe Draughon	(770) 919-0911	joe@magnumpavingga.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,479,006	
02E.2500.S - PAVING & SURFACING	Mullins Bros Paving Contractors	EAST POINT	GA	Wayne Mullins	(404) 761-8007	wayne.mullins@mbpavinginc.com	No Bid		under 100K	Yellow / Red		
02E.2500.S - PAVING & SURFACING	Ryals Brothers	Gainesville	GA	Neil Wingo	(706) 215-7390	ryalsbrothers@yahoo.com	Bid	11/4/2021	under 100K			
02E.2500.S - PAVING & SURFACING	Stewart Bros Inc.	Doraville	GA	Karl Broughton	(770) 447-5810	kbroughton@stewartbrosinc.com	No Bid		under 100K	Green / Yellow	12,500,000	
02E.2500.S - PAVING & SURFACING	The Tomal Corporation dba WildCat Striping & Sealing	Decatur	GA	Courtney Evans	(404) 293-0198 (cell)	courtney@wildcatstriping.com	Bid	11/4/2021	under 100K			
02E.2510.S - SITE CONCRETE	Hemma Concrete, Inc.	Marietta	GA	Bid Coordinator (Ashley Ginth)	(678) 504-0136	estimate@hemmaconcrete.com	Bid	11/4/2021	100K+	Yellow / Yellow	19,280,836	
02E.2510.S - SITE CONCRETE	SDC Concrete Construction, Inc.	Smyrna	GA	Nick Hillman	(770) 423-9738	nickh@sdconcreteconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	931,490	
02E.2510.S - SITE CONCRETE	Wheeler Services, Inc.	Alpharetta	GA	Estimating Dept	(770) 667-0058	estimating@wheelerservicesinc.com	Bid	11/4/2021	100K+	Green / Yellow	14,519,897	
02E.2520.S - CURBS AND GUTTERS	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	
02E.2520.S - CURBS AND GUTTERS	CurbCo, Inc.	Cumming	GA	Jeffrey Markuten	(678) 513-6907	Jeff@CurbCoInc.net	Bid	11/4/2021	under 100K	Red / Red		
02E.2520.S - CURBS AND GUTTERS	Fortress Walls & Hardscapes, LLC	Johns Creek	GA	Adam Dudenhoefter	(404) 312-9383	adam@fortress-walls.com	No Bid		100K+	Yellow / Yellow	2,368,890	
02E.2520.S - CURBS AND GUTTERS	Machine Construction Company Inc.	Sharpsburg	GA	Aron Brook	(770) 304-0608 (main)	estimating@machineconstruction.net	Bid	11/4/2021	under 100K			
02E.2520.S - CURBS AND GUTTERS	Upstate Curb Inc	Homer	GA	Wes Whitfield	(706) 677-2446	wes@upstatecurb.net	Bid	11/4/2021	under 100K	Red / Red	-1,070,427	
02E.2530.S - STRIPING AND SIGNS	A PARK RITE COMPANY	BUFORD	GA	BOB RUSHMORE	(770) 271-1000	rrushmore@aol.com	Bid	11/4/2021	under 100K			GDOT Vendor ID #: 2AP050; Other Certification: WBE Dekalb County, but no certificate number,;
02E.2530.S - STRIPING AND SIGNS	BlackJack Paving	Tyrone	GA	Bailee Raker	(678) 364-9696 (main)	bailee@blackjackpaving.com	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	HIGHWAY MARKINGS LLC	LAWRENCEVILLE	GA	JIM TROUTMAN	(770) 237-9997	troutman@bellsouth.net	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	Ryals Brothers	Gainesville	GA	Neil Wingo	(706) 215-7390	ryalsbrothers@yahoo.com	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	The Tomal Corporation dba WildCat Striping & Sealing	Decatur	GA	Courtney Evans	(404) 293-0198 (cell)	courtney@wildcatstriping.com	Bid	11/4/2021	under 100K			
02F.2620.S - UNIT PAVERS	Fortress Walls & Hardscapes, LLC	Johns Creek	GA	Adam Dudenhoefter	(404) 312-9383	adam@fortress-walls.com	Bid	11/4/2021	100K+	Yellow / Yellow	2,368,890	
02F.2620.S - UNIT PAVERS	Galvao Pavers, LLC. - DBA.: GP Hardscape	Cumming	GA	Wendy Arceneaux	(470) 334-6410 (cell)	wendy@gphardscape.com	Bid	11/4/2021	under 100K	Yellow / Yellow	924,330	City of Atlanta Vendor ID #1405231; HABE Cert. #: 2018-101HABE; SBE Cert #: 2018-1345BE; GDOT Vendor ID #: 15726; NAICS Code(s): 238110, 238140;
02F.2620.S - UNIT PAVERS	PAVERSTONE CONSTRUCTION	ATLANTA	GA	MARK ERBESFIELD	(770) 804-9900	mark@paverstone.com	Bid	11/4/2021	under 100K			
02F.2620.S - UNIT PAVERS	WOODLAND PAVERS INC.	Cleveland	GA	Andy LUCHKOWEC	(770) 335-8554	andy@woodlandpavers.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Apex Fence Company	Canton	GA	John Watson	(770) 425-0048	john@apexfencecompany.com	No Bid		100K+	Red / Red	123,214	
02F.2640.S - FENCES AND GATES	Bartow Fence Company Inc	Cartersville	GA	Jay Parrozzo	(770) 334-3434	jay@bartow-fence.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Lindavid, Inc. dba C & C Fence	McDonough	GA	Stephanie Spruill	(770) 603-9745	stephanie@1-stopaccess.com	Bid	11/4/2021	under 100K	Yellow / Yellow	3,675,197	City of Atlanta Vendor ID #908896; FBE Cert. #: 2012-440FBE; GDOT Vendor ID #: 000000; NAICS Code(s): 028399;

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
02F.2640.S - FENCES AND GATES	Marietta Fence Company, Inc.	Marrieta	GA	Jimmy Miller	(770) 422-1811 (main)	jmiller@mariettafence.com	No Bid		Pending			
02F.2640.S - FENCES AND GATES	MARTIN-ROBBINS FENCE CO INC	SNELLVILLE	GA	Brad Scruggs	(770) 972-8141	bscruggs@martinrobbins.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Mauldin & Cook Fence Company	Marietta	GA	Taylor Cook	(770) 924-9040	taylorcook@mauldincookfence.com	No Bid		under 100K	Yellow /		
02F.2640.S - FENCES AND GATES	Natural Enclosures Fence Co.	McDonough	GA	Justin Lawrence	(770) 506-3222	justin@ne-fence.com	Bid	11/4/2021	under 100K			
02G.2700.S - LANDSCAPING/IRRIGATION	Ashford Gardeners, Inc	Milton	GA	Ben Reed	(770) 664-1060	ben@ashfordgardeners.com	No Bid		under 100K	Yellow / Yellow	1,285,235	
02G.2700.S - LANDSCAPING/IRRIGATION	Baytree Landscape Contractors Inc.	Stone Mountain	GA	Kristina Clay	(678) 480-0351 (cell)	kristina.clay@baytreelandscape.com	No Bid		under 100K	Yellow / Red	3,702,100	
02G.2700.S - LANDSCAPING/IRRIGATION	ForeverLawn	Louisville	OH	Corey Adkins	(330) 499-8873 (main)	corey@foreverlawn.com	Bid	11/4/2021	Pending			
02G.2700.S - LANDSCAPING/IRRIGATION	Mayer Environmental Inc. dba Mayer Landscape	Suwanee	GA	Brittany Dampier	(678) 333-3153	estimating@mayerlandscapes.com	Bid	11/4/2021	under 100K	Red / Red	-1,049,080	
02G.2700.S - LANDSCAPING/IRRIGATION	NORTH GEORGIA LAND SERVICES	Duluth	GA	Bob Button	(770) 754-9811	bob@ngland.com	No Bid		100K+	Red / Red	26	
02G.2700.S - LANDSCAPING/IRRIGATION	Property Masters Commercial Landscaping, LLC.	Roswell	GA	Sarah Schullstrom	(770) 792-5533	sarah.schullstrom@propertymasters.com	No Bid		under 100K	Yellow / Yellow	588,706	
02G.2700.S - LANDSCAPING/IRRIGATION	Russell Landscape Contractors, LLC	Sugar Hill	GA	Mike Stanley	(770) 446-3552	Mikes@russelllandscape.com	Bid	11/4/2021	100K+	Yellow / Yellow	14,031,606	
02G.2700.S - LANDSCAPING/IRRIGATION	South Fulton Landscaping	College Park	GA	Fredrick Hill	(404) 344-0630	sflnursery@bellsouth.net	Bid	11/4/2021	under 100K	Red / Red	-13,259	City of Atlanta Vendor ID #804273; AABE Cert. #: 2009-049AABE; Fulton Co. Vendor ID #: VS00000-21176;
02G.2700.S - LANDSCAPING/IRRIGATION	Tri Scapes Inc.	Cumming	GA	Brian Bennett	(678) 357-3336 (cell)	brian@triscapes.com	No Bid		under 100K	Green / Yellow	8,675,638	City of Atlanta Vendor ID #907311; FBE Cert. #: 2019-247FBE; SBE Cert #: 2019-266SBE; GDOT Vendor ID #: 2TR550; NAICS Code(s): 238990, 561730, 238910; Other Certification: WBENC Certification #2005120401;
03A.3000.S - CONCRETE TURNKEY	Gunby Construction Co., Inc.	Roswell	GA	Mike Wrinkle x222	(770) 442-1594	Mwrinkle@gunbyco.com	Bid	11/4/2021	under 100K	Green / Yellow	8,726,538	City of Atlanta Vendor ID #1002494; HABE Cert. #: 2013-088HABE; GDOT Vendor ID #: 2GU380; NAICS Code(s): 237310, 238120, 238190, 238110;
03A.3000.S - CONCRETE TURNKEY	Hemma Concrete, Inc.	Marietta	GA	Bid Coordinator (Ashley Ginth	(678) 504-0136	estimate@hemmaconcrete.com	Bid	11/4/2021	100K+	Yellow / Yellow	19,280,836	
03A.3000.S - CONCRETE TURNKEY	Precision Concrete Construction, Inc.	Alpharetta	GA	John Galasso	(770) 751-3887	johnG@precision-concrete.com	No Bid		100K+	Green / Yellow	30,517,568	
03A.3000.S - CONCRETE TURNKEY	Technique Concrete Construction	Decatur	GA	Randy Tinsley	(404) 304-5967 (main)	randyt@techniqueconcrete.com	No Bid		under 100K			City of Atlanta Vendor ID #City of Atlanta; AABE Cert. #: 2010-408AABE; SBE Cert #: 2013-001SBE; GDOT Vendor ID #: 2TE063; NAICS Code(s): 237310, 238110; Fulton Co. Vendor ID #: VS00000-37953; Other Certification: Federal 8a Certification, HUB Zone, MBE, DBE;
03A.3000.S - CONCRETE TURNKEY	Wheeler Services, Inc.	Alpharetta	GA	Sean Jarrett	(770) 667-0058	s.jarrett@wheelerservicesinc.com	Bid	11/4/2021	100K+	Green / Yellow	14,519,897	
03A.3040.M - REINFORCING STEEL	Anasteel & Supply Company, LLC	Ellenwood	GA	Stephen Snowe	(404) 675-9501	snowe@anasteel.com	Bid	11/4/2021	under 100K	Yellow / Yellow	10,878,504	City of Atlanta Vendor ID #809560; HABE Cert. #: 2015-121HABE; FBE Cert. #: 2015-121FBE; Fulton Co. Vendor ID #: VS00000-09620; Other Certification: GMSDC (MBE);
03A.3040.M - REINFORCING STEEL	CMC Rebar	Lawrenceville	GA	Mary Fordham	(770) 963-6251	mary.fordham@cmc.com	Bid	11/4/2021	100K+	Green / Green	2,738,243	
03A.3040.M - REINFORCING STEEL	Harris Rebar Nufab, LLC	Riverside	AL	Ron Gurley	(205) 338-6332	RGurley@harrisrebar.com	No Bid		under 100K	Green / Green	11,294,429,000	
03A.3040.M - REINFORCING STEEL	Southern Rebar & Supplies, Inc	Albany	GA	Rebecca Wisener	(229) 343-6542	rebecca.wisener@southernrebar.com	No Bid		Pending			
03A.3040.M - REINFORCING STEEL	Williams Concrete Accessories	Lithia Springs	GA	Alex Cannon	(678) 355-2148	acannon@williamsform.com	Bid	11/4/2021	under 100K			
03A.3050.S - CONCRETE PLACE AND FINISH	Montalvo Construction	Woodstock	GA	Chuck Rutherford	(404) 664-6266	montalvocoinc@gmail.com	No Bid		under 100K			
03A.3050.S - CONCRETE PLACE AND FINISH	Precision 2000, Inc.	Chamblee	GA	Jaime Botero	(770) 455-6142	jbotero@precision2k.com	No Bid		under 100K	Yellow / Yellow	3,139,324	City of Atlanta Vendor ID #P690700-01; HABE Cert. #: 2013-272HABE; FBE Cert. #: 2013-272FBE; GDOT Vendor ID #: 2PR029; NAICS Code(s): 236116, 236220, 237310, 238110, 238190;
03A.3050.S - CONCRETE PLACE AND FINISH	SDC Concrete Construction, Inc.	Smyrna	GA	Nick Hillman	(770) 423-9738	nichh@sdconcreteconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	931,490	

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
03A.3050.S - CONCRETE PLACE AND FINISH	Tafolla's Construction, Inc.	Lawrenceville	GA	Giovani Serrano	(770) 617-6580 (cell)	giovani@tafollasconstruction.com	No Bid		100K+	Yellow / Yellow	9,127,388	City of Atlanta Vendor ID #2100855; HABE Cert. #: 2020-250HABE; SBE Cert #: 2020-252SBE; GDOT Vendor ID #: 16959; NAICS Code(s): 238110, 237310; Other Certification: MBE & GDOT RMS;
03A.3060.M - CONCRETE PURCHASE	Argos Ready Mix, LLC	Alpharetta	GA	Polo Bascunan	(678) 392-1796	PBascunan@argos-us.com	Bid	11/4/2021	under 100K			
03A.3060.M - CONCRETE PURCHASE	Ready Mix USA, LLC	WOODSTOCK	GA	Kyle Sandige	(813) 602-9388 (cell)	kyle.sandige@cemex.com	Bid	11/4/2021	under 100K			
03A.3060.M - CONCRETE PURCHASE	Thomas Concrete of Georgia, Inc.	Atlanta	GA	Eric Phillips	(770) 431-3310	eric.phillips@thomasconcrete.com	Bid	11/4/2021	under 100K			
03A.3110.M - CONCRETE PUMPING	Brundage Bone Concrete Pumping, Inc.	Mableton	GA	Cory Postlewait	(404) 762-9633	CoryPostlewait@brundagebone.com	Bid	11/4/2021	under 100K	Yellow / Red	-73,317,500	
03A.3110.M - CONCRETE PUMPING	Cherokee Pumping Inc.	Hampton	GA	Scott Maskell	(404) 597-7442 (cell)	scottm@cherokeepumping.com	No Bid		under 100K			
03A.3110.M - CONCRETE PUMPING	Pioneer Concrete Pumping Inc.	Mableton	GA	Chris Williams	(404) 387-7751 (cell)	chris.williams@pioneerconcrete.com	No Bid		under 100K	Yellow / Yellow	2,874,782	
04A.4000.S - MASONRY	ATL Masonry Contractor Inc.	Lawrenceville	GA	Leigh Reed	(470) 888-2636	leigh@reedsestimating.com	Bid	11/4/2021	100K+	Yellow / Red	396,307	
04A.4000.S - MASONRY	B&M Masonry Inc.	Marietta	GA	Robert Novoa	(770) 421-1600	robert@bmmasonryinc.com	No Bid		under 100K	Yellow / Yellow	6,976,190	
04A.4000.S - MASONRY	Bibler Masonry Contractors, Inc.	Roswell	GA	Keith Duncan	(770) 667-1633	keith@biblermci.com	Bid	11/4/2021	100K+	Yellow / Yellow	6,310,464	City of Atlanta Vendor ID #1404020; FBE Cert. #: 2016-153FBE; GDOT Vendor ID #: 2B1113; NAICS Code(s): 238140; Other Certification: Women's Business Enterprise National Council WOSB # W030234;
04A.4000.S - MASONRY	Eagle Construction & Restoration, LLC	Sugar Hill	GA	Francisco Martinez	(770) 294-8859	fmarti1042@eaglecr.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,292,881	City of Atlanta Vendor ID #200400; HABE Cert. #: 2019-154HABE; SBE Cert #: 2019-166SBE;
04A.4000.S - MASONRY	M & D Masonry, Inc.	Americus	GA	Scott Smith	(404) 473-0807	scott@mdmasonry.com	Bid	11/4/2021	100K+	Yellow / Yellow	2,441,903	
04A.4000.S - MASONRY	Masonry Dixie Inc.	Dahlonega	GA	Jeff Sayne	(770) 844-9355	jeff@mdixie.com	Bid	11/4/2021	100K+	Green / Yellow	2,294,684	
04A.4000.S - MASONRY	Pyramid Masonry Contractors Inc.	Decatur	GA	Nathan Parsons	(770) 987-4750	nparsons@pyramidmasonry.net	No Bid		under 100K	Green / Yellow	11,224,500	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	GrayWolf Integrated Construction Company	Duluth	GA	Dusty Roach	(678) 203-2446	Dusty.Roach@Graywolf.com	No Bid		100K+	Yellow / Yellow	115,000,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Jonquil Steel and Construction Company, Inc.	Mableton	GA	Corey Battle	(770) 948-9876	cbattle@jonquilsteel.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,535,760	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	King Steel, Inc.	Lawrenceville	GA	Troy Ernst	(770) 407-7601	ternst@kingsteelinc.net	No Bid		100K+	Yellow / Yellow	4,635,228	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	PORTER STEEL, INC	LILBURN	GA	Amber Zorrilla	(770) 564-0837	azorrilla@portersteel.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,804,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Rodgers Metal Craft Inc	Fortson	GA	Edward Rodgers	(706) 887-6401	edwardr@roddersmc.com	No Bid		Pending			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	RyJohn Steel	Decatur	GA	Daino Deas	(770) 987-8388	daino@ryjohnsteel.com	Bid	11/4/2021	Pending			GDOT Vendor ID #: 3721376; NAICS Code(s): 561499;
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Smith Ironworks	Lyerly	GA	Blake Weaver	(706) 895-3311	sales@smith-ironworks.com	No Bid		under 100K	Red / Red	-1,371,946	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	SOUTH CENTRAL STEEL	HARPERSVILLE	AL	Andy Schroeder	(205) 672-2904	andy@scssteel.com	No Bid		100K+	Red / Red	682,342	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Steel Plus LLC	Ider	AL	Jim Hicks	(256) 630-8039	jhicks@steel-plusllc.com	No Bid		under 100K			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Steel, LLC	Scottdale	GA	Clay Hawkins	(404) 292-7373	chawkins@steelcga.com	Bid	11/4/2021	under 100K	Green / Yellow	57,500,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	SteelFab Inc.	Norcross	GA	Jeff Pattilo	(770) 248-0075 (main)	jpattilo@steelfab-inc.com	No Bid		under 100K			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Trinity Fabricators Inc	Green Cove Springs	FL	Dan Westfall	(904) 284-9657	danwestfall@trinityfabricators.com	No Bid		under 100K	Yellow / Yellow	10,344,046	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Universal Steel, Inc	Lithonia	GA	Bob Mayotte	(770) 482-5601	bmayotte@universalsteelinc.com	No Bid		under 100K	Yellow / Yellow	12,442,100	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
05A.5020.S - STEEL ERECTIONS	DAUNCH & HIRSCHI CONSTRUCTION INC	Cleveland	GA	Bob Hirschi	(706) 219-3592	bobhirschi@daunch-hirschi.com	No Bid		under 100K			
05A.5020.S - STEEL ERECTIONS	White Hawk, Inc.	Marietta	GA	Cy Hedrick x 1738	(770) 425-5200	c.hedrick@whitehawkinc.com	No Bid		under 100K	Yellow /		
06B.6100.S - ARCHITECTURAL MILLWORK	MARK PRODUCTS OF GEORGIA INC(MP)	Atlanta	GA	CARL DEMARIA	(770) 641-6342	carl@markproducts.com	Bid	11/4/2021	100K+	Yellow / Red	29,689	
06B.6100.S - ARCHITECTURAL MILLWORK	Steve Ward & Associates, Inc.	Nashville	TN	Chad	(615) 350-7310 (main)	Chad@swainc.com	No Bid		under 100K	Yellow / Yellow	8,592,276	
06B.6100.S - ARCHITECTURAL MILLWORK	Tristar Metals, Inc	Boyd	TX	Tim Nichols	(877) 459-7827 (main)	Tim@tristarvet.com	Bid	11/4/2021	Pending			
06B.6100.S - ARCHITECTURAL MILLWORK	USA Millwork Atlanta, LLC	Duluth	GA	Jeanne Cordum	(470) 289-4581	atl.estimating@usa-millwork.com	No Bid		100K+	Red / Red	-44,926,436	
06B.6100.S - ARCHITECTURAL MILLWORK	Woodtec Millwork, Inc.	JEFFERSON	GA	Rob Fisher	(770) 806-9714	rob@woodtecmillwork.com	No Bid		100K+	Yellow / Yellow	623,565	
07A.7000.S - WATERPROOFING	Alpha Insulation & Waterproofing Inc.	Marietta	GA	LaWon Griffin	(770) 424-8600	lgriffin@alphaiwp.com	No Bid		100K+	Green / Yellow	38,003,081	
07A.7000.S - WATERPROOFING	Chambless Construction Specialties Inc.	Marietta	GA	Seth Chambless	(770) 952-2846	seth.chambless@chamblessconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,250,000	
07A.7000.S - WATERPROOFING	Eastern Waterproofing and Coating	Atlanta	GA	Maziyar Badiei	(770) 220-2253	MBadiei@easternwaterproofing.net	Bid	11/4/2021	under 100K	Yellow / Red	498,320	
07A.7000.S - WATERPROOFING	HOLBROOK WATERPROOFING COMPANY OF GEORGIA	DECATUR	GA	GREG SIMMONS	(404) 378-8866	hwcg1@bellsouth.net	Bid	11/4/2021	under 100K	Yellow / Red	118,702	
07A.7000.S - WATERPROOFING	Ketom Construction Company, Inc. dba Southern Preservation Systems	Loganville	GA	Jacob David	(770) 982-9970	Jacobd@spsatl.com	No Bid		under 100K	Red / Red	331,440	
07A.7000.S - WATERPROOFING	Metro Waterproofing Inc.	Scottsdale	GA	Zoella Diaz	(404) 292-8013	zoella.diaz@metrowp.com	Bid	11/4/2021	100K+	Green / Yellow	32,381,009	
07A.7000.S - WATERPROOFING	Southeast Restoration & Fireproofing Co. Inc.	Stone Mountain	GA	Thomas Deeds	(404) 297-8388	tdeeds@serest.com	Bid	11/4/2021	100K+	Green / Yellow	9,857,278	City of Atlanta Vendor ID #City of Atlanta/1004618; SBE Cert #: 2019-24-SBE;
07C.7220.S - ROOFING	Northside Building Services, Inc.	Acworth	GA	Bryan LaVigne	(770) 529-0970	blavigne@bellsouth.net	Bid	11/4/2021	100K+	Yellow / Yellow	3,550,000	City of Atlanta Vendor ID #1107745; HABE Cert. #: 2017-239HABE;
07C.7220.S - ROOFING	Roof Technology Partners, LLC	Woodstock	GA	Ryan Gaddy	(678) 401-5200	ryan@rooftechnologypartners.com	No Bid		under 100K	Yellow / Yellow	1,240,752	
07C.7220.S - ROOFING	Summers Roofing Company., Inc	Alpharetta	GA	Brian Bick	(770) 663-4211	brian@summersroofing.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,471,022	City of Atlanta Vendor ID #1002452; FBE Cert. #: 2017-035FBE; SBE Cert #: 2017-044SBE; GDOT Vendor ID #: 4QDL9; NAICS Code(s): 238160, 238170; Other Certification: WBE Certificate No. RCW20826 is from NWBOC and expires 07/14/2021;
07C.7220.S - ROOFING	Tera-Systems LLC	Buford	GA	Josh Gaddis	(770) 845-3305	josh.gaddis@tera-systems.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,151,654	City of Atlanta Vendor ID #1803947; AABE Cert. #: 2018-030AABE; SBE Cert #: 2018-045SBE; GDOT Vendor ID #: 15455; NAICS Code(s): 238130, 238160, 238170;
07C.7220.S - ROOFING	Terminus Construction Group	Woodstock	GA	Matt Winters	(678) 880-8346	Matt@terminusconstructiongroup.com	No Bid		under 100K			
07C.7220.S - ROOFING	Zurix Built LLC dba Zurix Roofing Systems	Atlanta	GA	Barry Gaddis	(678) 644-7761	barry@zurixinc.com	No Bid		100K+	Yellow / Yellow	1,117,432	
07C.7230.S - METAL ROOF AND WALL PANELS	Alumitect Industries, LLC	Salem	MI	Marc Montblanc	(248) 468-9300	Marc.montblanc@alumitect.com	No Bid		100K+	Red / Red	89,211	
07C.7230.S - METAL ROOF AND WALL PANELS	BRISTOL ENGINEERED METALS, LLC	Cumming	GA	MARK JANSEN	(770) 623-3752	mark@bristol-eng-metals.com	No Bid		under 100K	Yellow / Red	661,518	
07C.7230.S - METAL ROOF AND WALL PANELS	Clad Axis	Carrollton	GA	Chris Cox	(678) 741-5370	chrisc@cladaxis.com	Bid	11/4/2021	under 100K			
07C.7230.S - METAL ROOF AND WALL PANELS	KISTLER-MCDOUGALL CORP	WOODSTOCK	GA	Cindy Crain	(770) 928-3830	estimating@kmcorgusa.com	No Bid		100K+	Yellow / Yellow	3,433,172	
07C.7230.S - METAL ROOF AND WALL PANELS	Maucor Inc	Maitland	FL	Mauricio Correa	(407) 796-4071	mcorrea@maucor.com	Bid	11/4/2021	100K+	Red / Red		
07C.7230.S - METAL ROOF AND WALL PANELS	Peachtree Protective Covers Inc.	Lithia Springs	GA	Tamara Spruill	(770) 439-2120	bids@peachtreecovers.com	No Bid		100K+	Green / Yellow	7,664,584	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
07C.7230.S - METAL ROOF AND WALL PANELS	SECO Architectural Systems, Inc.	Snellville	GA	Jill x 126	(770) 469-8286	jillgreen@secoinc.biz	No Bid		under 100K			
07C.7230.S - METAL ROOF AND WALL PANELS	The Miller - Clapperton Partnership, Inc	Austell	GA	Josh Akins	(770) 378-8611 (cell)	Josh.Akins@millerclapperton.com	No Bid		100K+	Yellow / Yellow	17,226,548	
07C.7320.S - EXTERIOR SIDING	Maucor Inc	Maitland	FL	Mauricio Correa	(407) 796-4071	mcorrea@maucor.com	No Bid		100K+	Red / Red		
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Classic City Door & Hardware	Athens	GA	Tim Crocker	(706) 543-8857	tim@classiccitydoor.com	No Bid		under 100K	Red / Red	-609,307	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	D.H. Pace Door Services, A Division of D.H. Pace Company, Inc	Peachtree Corners	GA	Craig Stewart	(404) 327-5106	craig.stewart@dhpce.com	No Bid		100K+	Green / Yellow	116,385,426	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	IDN Armstrong's, Inc	Chamblee	GA	Estimating	(404) 898-8740 (main)	estimating@idnarmstrongs.com	No Bid		100K+	Yellow / Yellow	6,525,250	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	John Oatley Builders Hardware Inc.	Atlanta	GA	Estimating	(404) 876-2434 (main)	bids@johnoatley.com	No Bid		under 100K	Yellow / Yellow	2,406,742	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Kelley Bros Hardware - Alabama Inc dba Kelly Brothers Hardware - Georgia Inc	Cumming	GA	Tom Martin	(770) 882-2834	tmartin@kelleybros.com	Bid	11/4/2021	100K+	Yellow / Yellow	36,756,286	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	MACON DOOR AND HARDWARE INC.	MACON	GA	BOB HARDEMAN	(478) 741-2281	bob.hardeaman@macondoor.com	No Bid		under 100K			
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Tebarco Door & Metal Services, Inc.	Alpharetta	GA	Jeff Bissell	(770) 740-8500	jeffbissell@tebarcodoor.com	No Bid		100K+	Green / Yellow	2,106,346	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Acousti Doors & Specialties, LLC	Kennesaw	GA	Adam Oshields	(404) 355-1331	adam@acoustids.com	Bid	11/4/2021	under 100K	Yellow / Yellow	1,610,842	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Atlanta's Professional Door Inc.	Fayetteville	GA	Steve Glenn	(770) 460-6688	sglenn@apdinc.net	No Bid		under 100K	Yellow /		
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Overhead Door Co. of Atlanta, a DH Pace Co., Inc.	Peachtree Corners	GA	Gary Wright	(404) 872-3667	gary.wright@dhpce.com	Bid	11/4/2021	100K+	Green / Yellow	116,385,426	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	River City Door	Columbus	GA	Michael DeHenning	(706) 565-5305	mdehenning@rivercitydoors.com	Bid	11/4/2021	under 100K	Yellow / Yellow	715,954	
08A.8090.S - DOOR & HARDWARE INSTALLATION	Aaron's Doors LLC	Cumming	GA	Gary Bekebrede	(404) 580-8267	gary@aarondoorsllc.com	No Bid		under 100K			
08A.8090.S - DOOR & HARDWARE INSTALLATION	R. E.Monk Interior Trim,Inc.	Lilburn	GA	Royce Monk	(770) 925-2042	roycemonk@bellsouth.net	Bid	11/4/2021	under 100K	Yellow / Red	144,663	
08B.8210.S - GLASS AND GLAZING	C2 GA, LLC dba Clearvue Glass & Mirror Co.	Marietta	GA	Jeff Post	(404) 524-5616	jeff@clearvueglassatlanta.com	Bid	11/4/2021	100K+	Red / Red	300,715	
08B.8210.S - GLASS AND GLAZING	Capital City Glass Inc.	Lawrenceville	GA	Rodney Southard	(770) 963-2122	rodney@capitalcityglass.com	No Bid		100K+	Red / Red	-2,023,280	
08B.8210.S - GLASS AND GLAZING	Commercial Glass Installation, Inc	Cleveland	GA	Matt Quarles	(706) 348-6200	matt@comm-glass.com	No Bid		100K+	Yellow / Yellow	187,020	
08B.8210.S - GLASS AND GLAZING	EGM Services, Inc.	Decatur	GA	Craig Nelson	(404) 288-9521	craig.nelson@egmatlanta.com	Bid	11/4/2021	under 100K	Green / Yellow	3,941,316	City of Atlanta Vendor ID #807037; AABE Cert. #: 2019-164AABE; SBE Cert #: 2019-179SBE; GDOT Vendor ID #: 2EG300; NAICS Code(s): 238150, 238290; Fulton Co. Vendor ID #: VS00000-22136;
08B.8210.S - GLASS AND GLAZING	G&S GLASS ATLANTA, LLC	Woodstock	GA	David Joiner	(770) 331-4715	djoiner@gsglassatl.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,813,251	
08B.8210.S - GLASS AND GLAZING	Glass Stream Inc.	Kennesaw	GA	Luke Skinner	(678) 378-9297 (cell)	luke.skinner@glassstreaminc.com	No Bid		100K+	Green / Yellow	6,165,755	
08B.8210.S - GLASS AND GLAZING	Jones Glass Inc.	Macon	GA	Kevin Middlebrooks	(770) 683-9770	kmiddlebrooks@jonesglassinc.com	No Bid		100K+	Green / Yellow	7,608,426	GDOT Vendor ID #: 0000000000; NAICS Code(s): 238150; Other Certification: WBENC #2005118683;
09B.9100.S - DRYWALL	Alamo Drywall Inc	Austell	GA	Roger Guillen	(305) 240-7031 (cell)	rguillen@alamodrywall.com	Bid	11/4/2021	100K+	Yellow / Red	38,989	
09B.9100.S - DRYWALL	Astro Interior Contracting Inc	Mableton	GA	Chris Clark	(404) 699-0301	cclark@astro-interior.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,296,362	
09B.9100.S - DRYWALL	BCA Inc.	ATLANTA	GA	JEFFREY A. FUERST	(770) 458-6339	BIDinvite@BCAdrywall.com	No Bid		under 100K	Yellow / Yellow	2,875,632	
09B.9100.S - DRYWALL	Ochoa General Interiors Inc.	Hapeville	GA	Jose Ochoa	(678) 468-2697	jose@ochoaconstruction.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #City of Atlanta; HABE Cert. #: 2011-124HABE; SBE Cert #: 2012-069SBE; Fulton Co. Vendor ID #: VC0000-00000;

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09B.9100.S - DRYWALL	Principle Partners Inc.	MORROW	GA	Stephen Schroeder II x225	(770) 960-0442	sschroederii@principlepartnersinc.com	No Bid		under 100K	Yellow / Yellow	780,845	City of Atlanta Vendor ID #770570; FBE Cert. #: 2015-474FBE; GDOT Vendor ID #: 2PR260;
09B.9200.S - TILE & STONE	AAA Commercial Floors	Gainesville	GA	Richard Davis	(770) 535-6671	richard.davis@aaacommercialfloors.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,665,460	
09B.9200.S - TILE & STONE	C. C. Owen Tile Company Inc.	Jonesboro	GA	Rod Owen	(770) 478-5111	rodowen@ccowentile.com	No Bid		100K+	Yellow / Yellow	3,472,500	
09B.9200.S - TILE & STONE	Doyle Dickerson Terrazzo, Inc	Charlotte	NC	Boutros Boutros	(704) 921-4940	boutros@doyledickersonterrazzo.com	No Bid		100K+	Yellow / Yellow	2,744,472	
09B.9200.S - TILE & STONE	Level Construction Services	Atlanta	GA	John Mapp, Jr.	(404) 351-4282	jmappjr@level-cs.com	Bid	11/4/2021	Pending			
09B.9200.S - TILE & STONE	Premier Contract Carpet, Inc.	TUCKER	GA	Mason Garrison	(678) 802-2916	mason@pccarpet.com	Bid	11/4/2021	100K+	Yellow / Red	1,243,668	
09B.9200.S - TILE & STONE	United Enterprises Inc.	Buford	GA	Beth Starkey	(770) 904-6984	estimating@unitedei.com	No Bid		100K+	Yellow / Yellow	1,162,510	City of Atlanta Vendor ID #1200187; SBE Cert #: 2014-100SBE;
09D.9350.S - CARPET, VINYL FLOORING AND BASE	AAA Commercial Floors	Gainesville	GA	Richard Davis	(770) 535-6671	richard.davis@aaacommercialfloors.com	No Bid		100K+	Yellow / Yellow	3,665,460	
09D.9350.S - CARPET, VINYL FLOORING AND BASE	DCO Inc., dba DCO Commercial Floors	Athens	GA	Luke Canup	(678) 377-0001	lcanup@dcocf.com	No Bid		100K+	Yellow / Yellow	14,100,308	
09D.9350.S - CARPET, VINYL FLOORING AND BASE	Shaw Contract Flooring Services, Inc.,	Norcross	GA	Darnell Byrd	(770) 729-2773	darnell.byrd@spectracf.com	No Bid		under 100K	Green / Green	42,000,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	Baker Paint & Contracting Co., Inc.	Tucker	GA	Thomas Watt	(404) 379-7830	thomas@bakerpaint.com	Bid	11/4/2021	100K+	Green / Yellow	8,874,212	
09E.9400.S - SPECIAL COATINGS - FLOOR	Epoxico	Murrells Inlet	SC	Stacy Davis	(843) 979-1550	epoxicomb@aol.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	Extreme IFC, LLC	Cumming	GA	Will Gleeson	(404) 304-7881	will@extremeifc.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	Key Resin Company	Batavia	OH	Gary L. Bath	(770) 535-8932	gary@garybath.com	No Bid		under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	MC's Painting & Decorating Co Inc	Hiram	GA	Karen Armstrong x106	(770) 943-1193	karena@mcpaint.com	Bid	11/4/2021	100K+	Green / Yellow	3,953,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	Plexi-Chemie, Inc dba Industrial Flooring Specialists	Jacksonville	FL	Bids		epoxy@floorcure.com	No Bid		under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	STONHARD DIVISION OF STONCOR GROUP INC (GA)	Atlanta	GA	Kevin Kranick	(404) 578-7399	kkranick@stonhard.com	Bid	11/4/2021	under 100K	Green / Green	136,000,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	T&T Ventures LLC	Atlanta	GA	Paul Botwell	(404) 254-0442	pbothwell@ttventuresllc.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	The Paint Doctor, Inc	Atlanta	GA	Archie Deese	(404) 524-8283	archieeese@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
09E.9500.S - PAINTING	Apex Painting & Decorating Co.	Conyers	GA	Bob Wagner	(480) 988-1501 (cell)	bobw@apex-paint.com	No Bid		under 100K			City of Atlanta Vendor ID #107168233; FBE Cert. #: 2013-040FBE; GDOT Vendor ID #: 2AP310; NAICS Code(s): 238320, 238390, 238990; Other Certification: WBE with Women's Business Enterprise National Council;
09E.9500.S - PAINTING	Baker Paint & Contracting Co., Inc.	Tucker	GA	Thomas Watt	(404) 379-7830	thomas@bakerpaint.com	Bid	11/4/2021	100K+	Green / Yellow	8,874,212	
09E.9500.S - PAINTING	Bobby Taylor Painting Holdings Inc.	Acworth	GA	Mark Cook	(770) 974-2828	MarkC@bobbytaylorpainting.com	Bid	11/4/2021	under 100K	Yellow / Yellow	538,874	Other Certification: MBE;
09E.9500.S - PAINTING	Goodman Decorating Company Inc	Atlanta	GA	Richard Diamond	(404) 965-2538	rad@thinkgoodman.com	No Bid		100K+	Yellow / Yellow	3,064,406	
09E.9500.S - PAINTING	MC's Painting & Decorating Co Inc	Hiram	GA	Karen Armstrong x106	(770) 943-1193	karena@mcpaint.com	No Bid		100K+	Green / Yellow	3,953,000	
09E.9500.S - PAINTING	MLR Painting & Wallcovering, Inc.	Fairburn	GA	Mike Mehan	(770) 302-1440	mike@mlrpainting.com	No Bid		100K+	Yellow / Yellow	2,147,532	
09E.9500.S - PAINTING	Rosing Painting & Wallcovering	Atlanta	GA	Barry Jiske	(404) 350-4023	barry@rosingpaint.com	Bid	11/4/2021	under 100K	Yellow / Yellow	3,565,276	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
09E.9500.S - PAINTING	The Paint Doctor, Inc	Atlanta	GA	Chris Rice	(404) 524-8283	CRice@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
09E.9520.S - ACOUS. TREATMENTS	A. Ritz Interiors	Austell	GA	Andy Ritz	(678) 310-0671	andy@ritzinteriors.net	Bid	11/4/2021	100K+	Yellow / Red	1,577,374	City of Atlanta Vendor ID #2005125289; Other City of Atlanta Cert. #: WBE; Other Certification: WBENC National Certificate Number 200512289, NAICS Codes: 238320;
09E.9520.S - ACOUS. TREATMENTS	Accutrack Systems, LLC	Austell	GA	David Mezo	(770) 941-9009	david@accutracksystems.com	Bid	11/4/2021	under 100K	Green / Yellow	2,723,500	
09E.9520.S - ACOUS. TREATMENTS	The Paint Doctor, Inc	Atlanta	GA	Archie Deese	(404) 524-8283	archiedeese@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
10A.1000.S - SPECIALTIES	Accessories Unlimited Inc	Stone Mountain	GA	Drew Wolfe x8106	(404) 298-1779	dwolfe@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1000.S - SPECIALTIES	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	Bid	11/4/2021	100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
10A.1000.S - SPECIALTIES	Diversified Construction Specialties	Fortson	GA	David Shoemaker	(706) 505-1132	davidcshoemaker@gmail.com	No Bid		under 100K			
10A.1000.S - SPECIALTIES	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1000.S - SPECIALTIES	Joe Burton Company	Tucker	GA	Jonathon Negron x27	(770) 938-2730	jonnegron@jburtoncompany.com	No Bid		100K+	Yellow / Red	207,534	
10A.1000.S - SPECIALTIES	Mason Hall and Company	Mableton	GA	Ryan Redmond x209	(770) 432-1322	ryan@masonhall.com	No Bid		under 100K	Yellow /		
10A.1000.S - SPECIALTIES	NYCOM, INC	MIDLOTHIAN	VA	Chris Kanoy	(678) 287-8911	ckanoy@nycominc.com	Bid	11/4/2021	100K+	Yellow / Yellow	15,954,822	
10A.1000.S - SPECIALTIES	Pinnacle 33 Signage Solutions, LLC	Conyers	GA	Denise Butler	(404) 254-5537	denise.butler@pinnacle33.com	No Bid		under 100K			
10A.1002.M - MARKERBOARDS/TKBOARDS	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	Bid	11/4/2021	100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
10A.1002.M - MARKERBOARDS/TKBOARDS	CPE American LLC dba Claridge Southeast	Wetumpka	AL	Ashley Sides	(334) 514-4524	asides@claridgese.com	No Bid		under 100K			Other Certification: National Women Business Owners - RCSW11601;
10A.1004.M - TOILET COMPARTMENTS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1004.M - TOILET COMPARTMENTS	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1004.M - TOILET COMPARTMENTS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1008.M - WALL/CORNER GUARDS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	No Bid		100K+	Yellow / Yellow	5,687,164	
10A.1008.M - WALL/CORNER GUARDS	INPRO CORPORATION - Corporate Office	MUSKEGO	WI	Sam Hammer	(262) 679-9010	shammer@inprocorp.com	Bid	11/4/2021	under 100K			
10A.1008.M - WALL/CORNER GUARDS	Integrated Products Group, Inc.	Duluth	GA	Bob Phillips x103	(770) 418-0700	bob@integratedproductsgroup.com	No Bid		under 100K			
10A.1012.S - CANOPIES	Awnex Inc.	Ball Ground	GA	David May	(770) 704-7140	david.may@awnexinc.com	Bid	11/4/2021	Pending			
10A.1012.S - CANOPIES	Lanier Aluminum Products	Gainesville	GA	Estimating	(770) 536-7726	LanierAluminumProducts@gmail.com	No Bid		Pending			
10A.1012.S - CANOPIES	Mitchell Metals	Smyrna	GA	Shelley Zimmerman	(770) 431-7300	shelley@mitchellmetals.net	Bid	11/4/2021	100K+	Yellow / Yellow	2,400,000	
10A.1012.S - CANOPIES	Peachtree Protective Covers Inc.	Lithia Springs	GA	Logan Ashley	(770) 439-2120	lashley@peachtreecovers.com	Bid	11/4/2021	100K+	Green / Yellow	7,664,584	
10A.1012.S - CANOPIES	Whitco Roofing, Inc	Atlanta	GA	Maggie Rainey	(770) 644-0521	mrainey@whitcoroofing.com	No Bid		100K+	Yellow / Yellow	6,100,160	
10A.1014.S - SIGNAGE	APCO Graphics, Inc	Atlanta	GA	Sherry Beauvais	(404) 688-9000	sbeauvais@apcosigns.com	No Bid		100K+	Green / Yellow	7,091,000	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
10A.1014.S - SIGNAGE	BARTLETT PAIR	LOGANVILLE	GA	DEAN ROBINSON	(770) 554-3730	hdean.bartlettpair@gmail.com	No Bid		under 100K			
10A.1014.S - SIGNAGE	DENYSE SIGNS	DOUGLASVILLE	GA	Jason Wooten	(770) 942-0688	jwooten@denyseco.com	No Bid		under 100K			City of Atlanta Vendor ID ##2008-391; Other City of Atlanta Cert. #: WBENC 242611; GDOT Vendor ID #: 14834; NAICS Code(s): 237310;
10A.1014.S - SIGNAGE	HENRY GRAPHICS INC.	BUFORD	GA	Estimating	(770) 932-3222 (main)	bids@henrygraphics.com	No Bid		under 100K	Yellow / Yellow	615,697	
10A.1014.S - SIGNAGE	Parallax Digital Studios Inc	Kennesaw	GA	Tonya	(404) 307-6067	tonya@parallaxdigital.com	No Bid		under 100K			
10A.1014.S - SIGNAGE	Pinnacle 33 Signage Solutions, LLC	Conyers	GA	Denise Butler	(404) 254-5537	denise.butler@pinnacle33.com	No Bid		under 100K			
10A.1022.S - LOCKERS	Absolute Accessories and Partitions	Tucker	GA	Nick	(770) 449-8755	nick@absacc.com	No Bid		under 100K	Red / Red	104,400	
10A.1022.S - LOCKERS	Atlanta Bin & Shelving Corp	Norcross	GA	Mark Campbell	(404) 391-2423	mcampbell@atlantabin.com	No Bid		under 100K	Yellow /		
10A.1022.S - LOCKERS	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1022.S - LOCKERS	Georgia Institutional Furnishings	Peachtree City	GA	Debbie Frizzell	(770) 486-6431	dfrizzell@gainst.com	No Bid		100K+	Red / Red	108,380	
10A.1022.S - LOCKERS	H E HODGE CO INC	CUMMING	GA	Greg Hodge	(406) 993-2121	ghodge@hehodge.com	No Bid		under 100K	Yellow / Yellow	1,980,008	
10A.1022.S - LOCKERS	Lockers by Design	Sumter	SC	Horace Lee Scott Jr	(803) 773-7226 (main)	hlscoettjr@lockersbydesign.net	No Bid		under 100K	Yellow / Yellow	434,073	
10A.1022.S - LOCKERS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1024.S - FIRE EXT.& CABINETS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1024.S - FIRE EXT.& CABINETS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1030.S - OPERABLE PARTITIONS	Acousti Doors & Specialties, LLC	Kennesaw	GA	David Kirkland	(404) 355-1331	david@acoustids.com	No Bid		under 100K	Yellow / Yellow	1,610,842	
10A.1030.S - OPERABLE PARTITIONS	IN/EX Systems Inc.	Kennesaw	GA	Tom Daugherty	(678) 766-8201	tom@inexsystems.com	No Bid		under 100K	Yellow / Yellow	1,200,000	
10A.1030.S - OPERABLE PARTITIONS	South Eastern Acoustics, Inc.	Buford	GA	Amy Garrett	(678) 482-6448	amy@southea.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,415,595	
10A.1037.S - Demountable Partitions	Contract Business Interiors, Inc.	East Point	GA	Hassan Hagood	(404) 684-0800	hassan@contractbusinessinteriors.com	Bid	11/4/2021	under 100K	Red / Red	-555,817	City of Atlanta Vendor ID #800531; AABE Cert. #: 2012-263AABE; GDOT Vendor ID #: 12546; NAICS Code(s): 442110, 238390, 423210, 442291, 442210, 561740; Other Certification: GA Department of Transportation;
10A.1037.S - Demountable Partitions	Metro-Wall	Congers	NY	Ian MacGregor	(845) 282-9808	ian@metro-wall.com	Bid	11/4/2021	under 100K			
11A.1120.S - LAUNDRY EQUIP.	SOUTHEASTERN LAUNDRY EQUIPMENT SALES INC.	MARIETTA	GA	Jake Freeman	(404) 272-5985 (cell)	jake@selaundry.com	Bid	11/4/2021	under 100K	Yellow / Yellow	9,658,500	
11A.1128.S - PARK. CONTROL EQUIP	Access Security Parking Integrated Solutions (ASPIS)	Atlanta	GA	Allen Gulick	(404) 600-5298	alleng@aspisparking.com	No Bid		under 100K			
11A.1128.S - PARK. CONTROL EQUIP	CONTROLLED ACCESS INC.	MARIETTA	GA	JD Dodd	(770) 795-1919	jd.dodd@caisystems.com	No Bid		under 100K			
11A.1128.S - PARK. CONTROL EQUIP	ITR OF GEORGIA INC.	TUCKER	GA	PETE HOBBS	(404) 276-7286 (cell)	phobbs@itrps.com	No Bid		under 100K	Red / Red	-124,636	Other Certification: WBE 239521;
11A.1130.S - LOADING DOCK EQUIP.	Loading Dock Equipment Co, Inc.	Mechanicsville	VA	Wayne Overton	(804) 730-0955 (main)	wayne@loadingdockequip.com	No Bid		Pending			
11A.1130.S - LOADING DOCK EQUIP.	Loading Dock Supply LLC	Olympia	WA	Sales	(800) 741-1258 (main)	sales@loadingdocksupply.com	Bid	11/4/2021	Pending			
11A.1130.S - LOADING DOCK EQUIP.	Miner, Ltd.	San Antonio	TX	Jeremiah Gres	(407) 579-6070 (cell)	jeremiah.gress@minercorp.com	No Bid		under 100K			
11A.1130.S - LOADING DOCK EQUIP.	Overhead Door Co. of Atlanta, a DH Pace Co., Inc.	Peachtree Corners	GA	Gary Wright	(404) 872-3667	gary.wright@dhpac.com	Bid	11/4/2021	100K+	Green / Yellow	116,385,426	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
11A.1130.S - LOADING DOCK EQUIP.	SOUTHERN DOCK PRODUCTS	SUWANEE	GA	Kevin McCormick	(404) 275-0402	kevin.mccormick@southerndock.com	No Bid		under 100K			
11A.1130.S - LOADING DOCK EQUIP.	Translift Dock & Door LLC	Pelham	AL	Vernon Yawn	(205) 685-0600	vernon@transliftllc.com	No Bid		under 100K			
11A.1136.S - FOOD SERVICE EQUIP.	Edward Don & Company	Norcross	GA	Bill Watson	(770) 455-8844	watsonb@don.com	No Bid		under 100K		10,885,206	
11A.1136.S - FOOD SERVICE EQUIP.	Edward Don & Company	Norcross	GA	Bill Watson	(770) 455-8844	watsonb@don.com	No Bid		under 100K	Yellow /	10,885,206	
11A.1136.S - FOOD SERVICE EQUIP.	Norvell Fixture & Equipment Company	AUGUSTA	GA	Dana Caudill	(706) 855-7267	dana@norvellfixture.com	No Bid		under 100K	Yellow / Yellow	2,957,014	
11A.1136.S - FOOD SERVICE EQUIP.	The Boelter Companies, Inc.	Waukesha	WI	Russ Streett	(770) 767-5630	rstreett@boelter.com	Bid	11/4/2021	100K+	Yellow / Red	26,625,658	
11A.1136.S - FOOD SERVICE EQUIP.	TriMark Century Concepts, LLC	Peachtree Corners	GA	Andy Babb ext 5444	(615) 557-3528	andy.babb@trimarkusa.com	Bid	11/4/2021	under 100K			
11A.1138.S - RESIDENTIAL EQUIP.	Clayton Appliances, Inc.	Fayetteville	GA	Chris Flury	(770) 461-8331	fluryc0@yahoo.com	No Bid		under 100K			
11A.1146.S - MEDICAL EQUIP.	NYCOM, INC	MIDLOTHIAN	VA	Geoff Shealy	(678) 287-8922	gshealy@nycominc.com	Bid	11/4/2021	100K+	Yellow / Yellow	15,954,822	
11A.1146.S - MEDICAL EQUIP.	Olympus America Inc	Center Valley	PA	James Floyd	(800) 848-9024 (main)	james.floyd@olympus.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	Shor-line	Kansas City	KS	Mark Shea	(913) 281-1500 (main)	seterritory@shor-line.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	Snyder MFG. Co	Centennial	CO	Paul Floistad	(800) 756-0631 (main)	pfloistad@snydermfg.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	STERIS CORPORATION	MENDON	OH	Sales Development Department	(440) 354-2600 (main)	SalesDevelopment@steris.com	Bid	11/4/2021	Pending			
12A.1220.S - MANUF. CASEWORK	Carolina Coops	Clifton Springs	NY	Sales	(919) 794-3989 (main)	sales@carolinacoops.com	Bid	11/4/2021	Pending			
12A.1220.S - MANUF. CASEWORK	Georgia Institutional Furnishings	Peachtree City	GA	Debbie Frizzell	(770) 486-6431	dfrizzell@gainst.com	No Bid		100K+	Red / Red	108,380	
12A.1230.S - WINDOW TREATMENTS	American Sun Control	Alpharetta	GA	Charis Riddick	(770) 476-8602	criddick@american-sun-control.com	No Bid		under 100K			Other Certification: WEBENC - Women Owned;
12A.1230.S - WINDOW TREATMENTS	Blinds & Beyond	Jacksonville	NC	Larry Green	(910) 353-3313	estimating@blindsbeyond.com	No Bid		under 100K			
12A.1230.S - WINDOW TREATMENTS	CDM Atlanta Inc. D/B/A Georgia Blind Co.	Tyrone	GA	Michael Lennon	(770) 487-6041	mjlennon@gablind.com	Bid	11/4/2021	under 100K			
12A.1230.S - WINDOW TREATMENTS	Contract Windoware	Chamblee	GA	Warren Fogel	(770) 729-3985	warren@contractwindoware.com	No Bid		under 100K	Yellow / Yellow	1,519,956	Other Certification: WBENC;
12A.1230.S - WINDOW TREATMENTS	DCO Inc dba DCO Commercial Window Treatments	Lawrenceville	GA	Sean Harrison	(919) 346-0073	sharrison@dcocf.com	No Bid		100K+	Yellow / Yellow	14,100,308	
12A.1230.S - WINDOW TREATMENTS	Elrods Custom Drapery Workroom, INC	ATLANTA	AB	Casey Elrod	(770) 457-1151 (main)	caseym.elrodsatl@gmail.com	No Bid		under 100K			
12A.1230.S - WINDOW TREATMENTS	Marietta Drapery & Window Coverings Co. Inc.	Marietta	GA	Scott Kisselburg	(770) 431-0183	estimating@mariettadrapery.com	No Bid		100K+	Green / Yellow	11,249,656	
12A.1240.S - FURNITURE/ACCESSRS.	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	No Bid		100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
13A.1325.S - PRE-ENGD.STRUCTURES	MD Barnmaster	Ontario	CA	Pamela Watson		jvandoorn@mdbarnmaster.com	Bid	11/4/2021	Pending			
15A.1500.S - PLUMBING	Art Plumbing Company	Smyrna	GA	Jason McDaniel	(770) 433-3232	jason@artplumbing.com	No Bid		under 100K			
15A.1500.S - PLUMBING	Art Plumbing Company	Smyrna	GA	Jason McDaniel	(770) 433-3232	jason@artplumbing.com	No Bid		under 100K	Yellow /		
15A.1500.S - PLUMBING	FitzGerald & Sons Plumbing Co	Peachtree City	GA	John Zeppa	(770) 487-8714	j.zeppa@fitzplumb.com	Bid	11/4/2021	100K+	Green / Yellow	6,117,476	

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15A.1500.S - PLUMBING	McKenney's, Inc.	Atlanta	GA	ITBs	(404) 624-8600 (main)	Preconstruction@mckenneys.com.	No Bid		100K+	Green / Green	162,132,000	
15A.1500.S - PLUMBING	Polk County Public Service, Inc.	Cedartown	GA	Danny Smith	(770) 748-9038	danny@pcpscompany.com	Bid	11/4/2021	under 100K	Yellow / Yellow	4,485,966	
15A.1500.S - PLUMBING	RAW Plumbing and HVAC Services LLC	Douglasville	GA	Demetric Holland	(678) 571-3826	RawplumbingDH@gmail.com	Bid	11/4/2021	100K+	Red / Red	-66,358	City of Atlanta Vendor ID #1200885; AABE Cert. #: 2015-220AABE; GDOT Vendor ID #: 13472; NAICS Code(s): 238220; Other Certification: MBE # 2015-0512 DBE# 13472;
15A.1500.S - PLUMBING	Tebarco Mechanical Corporation	Alpharetta	GA	Tony Adams	(770) 475-5552	tadams@tebarco.com	Bid	11/4/2021	100K+	Green / Yellow	14,604,007	
15B.1525.S - HVAC SYSTEMS	5 Seasons Mechanical, LLC	Peachtree Corners	GA	Mohamed Zouari	(770) 727-5000	bids@fiveseasonsmechanical.com	Bid	11/4/2021	under 100K	Yellow / Yellow	1,536,768	City of Atlanta Vendor ID #1401053; SBE Cert #: 2015-1335BE; Other City of Atlanta Cert. #: MBE, DBE, LSBE, 8(a); GDOT Vendor ID #: 13196; NAICS Code(s): 238220, 561790; Other Certification: MBE/NAICS Code: 238220/ Certificate AT02689. DBE Vendor Id is 131196, 8A, LSBE, SBE;
15B.1525.S - HVAC SYSTEMS	Conditioned Air Systems Inc.	Gainesville	GA	Estimating	(770) 536-7509	bids@conditionedairsystems.com	No Bid		100K+	Yellow / Yellow	11,085,538	
15B.1525.S - HVAC SYSTEMS	Ivey Mechanical Company LLC (IV)	Tucker	GA	Stuart Scruggs	(404) 297-6515	stuart.scruggs@iveymechanical.com	No Bid		100K+	Green / Yellow	43,448,602	
15B.1525.S - HVAC SYSTEMS	Lanier HVAC Services LLC	Gainesville	GA	Matt Magnus	(678) 943-1351	Matt@Lanier-HVAC.net	Bid	11/4/2021	under 100K	Yellow / Yellow	4,614,778	
15B.1525.S - HVAC SYSTEMS	McKenney's, Inc.	Atlanta	GA	ITBs	(404) 624-8600 (main)	Preconstruction@mckenneys.com.	No Bid		100K+	Green / Green	162,132,000	
15B.1525.S - HVAC SYSTEMS	Paulson-Cheek Mechanical, Inc.	Norcross	GA	Taylor Cheek	(770) 375-1972 (cell)	tcheek@paulsoncheek.com	Bid	11/4/2021	100K+	Green / Yellow	15,499,103	
15B.1525.S - HVAC SYSTEMS	Shumate Mechanical LLC	Duluth	GA	Michael Matia	(678) 584-0880	mmatia@shumatemech.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,624,680	City of Atlanta Vendor ID #1008589; FBE Cert. #: 2015-083FBE; Other Certification: WBENC: WBE Certificate 2005111240 exp 09/30/21;
15B.1525.S - HVAC SYSTEMS	Tebarco Mechanical Corporation	Alpharetta	GA	Tony Adams	(770) 475-5552	tadams@tebarco.com	No Bid		100K+	Green / Yellow	14,604,007	
15C.1560.S - FIRE PROTECTION	Alliance Fire Protection Services, Inc.	Loganville	GA	Janice Walters	(770) 554-5004	sales@alliancefire.com	No Bid		under 100K	Yellow / Yellow	2,906,006	City of Atlanta Vendor ID #1; FBE Cert. #: 2014-126FBE; Other City of Atlanta Cert. #: 2005110148-WBENC; Fulton Co. Vendor ID #: VS00000-21030;
15C.1560.S - FIRE PROTECTION	Amber Fire Protection Inc.	Lawrenceville	GA	Robert Hozman	(404) 358-4352 (cell)	robert@amberfireprotection.com	No Bid		100K+	Yellow / Yellow	2,050,000	
15C.1560.S - FIRE PROTECTION	Century Fire Protection LLC - GA	Duluth	GA	Chris Corders	(770) 945-2330	ccorders@centuryfp.com	Bid	11/4/2021	100K+	Green / Yellow	45,832,296	
15C.1560.S - FIRE PROTECTION	Fire Sprinkler of Atlanta, LLC	Norcross	GA	Aaron Schneider	(404) 934-0222 (cell)	aarons@firesprinklerofatl.com	Bid	11/4/2021	100K+	Yellow / Red	124,736	
15C.1560.S - FIRE PROTECTION	Gainesville Fire Protection	Gainesville	GA	Jonathan Boldt	(770) 534-3575	jonathan@gainesvillefire.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,650,422	
15C.1560.S - FIRE PROTECTION	Palmetto Automatic Sprinkler Co., Inc.	Covington	GA	Rick Mill	(678) 342-9499	rmill@pasco-inc.com	No Bid		100K+	Yellow / Yellow	18,185,019	
16A.1600.S - ELECTRICAL SYSTEMS	5 Points Electrical	Norcross	GA	Samuel Bushay	(404) 452-1570 (cell)	sbushay@5pointselectrical.com	Bid	11/4/2021	100K+	Yellow / Yellow	992,586	Other Certification: GMSDC;
16A.1600.S - ELECTRICAL SYSTEMS	All-State Electrical Contractors, LLC	Macon	GA	Jacob Patton	(478) 788-7486	jpatton@allstateelec.com	Bid	11/4/2021	100K+	Green / Yellow	13,517,086	
16A.1600.S - ELECTRICAL SYSTEMS	Dean Electric Company, Inc.	Fairburn	GA	David Dean	(404) 799-1234	ddean@deanelectricco.com	No Bid		under 100K	Yellow / Yellow	2,864,108	
16A.1600.S - ELECTRICAL SYSTEMS	Dixie Electric Company	Cumming	GA	Brian Rusie	(770) 663-8440	brusie@dixieelectric.net	Bid	11/4/2021	100K+	Green / Yellow	3,452,010	City of Atlanta Vendor ID #903362; FBE Cert. #: 2015-084FBE; GDOT Vendor ID #: 2DI534; NAICS Code(s): 238210;
16A.1600.S - ELECTRICAL SYSTEMS	J & I Cordon Electric LLC	Lawrenceville	GA	Joshua Christopher	(404) 980-4965	josh@cordonelectric.com	Bid	11/4/2021	100K+	Red / Red	-1,443,555	City of Atlanta Vendor ID #2101130; HABA Cert. #: 2021-100HABE; SBE Cert #: 2021-105SBE; Other City of Atlanta Cert. #: MBE-AT16032; GDOT Vendor ID #: 17259; NAICS Code(s): 238210;
16A.1600.S - ELECTRICAL SYSTEMS	Mr Dee's Electric Service LLC	Rex	GA	Dekkerri Lunsford	(770) 500-4469	dekkerri@mrdeeselectric.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #14640041; AABE Cert. #: 2013-403AABE; GDOT Vendor ID #: 2013-1209;
16A.1600.S - ELECTRICAL SYSTEMS	Southern Lighting Source	Atlanta	GA	Cody Nichols	(770) 242-4000	cnichols@southernlightingsource.com	No Bid		under 100K			
16A.1600.S - ELECTRICAL SYSTEMS	Whitehead Electric Company	Mableton	GA	Bill Plotner	(678) 553-1308	bplotner@whiteheadelectric.com	Bid	11/4/2021	100K+	Green / Yellow	9,622,962	

Section 10 – Disclosure Form and Questionnaire

It is the policy of Fulton County to review the history of litigation of each Proposer that includes bankruptcy history, insolvency history, civil and criminal proceedings, judgments and termination for cause in order to determine whether a firm’s business practices, legal practices and overall reputation in the industry is one that would be acceptable to perform work for Fulton County. The Disclosure Form and Questionnaire is provided in Section 5, Proposal Forms, Form C.

Section 11 – Safety Qualifications

1. List your firm’s Incidence Rate for injuries and illnesses and numbered lost workdays for the three most recent years.

	Year	Incidence Rates	Lost Workdays	Cumulative hours worked
2018	2016	0.56	0	718,844
2019	2017	0	0	534,787
2020	2018	0	0	499,730

2. List your firm’s Insurance Experience Modification Factors/Rates for the three most recent years.

	Year	Insurance Modification Factors/Rates
2018	2016	0.87
2019	2017	0.74
2020	2018	0.76

3. Number of Injuries and Illnesses: (From the prior year OSHA 200/300 Log)

Number of lost workday cases	0
Number of restricted workday cases	0
Number of cases with medical attention only	2
Number of fatalities	0

4. Tell us about the following, and provide a brief example/explanation of each:

	Yes	No
Do you have a written Safety and Health Program?	X	
Do you have an Orientation Program for new hires?	X	
Do you have a Hazard Communication Program?	X	
Do you hold Toolbox safety meetings?	X	
Do you conduct and document project safety and health audits/inspections?	X	
In the previous three (3) years, has your firm been cited for serious state or federal safety and health violations? (As defined by OSHA). If yes, please provide a detailed explanation.		X

EXHIBIT I

CONTRACT SCHEDULE

EXHIBIT |
CONTRACT SCHEDULE

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
Fulton County Animal Services Facility						Fulton County Animal Services																					
PRE AWARD						PRE AWARD																					
PA1060	GMP Approved (BOC Meeting)	0d	0d		15-Dec-21	◆ GMP Approved (BOC Meeting)																					
PA1010	Notice to Proceed	0d	0d		02-Jan-22	◆ Notice to Proceed																					
PA1120	Start Construction	0d	0d	28-Apr-22		◆ Start Construction																					
DESIGN/PRICING						DESIGN/PRICING																					
CONSTRUCTION DOCUMENTS						CONSTRUCTION DOCUMENTS																					
FINAL CONSTRUCTION DOCUMENTS						FINAL CONSTRUCTION DOCUMENTS																					
CD-6660	Owner Review & Approval of GMP	10d	10d	30-Nov-21	13-Dec-21	□ Owner Review & Approval of GMP																					
PERMITTING						PERMITTING																					
CD-6650	Land Disturbance Permit	60d	0d	17-Sep-21 A	30-Nov-21	□ Land Disturbance Permit																					
CD-6680	EPD Approval	25d	25d	30-Nov-21	05-Jan-22	□ EPD Approval																					
CD-6640	Building Permit	40d	40d	30-Nov-21	27-Jan-22	□ Building Permit																					
A2000	Health Department Permit	45d	45d	30-Nov-21	03-Feb-22	□ Health Department Permit																					
A2160	Fulton Industrial Lane Closure Permit (Utility Tie-I...	50d	50d	10-Jan-22	21-Mar-22	□ Fulton Industrial Lane Closure Permit (Utility Tie-In) - COA &GDOT																					
MILESTONES						MILESTONES																					
CONSTRUCTION MILESTONES						CONSTRUCTION MILESTONES																					
MI1150	Mobilization	0d	0d	28-Apr-22		◆ Mobilization																					
MI1130	Building Pad Ready	0d	0d		29-Jul-22	◆ Building Pad Ready																					
MI1080	Permanent Power	0d	0d		22-Feb-23	◆ Permanent Power																					
MI1040	Final Building Inspection	0d	0d		29-Jun-23	◆ Final Building Inspection																					
MI1050	Certificate of Occupancy	0d	0d		30-Jun-23	◆ Certificate of Occupancy																					
MI1030	Contract Substantial Completion	0d	0d		30-Jun-23	◆ Contract Substantial Completion																					
MI1200	Calculated Substantial Completion	0d	0d		30-Jun-23	◆ Calculated Substantial Completion																					
MI1140	Final Completion	0d	0d		09-Aug-23	◆ Final Completion																					
MI1070	Punchlist Complete	0d	0d		09-Aug-23	◆ Punchlist Complete																					
Top Out						Top Out																					
MI1170	Top Out - Sector A & B	0d	0d		10-Feb-23	◆ Top Out - Sector A & B																					
MI1120	Top Out - Sector C & D	0d	0d		12-Apr-23	◆ Top Out - Sector C & D																					
Roof Dry-In						Roof Dry-In																					
MI1180	Roof Dry-In - Sector A &B	0d	0d		07-Mar-23	◆ Roof Dry-In - Sector A &B																					
MI1110	Roof Dry In - Sector C & D	0d	0d		26-Apr-23	◆ Roof Dry In - Sector C & D																					
Building Dry-In						Building Dry-In																					
MI1190	Building Dry In - Sector A & B	0d	0d		14-Mar-23	◆ Building Dry In - Sector A & B																					
MI1100	Building Dry In - Sector C & D	0d	0d		26-Apr-23	◆ Building Dry In - Sector C & D																					
Conditioned Air						Conditioned Air																					
MI1090	Conditioned Air - Sector A & B	0d	0d		08-Mar-23	◆ Conditioned Air - Sector A & B																					
MI1160	Conditioned Air - Sector C & D	0d	0d		02-May-23	◆ Conditioned Air - Sector C & D																					
OWNER MILESTONES						OWNER MILESTONES																					
CD-6670	FAA Approval	90d	90d	15-Nov-21 A	07-Apr-22	□ FAA Approval																					
OM1180	Water Meter Install	5d	5d	29-Aug-22	02-Sep-22	□ Water Meter Install																					
OM1160	Transformer Set	0d	0d		20-Sep-22	◆ Transformer Set																					
OM1170	Gas Meter Installed	0d	0d		02-Feb-23	◆ Gas Meter Installed																					

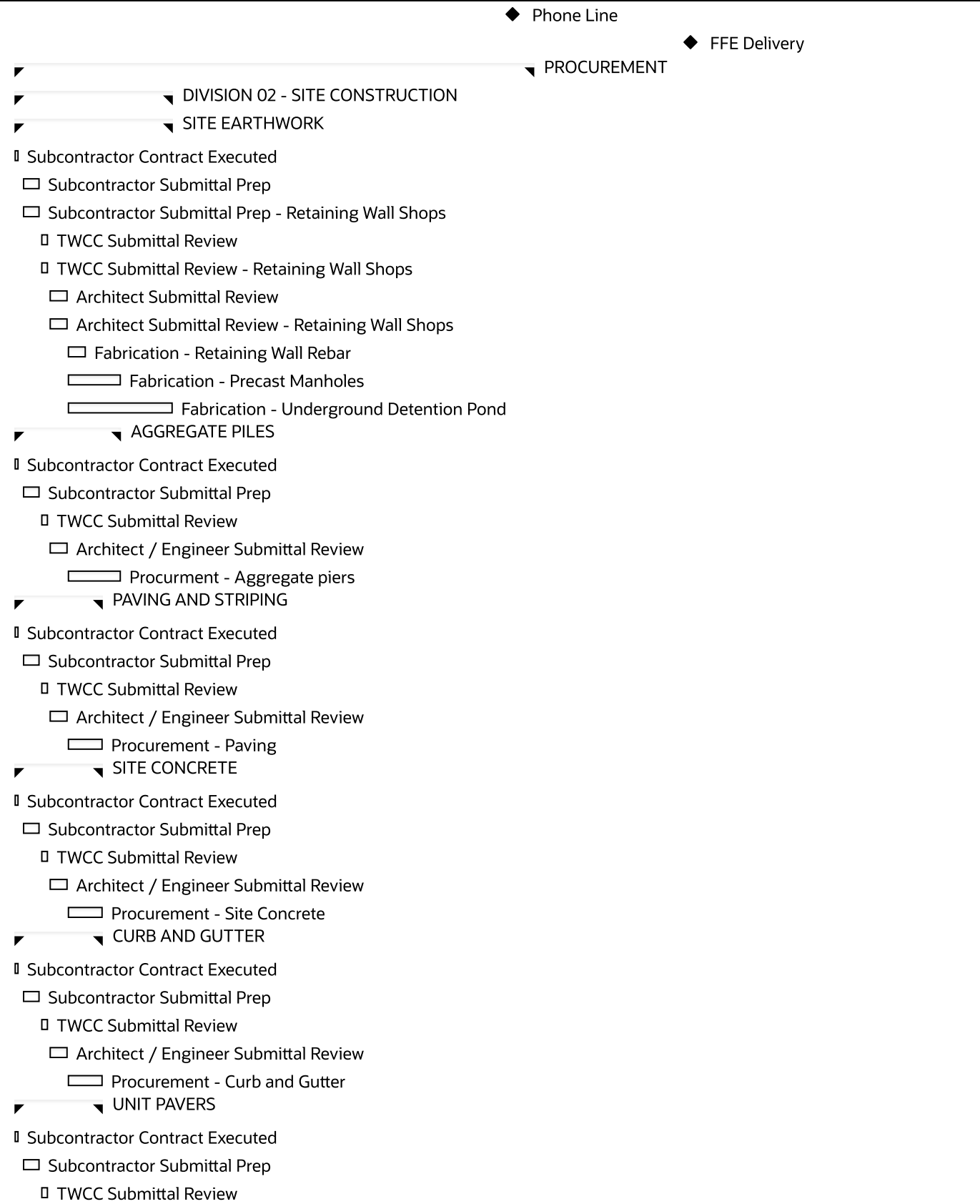
Current
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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024										
						Q4		Q1			Q2		Q3		Q4		Q1			Q2		Q3		Q4		Q1		
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
OM1140	Phone Line	0d	0d		08-Feb-23																							
OM1150	FFE Delivery	0d	0d		30-Jun-23																							
PROCUREMENT		294d	294d	03-Jan-22	24-Feb-23																							
DIVISION 02 - SITE CONSTRUCTION		90d	90d	03-Jan-22	09-May-22																							
SITE EARTHWORK		90d	90d	03-Jan-22	09-May-22																							
PROC1900	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC1840	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2360	Subcontractor Submittal Prep - Retaining Wall Shops	10d	10d	10-Jan-22	24-Jan-22																							
PROC1850	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							
PROC2370	TWCC Submittal Review - Retaining Wall Shops	5d	5d	25-Jan-22	31-Jan-22																							
PROC1860	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22																							
PROC2380	Architect Submittal Review - Retaining Wall Shops	10d	10d	01-Feb-22	14-Feb-22																							
PROC2390	Fabrication - Retaining Wall Rebar	10d	10d	15-Feb-22	28-Feb-22																							
PROC2350	Fabrication - Precast Manholes	30d	30d	15-Feb-22	28-Mar-22																							
PROC1870	Fabrication - Underground Detention Pond	60d	60d	15-Feb-22	09-May-22																							
AGGREGATE PILES		60d	60d	03-Jan-22	28-Mar-22																							
PROC2700	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC2710	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2730	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							
PROC2750	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																							
PROC2770	Procurment - Aggregate piers	30d	30d	15-Feb-22	28-Mar-22																							
PAVING AND STRIPING		50d	50d	03-Jan-22	14-Mar-22																							
PROC2780	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC2790	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2800	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							
PROC2810	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																							
PROC2820	Procurement - Paving	20d	20d	15-Feb-22	14-Mar-22																							
SITE CONCRETE		50d	50d	03-Jan-22	14-Mar-22																							
PROC2830	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC2840	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2850	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							
PROC2860	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																							
PROC2870	Procurement - Site Concrete	20d	20d	15-Feb-22	14-Mar-22																							
CURB AND GUTTER		50d	50d	03-Jan-22	14-Mar-22																							
PROC2880	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC2890	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2900	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							
PROC2910	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																							
PROC2920	Procurement - Curb and Gutter	20d	20d	15-Feb-22	14-Mar-22																							
UNIT PAVERS		50d	50d	03-Jan-22	14-Mar-22																							
PROC2930	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																							
PROC2940	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																							
PROC2950	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																							



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CONSTRUCTION SCHEDULE
Fulton County Animal Services Facility
THE WINTER CONSTRUCTION COMPANY



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11/30/2021

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
PROC2960	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																					
PROC2970	Procurement - Unit Pavers	20d	20d	15-Feb-22	14-Mar-22	<input type="checkbox"/> Procurement - Unit Pavers																					
FENCES AND GATES		70d	70d	03-Jan-22	11-Apr-22	▾ FENCES AND GATES																					
PROC2980	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC2990	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC3000	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC3010	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																					
PROC3020	Fabrication - Fencing and Gates	40d	40d	15-Feb-22	11-Apr-22	<input type="checkbox"/> Fabrication - Fencing and Gates																					
LANDSCAPING		50d	50d	03-Jan-22	14-Mar-22	▾ LANDSCAPING																					
PROC3030	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC3040	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC3050	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC3060	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																					
PROC3070	Procurement - Landscaping	20d	20d	15-Feb-22	14-Mar-22	<input type="checkbox"/> Procurement - Landscaping																					
DIVISION 03 - CONCRETE		70d	70d	03-Jan-22	11-Apr-22	▾ DIVISION 03 - CONCRETE																					
PROC1910	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC1120	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC1130	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC1140	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	<input type="checkbox"/> Architect Submittal Review																					
PROC1150	Rebar Fabrication	30d	30d	01-Mar-22	11-Apr-22	<input type="checkbox"/> Rebar Fabrication																					
DIVISION 04 - MASONRY		110d	110d	03-Jan-22	07-Jun-22	▾ DIVISION 04 - MASONRY																					
PROC1920	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC1160	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC1170	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC1180	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect Submittal Review																					
PROC1190	Fabrication - 16 Weeks for Ground Face 8 for Reg	80d	80d	15-Feb-22	07-Jun-22	<input type="checkbox"/> Fabrication - 16 Weeks for Ground Face 8 for Reg																					
DIVISION 05 - STEEL		226d	226d	03-Jan-22	18-Nov-22	▾ DIVISION 05 - STEEL																					
PROC1930	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC1200	Subcontractor Submittal Prep	25d	25d	10-Jan-22	14-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC1210	TWCC Submittal Review	5d	5d	15-Feb-22	21-Feb-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC1220	Architect Submittal Review	10d	10d	22-Feb-22	07-Mar-22	<input type="checkbox"/> Architect Submittal Review																					
PROC1880	Redetailing	10d	10d	08-Mar-22	21-Mar-22	<input type="checkbox"/> Redetailing																					
PROC1570	Anchor Bolt Fabrication	20d	20d	08-Mar-22	04-Apr-22	<input type="checkbox"/> Anchor Bolt Fabrication																					
PROC1560	Steel Fabrication	60d	60d	22-Mar-22	14-Jun-22	<input type="checkbox"/> Steel Fabrication																					
PROC1230	Steel Joist Fabrication	170d	170d	22-Mar-22	18-Nov-22	<input type="checkbox"/> Steel Joist Fabrication																					
DIVISION 06 - WOOD, PLASTICS & COMPOSITES		90d	90d	03-Jan-22	09-May-22	▾ DIVISION 06 - WOOD, PLASTICS & COMPOSITES																					
PROC1940	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																					
PROC1240	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																					
PROC1250	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	<input type="checkbox"/> TWCC Submittal Review																					
PROC1260	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	<input type="checkbox"/> Architect Submittal Review																					
PROC2270	Fabrication - Quartz 6 wks	30d	30d	01-Mar-22	11-Apr-22	<input type="checkbox"/> Fabrication - Quartz 6 wks																					
PROC1270	Fabrication - Millwork - 10 wks	50d	50d	01-Mar-22	09-May-22	<input type="checkbox"/> Fabrication - Millwork - 10 wks																					
DIVISION 07 - THERMAL & MOISTURE PROTECTION		294d	294d	03-Jan-22	24-Feb-23	▾ DIVISION 07 - THERMAL & MOISTURE PROTECTION																					

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CONSTRUCTION SCHEDULE
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ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4					
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
ROOFING - PVC						ROOFING - PVC																					
PROC1950	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC1280	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC1290	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC1300	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2250	Fabrication - Coping 8 Weeks	40d	40d	15-Feb-22	11-Apr-22	▢ Fabrication - Coping 8 Weeks																					
PROC2240	Fabrication - TPO & Fasteners - 26 Weeks	130d	130d	15-Feb-22	18-Aug-22	▢ Fabrication - TPO & Fasteners - 26 Weeks																					
PROC1310	Fabrication - Poly Insulation 52 Weeks	260d	260d	15-Feb-22	24-Feb-23	▢ Fabrication - Poly Insulation 52 Weeks																					
WATERPROOFING						WATERPROOFING																					
PROC2400	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2410	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC2420	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC2430	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2440	Procurment - Waterproofing	20d	20d	15-Feb-22	14-Mar-22	▢ Procurment - Waterproofing																					
PROC2280	Fabrication - Expansion Joints	42d	42d	15-Feb-22	13-Apr-22	▢ Fabrication - Expansion Joints																					
METAL ROOF AND WALL PANELS						METAL ROOF AND WALL PANELS																					
PROC2530	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2540	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC2550	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC2560	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2570	Fabrication - Metal Panels	42d	42d	15-Feb-22	13-Apr-22	▢ Fabrication - Metal Panels																					
DIVISION 08 - OPENINGS						DIVISION 08 - OPENINGS																					
GLASS AND GLAZING						GLASS AND GLAZING																					
PROC2450	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2460	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC2470	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC2480	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review																					
PROC1350	Fabrication - Storefront and Curtainwall	112d	112d	01-Mar-22	08-Aug-22	▢ Fabrication - Storefront and Curtainwall																					
PROC3080	Fabrication - Glass	112d	112d	01-Mar-22	08-Aug-22	▢ Fabrication - Glass																					
DOORS, FRAMES AND HARDWARE						DOORS, FRAMES AND HARDWARE																					
PROC1960	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC1320	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC1330	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC1340	Architect Submittal Review - Doors and Hardware	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review - Doors and Hardware																					
PROC2330	Architect Submittal Review - Frames	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review - Frames																					
PROC2300	Fabrication - Doors and Hardware	80d	80d	01-Mar-22	22-Jun-22	▢ Fabrication - Doors and Hardware																					
PROC2340	Fabrication - Frames	80d	80d	01-Mar-22	22-Jun-22	▢ Fabrication - Frames																					
OVERHEAD COILING DOORS						OVERHEAD COILING DOORS																					
PROC2490	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2500	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC2510	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC2520	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review																					
PROC2260	Fabrication - OH Doors - 30 Weeks	150d	150d	01-Mar-22	30-Sep-22	▢ Fabrication - OH Doors - 30 Weeks																					

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1			Q2		Q3			Q4		Q1			Q2		Q3		Q4		Q1
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
DIVISION 09 - FINISHES						▼ DIVISION 09 - FINISHES																					
PROC1970	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1360	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1370	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1380	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
DRYWALL AND ACT						▼ DRYWALL AND ACT																					
PROC2310	Fabrication - Studs 4 wks, ACT 8 wks	52d	52d	15-Feb-22	27-Apr-22	▣ Fabrication - Studs 4 wks, ACT 8 wks																					
TILE, FLOORING AND BASE						▼ TILE, FLOORING AND BASE																					
PROC2320	Fabrication - Tile and Flooring	84d	84d	15-Feb-22	13-Jun-22	▣ Fabrication - Tile and Flooring																					
PAINT AND SPECIAL COATINGS						▼ PAINT AND SPECIAL COATINGS																					
PROC1390	Fabrication - Paint 8 wks, Acoustic Panels 8 wks	52d	52d	15-Feb-22	27-Apr-22	▣ Fabrication - Paint 8 wks, Acoustic Panels 8 wks																					
DIVISION 10 - SPECIALTIES						▼ DIVISION 10 - SPECIALTIES																					
PROC1980	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1400	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1410	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1420	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC1430	Fabrication - Vet Specialties - Nycom - 30 wks	150d	150d	15-Feb-22	16-Sep-22	▣ Fabrication - Vet Specialties - Nycom - 30 wks																					
TOILET PARTITIONS, ACCESSORIES AND FECS						▼ TOILET PARTITIONS, ACCESSORIES AND FECS																					
PROC2580	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC2590	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC2600	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC2610	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC2640	Fabrication - Fire Extinguishers and Cabinets	30d	30d	15-Feb-22	28-Mar-22	▣ Fabrication - Fire Extinguishers and Cabinets																					
PROC2630	Fabrication - Toilet Accessories	60d	60d	15-Feb-22	09-May-22	▣ Fabrication - Toilet Accessories																					
PROC2620	Fabrication - Toilet Partitions	60d	60d	15-Feb-22	09-May-22	▣ Fabrication - Toilet Partitions																					
WALL PROTECTION AND CORNER GUARDS						▼ WALL PROTECTION AND CORNER GUARDS																					
PROC2650	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC2660	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC2670	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC2680	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC2690	Procurement - Wall protection and corner guards	60d	60d	15-Feb-22	09-May-22	▣ Procurement - Wall protection and corner guards																					
DIVISION 11 - EQUIPMENT						▼ DIVISION 11 - EQUIPMENT																					
PROC1990	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1440	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1450	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1460	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC1470	Fabrication	30d	30d	15-Feb-22	28-Mar-22	▣ Fabrication																					
PROC1520	Fabrication - Freezer	70d	70d	15-Feb-22	23-May-22	▣ Fabrication - Freezer																					
DIVISION 12 - FURNISHING						▼ DIVISION 12 - FURNISHING																					
PROC2000	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1480	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1490	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1500	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					

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CONSTRUCTION SCHEDULE
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LATITUDE
11/30/2021

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021												2022												2023												2024											
						Q4			Q1			Q2			Q3			Q4			Q1			Q2			Q3			Q4			Q1																				
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr																		
PROC1510	Fabrication	30d	30d	15-Feb-22	28-Mar-22	<div style="display: flex; justify-content: space-between;"> ▬ Fabrication ▬ DIVISION 13 - PRE-FAB BARN </div> <ul style="list-style-type: none"> ▫ Subcontractor Contract Executed ▫ Subcontractor Submittal Prep ▫ TWCC Submittal Review ▫ Architect Submittal Review 																																															
DIVISION 13 - PRE-FAB BARN		60d	60d	03-Jan-22	28-Mar-22																																																
PROC2150	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																																																
PROC2160	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																																																
PROC2170	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																																																
PROC2180	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22																																																
PROC2190	Fabrication	30d	30d	15-Feb-22	28-Mar-22																																																
DIVISION 21- FIRE PROTECTION		75d	75d	03-Jan-22	18-Apr-22	<div style="display: flex; justify-content: space-between;"> ▬ Fabrication ▬ DIVISION 21- FIRE PROTECTION </div> <ul style="list-style-type: none"> ▫ Subcontractor Contract Executed ▫ Subcontractor Submittal Prep ▫ TWCC Submittal Review ▫ Architect Submittal Review ▫ Fire Marshall Review 																																															
PROC2030	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																																																
PROC1600	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22																																																
PROC1610	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22																																																
PROC1620	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22																																																
PROC2090	Fire Marshall Review	20d	20d	08-Feb-22	07-Mar-22																																																
PROC1630	Fabrication	30d	30d	08-Mar-22	18-Apr-22																																																
DIVISION 22 - PLUMBING		91d	91d	03-Jan-22	10-May-22	<div style="display: flex; justify-content: space-between;"> ▬ Fabrication ▬ DIVISION 22 - PLUMBING </div> <ul style="list-style-type: none"> ▫ Subcontractor Contract Executed ▫ Subcontractor Submittal Prep ▫ TWCC Submittal Review ▫ Architect Submittal Review ▫ Fabrication and Fixtures 																																															
PROC2040	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																																																
PROC1640	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22																																																
PROC1650	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22																																																
PROC1660	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22																																																
PROC1670	Fabrication and Fixtures	56d	56d	22-Feb-22	10-May-22																																																
DIVISION 23 - MECHANICAL		156d	156d	03-Jan-22	11-Aug-22	<div style="display: flex; justify-content: space-between;"> ▬ Fabrication and Fixtures ▬ DIVISION 23 - MECHANICAL </div> <ul style="list-style-type: none"> ▫ Subcontractor Contract Executed ▫ Subcontractor Submittal Prep ▫ TWCC Submittal Review ▫ Architect Submittal Review ▫ Equipment - VFDs, VAVs, Fans, Louvers, Heater, Split systems etc. ▫ Fabrication - Ductwork ▫ Equipment - Multi-stack Chiller ▫ Equipment - AHUs, DOAS and ERVs 																																															
PROC2050	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																																																
PROC1680	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22																																																
PROC1690	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22																																																
PROC1700	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22																																																
PROC3100	Equipment - VFDs, VAVs, Fans, Louvers, Heater, S...	30d	30d	01-Mar-22	11-Apr-22																																																
PROC1710	Fabrication - Ductwork	70d	70d	01-Mar-22	07-Jun-22																																																
PROC3090	Equipment - Multi-stack Chiller	100d	100d	01-Mar-22	21-Jul-22																																																
PROC2230	Equipment - AHUs, DOAS and ERVs	115d	115d	01-Mar-22	11-Aug-22																																																
DIVISION 26 - ELECTRICAL		267d	267d	03-Jan-22	18-Jan-23	<div style="display: flex; justify-content: space-between;"> ▬ Equipment - AHUs, DOAS and ERVs ▬ DIVISION 26 - ELECTRICAL </div> <ul style="list-style-type: none"> ▫ Subcontractor Contract Executed ▫ Subcontractor Submittal Prep ▫ TWCC Submittal Review ▫ Architect Submittal Review ▫ Lighting ▫ Fabrication ▫ Gear - Switchboards, Panels and Transformers ▫ Generator Fab and Deliver 																																															
PROC2060	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																																																
PROC1720	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22																																																
PROC1730	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22																																																
PROC1740	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22																																																
PROC2220	Lighting	70d	70d	22-Feb-22	31-May-22																																																
PROC1750	Fabrication	80d	80d	22-Feb-22	14-Jun-22																																																
PROC2210	Gear - Switchboards, Panels and Transformers	175d	175d	22-Feb-22	28-Oct-22																																																
PROC2200	Generator Fab and Deliver	228d	228d	22-Feb-22	18-Jan-23																																																
CONSTRUCTION		329d	329d	28-Apr-22	09-Aug-23	<div style="display: flex; justify-content: space-between;"> ▬ CONSTRUCTION ▬ CONSTRUCTION </div>																																															
SITework		285d	285d	28-Apr-22	07-Jun-23	<div style="display: flex; justify-content: space-between;"> ▬ SITework ▬ SITework </div>																																															
EARTHWORK		208d	208d	28-Apr-22	20-Feb-23	<div style="display: flex; justify-content: space-between;"> ▬ EARTHWORK ▬ EARTHWORK </div>																																															
A1100	Mobilization & Initial Erosion Control (Includes 7 D...	10d	10d	28-Apr-22	11-May-22	<ul style="list-style-type: none"> ▫ Mobilization & Initial Erosion Control (Includes 7 Day Inspection) 																																															
A2140	Water Main Tie-In (Boring)	10d	10d	28-Apr-22	11-May-22	<ul style="list-style-type: none"> ▫ Water Main Tie-In (Boring) 																																															

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ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024											
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1					
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct
C-SKN-180	Exterior Kennel CMU	5d	5d	04-May-23	11-May-23																								
C-SKN-190	Metal Canopy	5d	5d	11-May-23	18-May-23																								
INTERIORS																													
SECTOR B																													
B-INT-100	Mech Rough-In - Overhead	7d	7d	30-Dec-22	11-Jan-23																								
B-INT-110	Elec Rough-In - Overhead	7d	7d	05-Jan-23	17-Jan-23																								
B-INT-120	Plumb Rough-In - Overhead	7d	7d	05-Jan-23	17-Jan-23																								
B-INT-130	Fire S. Rough-In - Overhead	7d	7d	05-Jan-23	17-Jan-23																								
B-INT-220	Mechanical Room Build-Out - OH Rough	10d	10d	25-Jan-23	08-Feb-23																								
B-INT-140	Interior Framing	10d	10d	25-Jan-23	08-Feb-23																								
B-INT-150	Plumbing Wall Rough	6d	6d	31-Jan-23	08-Feb-23																								
B-INT-160	Elec Wall Rough	6d	6d	31-Jan-23	08-Feb-23																								
B-INT-270	Mechanical Room Build-Out - Set Equipment	5d	5d	08-Feb-23	15-Feb-23																								
B-INT-170	MEP Wall Cover Inspection	5d	5d	08-Feb-23	15-Feb-23																								
B-INT-180	Hard Ceiling Framing	5d	5d	08-Feb-23	15-Feb-23																								
B-INT-210	Electrical Room Build Out	20d	20d	25-Jan-23	22-Feb-23																								
B-INT-190	Hard Ceiling Rough Ins	5d	5d	15-Feb-23	22-Feb-23																								
B-INT-230	Drywall Hang/Tape/Finish	8d	8d	15-Feb-23	27-Feb-23																								
B-INT-310	Mechanical Unit Start-Up	5d	5d	22-Feb-23	01-Mar-23																								
B-INT-200	Hard Ceiling Inspections	5d	5d	22-Feb-23	01-Mar-23																								
B-INT-290	Mechanical Room Build-Out - Connect Equipment	15d	15d	15-Feb-23	08-Mar-23																								
B-INT-260	Hard Ceiling H/T/F	5d	5d	01-Mar-23	08-Mar-23																								
B-INT-240	Freezer	10d	10d	27-Feb-23	13-Mar-23																								
B-INT-250	Wall Tile	10d	10d	27-Feb-23	13-Mar-23																								
B-INT-280	Prime and First Coat	10d	10d	08-Mar-23	22-Mar-23																								
B-INT-320	Paint - Final Coat	5d	5d	22-Mar-23	29-Mar-23																								
B-INT-300	Flooring - Resinous	15d	15d	13-Mar-23	03-Apr-23																								
B-INT-330	ACT Grid	5d	5d	29-Mar-23	05-Apr-23																								
B-INT-340	MEPF to Grid (breakout)	5d	5d	05-Apr-23	12-Apr-23																								
B-INT-350	Cover Up ACT Inspections	3d	3d	12-Apr-23	17-Apr-23																								
B-INT-360	Acoustical Ceiling Tile	5d	5d	17-Apr-23	24-Apr-23																								
B-INT-370	Millwork	5d	5d	24-Apr-23	01-May-23																								
B-INT-380	Fiberglass Reinforced Panels	5d	5d	24-Apr-23	01-May-23																								
B-INT-400	Flooring - Carpet Tile	5d	5d	24-Apr-23	01-May-23																								
B-INT-410	Caging	7d	7d	24-Apr-23	03-May-23																								
B-INT-450	Doors and Hardware	5d	5d	01-May-23	08-May-23																								
B-INT-390	Mech Trim	12d	12d	24-Apr-23	10-May-23																								
B-INT-420	Plumb Trim	12d	12d	27-Apr-23	15-May-23																								
B-INT-440	Fire S. Trim	10d	10d	01-May-23	15-May-23																								
B-INT-430	Elec Trim	12d	12d	01-May-23	17-May-23																								
B-INT-460	Test and Balance	10d	10d	10-May-23	24-May-23																								
Restrooms Sector B																													
B-RR-100	Wall Furring/Framing	5d	5d	25-Jan-23	01-Feb-23																								

- ☐ Exterior Kennel CMU
- ☐ Metal Canopy
- ↔ INTERIORS
- ↔ SECTOR B
- ☐ Mech Rough-In - Overhead
- ☐ Elec Rough-In - Overhead
- ☐ Plumb Rough-In - Overhead
- ☐ Fire S. Rough-In - Overhead
- ☐ Mechanical Room Build-Out - OH Rough
- ☐ Interior Framing
- ☐ Plumbing Wall Rough
- ☐ Elec Wall Rough
- ☐ Mechanical Room Build-Out - Set Equipment
- ☐ MEP Wall Cover Inspection
- ☐ Hard Ceiling Framing
- ☐ Electrical Room Build Out
- ☐ Hard Ceiling Rough Ins
- ☐ Drywall Hang/Tape/Finish
- ☐ Mechanical Unit Start-Up
- ☐ Hard Ceiling Inspections
- ☐ Mechanical Room Build-Out - Connect Equipment
- ☐ Hard Ceiling H/T/F
- ☐ Freezer
- ☐ Wall Tile
- ☐ Prime and First Coat
- ☐ Paint - Final Coat
- ☐ Flooring - Resinous
- ☐ ACT Grid
- ☐ MEPF to Grid (breakout)
- ☐ Cover Up ACT Inspections
- ☐ Acoustical Ceiling Tile
- ☐ Millwork
- ☐ Fiberglass Reinforced Panels
- ☐ Flooring - Carpet Tile
- ☐ Caging
- ☐ Doors and Hardware
- ☐ Mech Trim
- ☐ Plumb Trim
- ☐ Fire S. Trim
- ☐ Elec Trim
- ☐ Test and Balance
- ↔ Restrooms Sector B
- ☐ Wall Furring/Framing

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
Restrooms Sector A						50d	50d	24-Feb-23	05-May-23	Restrooms Sector A																	
A-RR-100	Wall Furring/Framing	5d	5d	24-Feb-23	03-Mar-23	<input type="checkbox"/> Wall Furring/Framing <input type="checkbox"/> Wall Rough Ins <input type="checkbox"/> Wall Cover Inspection <input type="checkbox"/> Ceiling Framing <input type="checkbox"/> Ceiling Rough <input type="checkbox"/> Ceiling Inspections <input type="checkbox"/> Drywall Hang/Tape/Finish <input type="checkbox"/> Paint <input type="checkbox"/> Tile <input type="checkbox"/> Toilet Fixtures and Accessories																					
A-RR-110	Wall Rough Ins	5d	5d	03-Mar-23	10-Mar-23																						
A-RR-120	Wall Cover Inspection	5d	5d	10-Mar-23	17-Mar-23																						
A-RR-130	Ceiling Framing	5d	5d	17-Mar-23	24-Mar-23																						
A-RR-140	Ceiling Rough	5d	5d	24-Mar-23	31-Mar-23																						
A-RR-150	Ceiling Inspections	5d	5d	31-Mar-23	07-Apr-23																						
A-RR-160	Drywall Hang/Tape/Finish	5d	5d	07-Apr-23	14-Apr-23																						
A-RR-170	Paint	5d	5d	14-Apr-23	21-Apr-23																						
A-RR-180	Tile	5d	5d	21-Apr-23	28-Apr-23																						
A-RR-190	Toilet Fixtures and Accessories	5d	5d	28-Apr-23	05-May-23																						
SECTOR D						52d	52d	07-Mar-23	18-May-23	SECTOR D																	
D-INT-100	Mech Rough-In - Overhead	7d	7d	07-Mar-23	16-Mar-23	<input type="checkbox"/> Mech Rough-In - Overhead <input type="checkbox"/> Plumb Rough-In - Overhead <input type="checkbox"/> Fire S. Rough-In - Overhead <input type="checkbox"/> Elec Rough-In - Overhead <input type="checkbox"/> Prime Coat/1st Coat <input type="checkbox"/> Mechanical Unit Start-Up <input type="checkbox"/> Paint <input type="checkbox"/> ACT Grid <input type="checkbox"/> MEP Rough @ ACT Grid <input type="checkbox"/> ACT Grid Cover Up Inspection <input type="checkbox"/> Acoustical Ceiling Tile <input type="checkbox"/> Flooring - Resinous <input type="checkbox"/> Mech Trim <input type="checkbox"/> Plumb Trim <input type="checkbox"/> Elec Trim <input type="checkbox"/> Fire S. Trim <input type="checkbox"/> Test & Balance <input type="checkbox"/> Interior Kennel Installation <input type="checkbox"/> Exterior Kennel Installation <input type="checkbox"/> Flooring - Turf																					
D-INT-120	Plumb Rough-In - Overhead	7d	7d	10-Mar-23	21-Mar-23																						
D-INT-130	Fire S. Rough-In - Overhead	7d	7d	10-Mar-23	21-Mar-23																						
D-INT-110	Elec Rough-In - Overhead	7d	7d	10-Mar-23	21-Mar-23																						
D-INT-150	Prime Coat/1st Coat	5d	5d	22-Mar-23	29-Mar-23																						
D-INT-140	Mechanical Unit Start-Up	10d	10d	21-Mar-23	04-Apr-23																						
D-INT-160	Paint	5d	5d	29-Mar-23	05-Apr-23																						
D-INT-170	ACT Grid	5d	5d	31-Mar-23	07-Apr-23																						
D-INT-180	MEP Rough @ ACT Grid	5d	5d	07-Apr-23	14-Apr-23																						
D-INT-190	ACT Grid Cover Up Inspection	3d	3d	14-Apr-23	19-Apr-23																						
D-INT-200	Acoustical Ceiling Tile	5d	5d	19-Apr-23	26-Apr-23																						
D-INT-210	Flooring - Resinous	15d	15d	05-Apr-23	26-Apr-23																						
D-INT-230	Mech Trim	12d	12d	12-Apr-23	28-Apr-23																						
D-INT-270	Plumb Trim	12d	12d	17-Apr-23	03-May-23																						
D-INT-260	Elec Trim	12d	12d	17-Apr-23	03-May-23																						
D-INT-250	Fire S. Trim	12d	12d	17-Apr-23	03-May-23																						
D-INT-290	Test & Balance	5d	5d	28-Apr-23	05-May-23																						
D-INT-280	Interior Kennel Installation	10d	10d	26-Apr-23	10-May-23																						
D-INT-220	Exterior Kennel Installation	5d	5d	03-May-23	10-May-23																						
D-INT-240	Flooring - Turf	5d	5d	11-May-23	18-May-23																						
SECTOR C						45d	45d	04-Apr-23	06-Jun-23	SECTOR C																	
C-INT-100	Mech Rough-In - Overhead	7d	7d	04-Apr-23	13-Apr-23	<input type="checkbox"/> Mech Rough-In - Overhead <input type="checkbox"/> Elec Rough-In - Overhead <input type="checkbox"/> Plumb Rough-In - Overhead <input type="checkbox"/> Fire S. Rough-In - Overhead <input type="checkbox"/> Prime Coat <input type="checkbox"/> Paint <input type="checkbox"/> Mechanical Unit Start-Up <input type="checkbox"/> ACT Grid <input type="checkbox"/> MEP Rough @ ACT Grid <input type="checkbox"/> ACT Grid Cover Up Inspection																					
C-INT-110	Elec Rough-In - Overhead	7d	7d	07-Apr-23	18-Apr-23																						
C-INT-120	Plumb Rough-In - Overhead	7d	7d	07-Apr-23	18-Apr-23																						
C-INT-130	Fire S. Rough-In - Overhead	7d	7d	07-Apr-23	18-Apr-23																						
C-INT-140	Prime Coat	5d	5d	12-Apr-23	19-Apr-23																						
C-INT-150	Paint	5d	5d	19-Apr-23	26-Apr-23																						
C-INT-160	Mechanical Unit Start-Up	10d	10d	18-Apr-23	02-May-23																						
C-INT-170	ACT Grid	5d	5d	26-Apr-23	03-May-23																						
C-INT-180	MEP Rough @ ACT Grid	5d	5d	03-May-23	10-May-23																						
C-INT-190	ACT Grid Cover Up Inspection	3d	3d	10-May-23	15-May-23																						

Current Milestones
 Progress Summary
 Critical

DATA DATE: 30-Nov-21
 CURRENT DATE: 30-Nov-21
 PAGE: 12 of 13

CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



11/30/2021

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024											
						Q4		Q1			Q2		Q3		Q4		Q1			Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct
C-INT-230	Flooring - Resinous	15d	15d	26-Apr-23	17-May-23																								<input type="checkbox"/> Flooring - Resinous
C-INT-200	Exterior Kennel Installation	5d	5d	11-May-23	18-May-23																							<input type="checkbox"/> Exterior Kennel Installation	
C-INT-210	Acoustical Ceiling Tile	5d	5d	15-May-23	22-May-23																							<input type="checkbox"/> Acoustical Ceiling Tile	
C-INT-240	Mech Trim	12d	12d	08-May-23	24-May-23																							<input type="checkbox"/> Mech Trim	
C-INT-220	Flooring - Turf	5d	5d	18-May-23	25-May-23																							<input type="checkbox"/> Flooring - Turf	
C-INT-250	Elec Trim	12d	12d	15-May-23	01-Jun-23																							<input type="checkbox"/> Elec Trim	
C-INT-260	Plumb Trim	12d	12d	15-May-23	01-Jun-23																							<input type="checkbox"/> Plumb Trim	
C-INT-270	Fire S. Trim	12d	12d	15-May-23	01-Jun-23																							<input type="checkbox"/> Fire S. Trim	
C-INT-290	Test & Balance	5d	5d	24-May-23	01-Jun-23																							<input type="checkbox"/> Test & Balance	
C-INT-280	Interior Kennel Installation	10d	10d	22-May-23	06-Jun-23																							<input type="checkbox"/> Interior Kennel Installation	
BARN CONSTRUCTION		132d	132d	29-Aug-22	06-Mar-23																							<input type="checkbox"/> BARN CONSTRUCTION	
SITWORK/UTILITIES		5d	5d	29-Aug-22	05-Sep-22																							<input type="checkbox"/> SITWORK/UTILITIES	
BARN-100	Underground Utilities	5d	5d	29-Aug-22	05-Sep-22																							<input type="checkbox"/> Underground Utilities	
STRUCTURE		39d	39d	10-Jan-23	06-Mar-23																							<input type="checkbox"/> STRUCTURE	
BARN-110	Barn SOG	5d	5d	10-Jan-23	18-Jan-23																							<input type="checkbox"/> Barn SOG	
BARN-120	Pre-Fabricated Structure	20d	20d	18-Jan-23	20-Feb-23																							<input type="checkbox"/> Pre-Fabricated Structure	
BARN-130	MEP Install	5d	5d	20-Feb-23	27-Feb-23																							<input type="checkbox"/> MEP Install	
BARN-140	MEP Inspections	5d	5d	27-Feb-23	06-Mar-23																							<input type="checkbox"/> MEP Inspections	
CLOSEOUT		39d	39d	15-Jun-23	09-Aug-23																							<input type="checkbox"/> CLOSEOUT	
A1080	Final Inspections	7d	7d	15-Jun-23	27-Jun-23																							<input type="checkbox"/> Final Inspections	
A1090	Owner/Arch Punchlist Walk	10d	10d	27-Jun-23	12-Jul-23																							<input type="checkbox"/> Owner/Arch Punchlist Walk	
A1940	Punchlist Work	20d	20d	12-Jul-23	09-Aug-23																							<input type="checkbox"/> Punchlist Work	

- Current
- Progress
- Critical
- Milestones
- Summary

DATA DATE:30-Nov-21
 CURRENT DATE: 30-Nov-21
 PAGE: 13 of 13

CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/26/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER: Greyling Ins. Brokerage/EPIC, 3780 Mansell Road, Suite 370, Alpharetta, GA 30022. CONTACT NAME: Jerry Noyola, PHONE: 770-220-7699, E-MAIL ADDRESS: jerry.noyola@greyling.com. INSURER(S) AFFORDING COVERAGE: Zurich American Insurance Co (16535), Starr Indemnity and Liability Company (38318), American Zurich Ins. Co. (40142), Allied World Assurance Company (U.S.) (19489).

COVERAGES CERTIFICATE NUMBER: 21-22 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSR, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include Commercial General Liability, Automobile Liability, Umbrella and Excess Liability, Workers Compensation and Employers' Liability, and Professional and Pollution Liability.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Re: Project ##21RFP22421K-DB - CM@Risk Services for the new Fulton County Animal Shelter Facility. Fulton County Government, Its Officials, Officers & Employees are named as Additional Insureds with respects to General Liability where required by written contract. The above referenced liability policies with the exception of workers compensation and professional liability are primary & non-contributory where required by written contract. Waiver of Subrogation in favor of Additional Insured(s) where required by written contract & allowed by law.

CERTIFICATE HOLDER: Fulton County Government Purchasing Department, 130 Peachtree Street S.W., Suite 1168, Atlanta, GA 30303-3459. CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: [Signature]



**FULTON
COUNTY**

CONTRACT DOCUMENTS FOR

**#21RFP22421K-DB;
GMP AMENDMENT TO AGREEMENT**

**CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR THE NEW FULTON COUNTY ANIMAL SHELTER
FACILITY**

For

REAL ESTATE AND ASSET MANAGEMENT

GMP AMENDMENT TO AGREEMENT #21RFP22421K-DB BETWEEN OWNER AND CONSTRUCTION MANAGER AT RISK

Construction Manager: Winter Johnson Group

Contract: #21RFP22421K-DB; Construction Management at Risks Services for the New Fulton County Animal Shelter Facility GMP AMENDMENT TO AGREEMENT

Address: 5616 Peachtree Road
City, State: Chamblee, Georgia 30341

Contact: Brent Reid, Managing Member
Artis Johnson, Managing Member

Email: breid@wintercompanies.com and ajohnson@winterjohnsongroup.com

Pursuant to Sections 00700-92-B of the Agreement, dated August 5th, 2021, between Fulton County (“Owner”) and Winter Johnson Group (“Construction Manager”), with respect to the construction of the Owner’s Construction Management at Risk Services for the New Fulton County Animal Shelter (“Project”), the Owner and the Construction Manager hereby agree to amend and modify the Agreement by the Amendment and establish a Guaranteed Maximum Price (“GMP”) and Contract Time for all the Work as set forth below:

ARTICLE 1
SCOPE OF WORK

The Scope of Work consists of construction of the New Fulton County Animal Shelter Project in accordance with the Agreement, this Amendment and the other Contract Documents listed as Exhibits A through I below, which are hereby incorporated into and made part of the Amendment by this reference:

- | | |
|-----------|--|
| EXHIBIT A | List of Drawings |
| EXHIBIT B | GMP’S Cost |
| EXHIBIT C | Clarifications & Assumptions |
| EXHIBIT D | Allowances |
| EXHIBIT E | Payment & Performance Bonds |
| EXHIBIT F | Certificate of Insurance |
| EXHIBIT G | Purchasing Forms |
| EXHIBIT H | Office of Contract Compliance (Subcontractors) |
| EXHIBIT I | Contract Schedule |

ARTICLE 2

GUARANTEED MAXIMUM PRICE

- 2.1 Construction Manager's Guaranteed Maximum Price (GMP) for the Work, including the estimated Cost of the Work as defined in Section 00700-92-B of the Agreement and Construction Contractor's Fee as defined in Exhibit 1 – Form B-Construction Fee % of the Agreement is **\$32,269,760.00** (Thirty-Two Million Two Hundred Sixty-Nine Thousand Seven Hundred Sixty Dollars and No Cents).
- 2.2 The Construction Manager's Fee for the entire Work anticipated on this Project is hereby established as a lump sum amount of **\$844,292.00** (Eight Hundred Forty-Four Thousand Two Hundred Ninety-Two Dollars and No Cents), said lump sum amount is included within the above noted GMP.
- 2.3 The General Condition expenses for the entire Work anticipated on this Project are hereby established as an amount not to exceed **\$1,878,756.00** (One Million Eight Hundred Seventy-Eight Thousand Seven Hundred Fifty-Six Dollars and No Cents), said not to exceed amount is not included within the above noted GMP. The items included as General Condition Expenses are listed in the Agreement, Section 00700. Except as said not to exceed amount for General Condition expenses may be expressly adjusted by Change Order or Construction Change Directive, Construction Manager acknowledges and agrees that Owner shall have no liability for any General Condition expenses beyond payment of the above amount and Construction Manager agrees that it shall not be entitled to receive any additional compensation from Owner for the General Conditions beyond the above amount.
- 2.4 Monthly installment payment of the Construction Contractor's Fee shall be based upon the percent completion of the designated portion of the Work for that particular month.
- 2.5 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the required Work, but excluding all items that are to be reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in paragraph 2.3 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed amount of **\$825,000.00** (Eight Hundred Twenty-Five Thousand and No Cents). Contingency funds shall be used to cover costs that arise during construction that are not identified in the Construction Documents. Construction Manager shall not proceed with any portion of the Work which it intends to charge against this contingency without first obtaining Owner's express written authorization to proceed. The Construction Manager acknowledges and agrees that any work which is to be charged against the contingency that does not receive such prior written approval from the Owner shall be deemed to be part of the Construction Manager's basic Work compensated within the GMP and not chargeable against

the Owner's Contingency. The Owner reserves the right, at its sole discretion, to withhold its consent on contingency expenditures. Further, any contingency expenditure become part of the Contract Documents and are incorporated by reference herein. Unused contingency remaining at the end of the job will be credited from the guaranteed maximum price. Construction Manager has no entitlement to any portion of any unused contingency.

- 2.6 The parties have agreed to establish an allowance within the GMP attached herein as Exhibit C, Allowances for an itemized listing of all allowances that have been incorporated into the GMP. Construction Manager shall not proceed with any portion of the Work associated with the aforesaid allowance (Allowance Work) without first obtaining Owner's express written authorization to proceed with said Allowance Work. Allowance Amounts are reflected in Exhibit C.

ARTICLE 3 **CONTRACT TIME**

- 3.1 The Construction Phase Commencement Date for the Work is the date established by the County issued Notice to Proceed with Construction. The total period of time beginning with the Construction Phase Commencement Date through the date required for Substantial Completion of the Work is 544 consecutive calendar days. The Substantial Completion date is therefore established as 544 consecutive calendar days or completion of construction project, from the Notice to Proceed with Construction date.
- 3.2 Pursuant to this Agreement, there is no Liquidated Damages in this Contract.

ARTICLE 4 **MISCELLANEOUS**

- 4.1 Except as expressly modified herein, the terms and conditions of the Agreement remain unchanged. In the event of a conflict between the terms of this Amendment and those of the Agreement, Owner and Construction Manager agree that the terms of this Amendment shall prevail and control.
- 4.2 Payment & Performance Bonds will be 100% of Contract Amount referenced in Exhibit E.
- 4.3 Certificate of Insurance required by Fulton County Government Risk Management Provision referenced in Exhibit F.
- 4.4 Subcontractors referenced in Exhibit H.
- 4.5 The Amendment was approved by the Fulton County Board of Commissioners on Wednesday, December 15th, 2021; Item #21-1042.

IN WITNESS THEREOF, the Parties hereto have caused this Contract to be executed by their duly authorized representatives as attested and witnessed and their corporate

OWNER:

CONSTRUCTION MANAGER:

FULTON COUNTY, GEORGIA

WINTER JOHNSON GROUP

DocuSigned by:

Robert L. Pitts

Robert L. Pitts, Chairman
Fulton County Board of
Commissioners

DocuSigned by:

Brent Reid

Brent Reid
Managing Member

DocuSigned by:

Artis Johnson

Artis Johnson
Managing Member

ATTEST:

ATTEST:

DocuSigned by:

Tonya R. Grier

Tonya R. Grier
Clerk to the Commission (Seal)

(Affix County Seal)



APPROVED AS TO FORM:

DocuSigned by:

Ralph Mumme

Ralph Mumme
Secretary/
Assistant Secretary

(Affix Corporate Seal)



DocuSigned by:

Denval Stewart

Denval Stewart
Office of the County Attorney

APPROVED AS TO CONTENT:

DocuSigned by:

Joseph Davis

Joseph N. Davis, Director
Department of Real Estate & Asset
Management

ITEM#: 2021-1042

RCS: 12/15/2021

RECESS MEETING

ITEM#: _____ RM: _____

REGULAR MEETING

EXHIBIT A

LIST OF DRAWINGS

EXHIBIT **A**

DRAWING AND SPEC LOGS

Exhibit A - Attachment A

11/18/2021

Fulton County Animal Services**WINTER JOHNSON****GROUP****Drawing Log**

Project: (21-123) Fulton County Animal Services
Owner: Fulton County Government
Architect: PGAL

<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
General	G0.00	Cover Sheet - Volume 1	10/8/2021
General	G0.01	Sheet Index, General Project Information	10/8/2021
General	G1.00	Code Analysis	10/8/2021
General	G1.10	Life Safety Plan - Overall	10/8/2021
General	G1.11	Life Safety Plan - Sector A	10/8/2021
General	G1.12	Life Safety Plan - Sector B	10/8/2021
General	G1.13	Life Safety Plan - Sector C	10/8/2021
General	G1.14	Life Safety Plan - Sector D	10/8/2021
General	G1.20	Accessibility Information	10/8/2021
General	G1.21	Accessibility Information	10/8/2021
Civil	C0.00	Cover	10/8/2021
Civil	C0.01	General Notes	10/8/2021
Civil	C0.02	Survey	10/8/2021
Civil	C2.00	Demolition Plan	10/8/2021
Civil	C2.01	Detailed Demolition Plan	10/8/2021
Civil	C2.02	Detailed Demolition Plan	10/8/2021
Civil	C3.00	Master Site Plan	10/8/2021
Civil	C3.01	Detailed Site Plan	10/8/2021
Civil	C3.02	Detailed Site Plan	10/8/2021
Civil	C3.40	Fire Access Plan	10/8/2021
Civil	C3.41	Truck Access Plan	10/8/2021
Civil	C4.00	Grading Plan	10/8/2021
Civil	C4.01	Detailed Grading Plan	10/8/2021
Civil	C4.02	Detailed Grading Plan	10/8/2021
Civil	C4.40	Stormwater Management Plan	10/8/2021
Civil	C4.41	Stormwater Management Plan	10/8/2021
Civil	C5.00	Utility Plan	10/8/2021
Civil	C5.01	Detailed Utility Plan	10/8/2021
Civil	C5.02	Detailed Utility Plan	10/8/2021
Civil	C6.00	Erosion Notes	10/8/2021
Civil	C6.01	Erosion Notes	10/8/2021
Civil	C6.02	Erosion Notes	10/8/2021
Civil	C6.10	Phase I Erosion Control Plan	10/8/2021
Civil	C6.11	Phase I Erosion Control Plan	10/8/2021
Civil	C6.12	Phase I Erosion Control Plan	10/8/2021
Civil	C6.20	Phase II Erosion Control Plan	10/8/2021
Civil	C6.21	Phase II Erosion Control Plan	10/8/2021
Civil	C6.22	Phase II Erosion Control Plan	10/8/2021
Civil	C6.30	Phase III Erosion Control Plan	10/8/2021
Civil	C6.31	Phase III Erosion Control Plan	10/8/2021
Civil	C6.32	Phase III Erosion Control Plan	10/8/2021
Civil	C6.40	Erosion Control Details	10/8/2021
Civil	C6.41	Erosion Control Details	10/8/2021
Civil	C6.42	Erosion Control Details	10/8/2021
Civil	C6.43	Erosion Control Details	10/8/2021
Civil	C7.00	Sanitary Sewer Profiles	10/8/2021
Civil	C7.50	Storm Profiles	10/8/2021
Civil	C7.51	Storm Profiles	10/8/2021
Civil	C7.52	Storm Profiles	10/8/2021
Civil	C8.00	Sight Distance Profiles	10/8/2021
Civil	C8.01	Sight Distance Profiles	10/8/2021
Civil	C9.00	Construction Details	10/8/2021
Civil	C9.01	Construction Details	10/8/2021
Civil	C9.02	Construction Details	10/8/2021
Architectural	A0.10	Partition Types	10/8/2021
Architectural	A0.30	Door Schedule	10/8/2021
Architectural	A0.31	Door And Frame Types	10/8/2021
Architectural	A0.32	Door Details - Exterior	10/8/2021
Architectural	A0.33	Door Details - Interior	10/8/2021
Architectural	A0.34	Door Details - Interior	10/8/2021

Exhibit A - Attachment A
11/18/2021

Fulton County Animal Services

WINTER JOHNSON
GROUP



<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Architectural	A0.40	Window & Storefront Types/Schedule	10/8/2021
Architectural	A0.41	Curtain Wall & Storefront Elevations	10/8/2021
Architectural	A0.42	Window Details	10/8/2021
Architectural	A0.43	Interior Window Details	10/8/2021
Architectural	A1.00	Architectural Site Plan (Overall)	10/8/2021
Architectural	A1.10	Architectural Site Plan (Enlarged)	10/8/2021
Architectural	A1.15	Site Plan - Public Parking Lot	10/8/2021
Architectural	A1.15B	Site Plan - Public Parking Lot	10/8/2021
Architectural	A1.16	Site Plan - Employee Parking Lot	10/8/2021
Architectural	A1.17	Site Plan - Dog Yards	10/8/2021
Architectural	A1.18	Enlarged Barn Plan	10/8/2021
Architectural	A1.19	Site Plan - Details	10/8/2021
Architectural	A1.20	Architectural Site Sections/Details	10/8/2021
Architectural	A2.00	Slab Plan	10/8/2021
Architectural	A2.01	Slab Plan - Sector A	10/8/2021
Architectural	A2.02	Slab Plan - Sector B	10/8/2021
Architectural	A2.03	Slab Plan - Sector C	10/8/2021
Architectural	A2.04	Slab Plan - Sector D	10/8/2021
Architectural	A2.10	Overall Floor Plan	10/8/2021
Architectural	A2.11	Floor Plan - Sector A	10/8/2021
Architectural	A2.11D	Dimension Floor Plan - Sector A	10/8/2021
Architectural	A2.12	Floor Plan - Sector B	10/8/2021
Architectural	A2.12D	Dimension Floor Plan - Sector B	10/8/2021
Architectural	A2.13	Floor Plan - Sector C	10/8/2021
Architectural	A2.13D	Dimension Floor Plan - Sector C	10/8/2021
Architectural	A2.14	Floor Plan - Sector D	10/8/2021
Architectural	A2.14D	Dimension Floor Plan - Sector D	10/8/2021
Architectural	A2.20	Overall Roof Plan	10/8/2021
Architectural	A2.21	Roof Plan - Section A	10/8/2021
Architectural	A2.22	Roof Plan - Section B	10/8/2021
Architectural	A2.23	Roof Plan - Section C	10/8/2021
Architectural	A2.24	Roof Plan - Section D	10/8/2021
Architectural	A2.60	Drain Details	10/8/2021
Architectural	A3.10	Overall Reflected Ceiling Plan	10/8/2021
Architectural	A3.11	Reflected Ceiling Plan - Sector A	10/8/2021
Architectural	A3.12	Reflected Ceiling Plan - Sector B	10/8/2021
Architectural	A3.13	Reflected Ceiling Plan - Sector C	10/8/2021
Architectural	A3.14	Reflected Ceiling Plan - Sector D	10/8/2021
Architectural	A3.20	Details - Ceilings	10/8/2021
Architectural	A4.10	Enlarged Restroom Plans And Elevations	10/8/2021
Architectural	A4.11	Enlarged Restroom Plans And Elevations	10/8/2021
Architectural	A5.10	Exterior Plan Details - Sector A	10/8/2021
Architectural	A5.10B	Exterior Plan Details - Sector A	10/8/2021
Architectural	A5.11	Exterior Plan Details - Sector B	10/8/2021
Architectural	A5.12	Exterior Plan Details - Sector C	10/8/2021
Architectural	A5.13	Exterior Plan Details - Sector D	10/8/2021
Architectural	A6.10	Overall Exterior Elevations	10/8/2021
Architectural	A6.12	Enlarged Facade Elevations	10/8/2021
Architectural	A6.13	Enlarged Facade Elevations	10/8/2021
Architectural	A6.20	Enlarged Exterior Elevations	10/8/2021
Architectural	A7.10	Overall Building Sections	10/8/2021
Architectural	A7.11	Enlarged Building Sections	10/8/2021
Architectural	A7.12	Enlarged Building Sections	10/8/2021
Architectural	A7.13	Enlarged Building Sections	10/8/2021
Architectural	A7.20	Exterior Wall Sections	10/8/2021
Architectural	A7.21	Exterior Wall Sections	10/8/2021
Architectural	A7.22	Exterior Wall Sections	10/8/2021
Architectural	A7.23	Exterior Wall Sections	10/8/2021
Architectural	A7.24	Exterior Wall Sections	10/8/2021
Architectural	A7.25	Exterior Wall Sections	10/8/2021
Architectural	A7.26	Exterior Wall Sections	10/8/2021
Architectural	A7.27	Exterior Wall Sections	10/8/2021
Architectural	A7.28	Exterior Wall Sections	10/8/2021
Architectural	A7.29	Exterior Wall Sections	10/8/2021
Architectural	A7.30	Exterior Wall Sections	10/8/2021

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<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Architectural	A7.50	Exterior Wall Details	10/8/2021
Architectural	A7.51	Exterior Wall Details	10/8/2021
Architectural	A7.52	Exterior Wall Details	10/8/2021
Architectural	A7.53	Exterior Wall Details	10/8/2021
Architectural	A7.54	Exterior Wall Details	10/8/2021
Architectural	A7.75	Exterior Wall Details	10/8/2021
Architectural	A7.56	Exterior Wall Details	10/8/2021
Architectural	A7.57	Exterior Wall Details	10/8/2021
Architectural	A7.58	Exterior Wall Details	10/8/2021
Architectural	A8.10	Elevations - Interior	10/8/2021
Architectural	A8.11	Elevations - Interior	10/8/2021
Architectural	A8.12	Elevations - Interior	10/8/2021
Architectural	A8.13	Elevations - Interior	10/8/2021
Architectural	A8.14	Elevations - Interior	10/8/2021
Architectural	A8.15	Elevations - Interior	10/8/2021
Architectural	A8.16	Elevations - Interior	10/8/2021
Architectural	A8.17	Elevations - Interior	10/8/2021
Architectural	A8.18	Elevations - Interior	10/8/2021
Architectural	A8.19	Elevations - Interior	10/8/2021
Architectural	A8.20	Elevations - Interior	10/8/2021
Architectural	A8.21	Elevations - Interior	10/8/2021
Architectural	A8.50	Interior Details - Millwork	10/8/2021
Architectural	A8.51	Interior Details - Millwork	10/8/2021
Architectural	A8.52	Interior Details - Millwork	10/8/2021
Architectural	A8.53	Interior Details	10/8/2021
Architectural	A9.01	Equipment Details	10/8/2021
Architectural	A9.02	Animal Housing Details	10/8/2021
Architectural	A9.03	Animal Housing Details	10/8/2021
Architectural	A9.04	Animal Housing Details	10/8/2021
Architectural	A9.05	Animal Housing Details	10/8/2021
Architectural	A9.06	Caging Schedule And Elevations	10/8/2021
Architectural	A9.10	Finish Schedule And Room Finish Schedule	10/8/2021
Architectural	A9.11	Finish Plan - Sector A	10/8/2021
Architectural	A9.12	Finish Plan - Sector B	10/8/2021
Architectural	A9.13	Finish Plan - Sector C	10/8/2021
Architectural	A9.14	Finish Plan - Sector D	10/8/2021
Architectural	A10.01	Equipment Plan - Sector A	10/8/2021
Architectural	A10.02	Equipment Plan - Sector B	10/8/2021
Architectural	A10.03	Equipment Plan - Sector C	10/8/2021
Architectural	A10.04	Equipment Plan - Sector D	10/8/2021
Architectural	A10.11	Equipment Schedule	10/8/2021
Structural	S0.01	General Notes	10/8/2021
Structural	S0.02	General Notes	10/8/2021
Structural	S0.03	Wind Load Diagram	10/8/2021
Structural	S0.04	Gid Geometry Plan	10/8/2021
Structural	S0.05	Isometric Views - Overall	10/8/2021
Structural	S0.06	Isometric Views - Partial Lobby	10/8/2021
Structural	S2.10	Overall Foundation Plan	10/8/2021
Structural	S2.11	Foundation Plan - Sector A	10/8/2021
Structural	S2.12	Foundation Plan - Sector B	10/8/2021
Structural	S2.13	Foundation Plan - Sector C	10/8/2021
Structural	S2.14	Foundation Plan - Sector D	10/8/2021
Structural	S2.20	Overall Roof Plan	10/8/2021
Structural	S2.21	Roof Framing Plan - Sector A	10/8/2021
Structural	S2.22	Roof Framing Plan - Sector B	10/8/2021
Structural	S2.23	Roof Framing Plan - Sector C	10/8/2021
Structural	S2.24	Roof Framing Plan - Sector D	10/8/2021
Structural	S2.30	Pre-Manufactured Barn Foundation	10/8/2021
Structural	S3.01	Typical Foundation Details	10/8/2021
Structural	S3.02	Typical Foundation Details	10/8/2021
Structural	S3.03	Typical Foundation Details	10/8/2021
Structural	S3.04	Typical Foundation Details	10/8/2021
Structural	S3.05	Foundation Details	10/8/2021
Structural	S3.06	Foundation Details	10/8/2021
Structural	S4.01	Masonry Details	10/8/2021

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<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Structural	S4.02	Masonry Details	10/8/2021
Structural	S5.01	Typical Steel Details	10/8/2021
Structural	S5.02	Typical Steel Details	10/8/2021
Structural	S5.03	Typical Steel Details	10/8/2021
Structural	S5.04	Typical Steel Details	10/8/2021
Structural	S5.05	Framing Details	10/8/2021
Structural	S5.06	Framing Details	10/8/2021
Structural	S5.07	Framing Details	10/8/2021
Structural	S5.08	Framing Details	10/8/2021
Structural	S5.09	Framing Details	10/8/2021
Structural	S6.01	Building Sections	10/8/2021
Structural	S6.02	Building Sections	10/8/2021
Structural	S6.03	Building Sections	10/8/2021
Structural	S7.01	Enlarged Plans And Sections - Canopy At Employee Patio	10/8/2021
Structural	S7.02	Enlarged Plans And Sections - Canopy At Intake Lobby	10/8/2021
Structural	S7.03	Enlarged Plans And Sections - Canopy At Catio	10/8/2021
Structural	S7.04	Enlarged Plans And Sections - Canopy West Of Quart. Dog Kennels	10/8/2021
Structural	S7.05	Enlarged Plans And Sections - Canopy East Of Quart. Dog Kennels	10/8/2021
Structural	S7.06	Enlarged Plans And Sections - Canopy At Dog Yards 3	10/8/2021
Structural	S7.07	Enlarged Plans And Sections - Canopy At Dog Yards 4	10/8/2021
Structural	S7.08	Enlarged Plans And Sections - Canopy At Dog Yards 5	10/8/2021
Structural	S7.09	Enlarged Plans And Sections - Canopy At Dog Yards 6	10/8/2021
Structural	S8.01	Wall Elevations	10/8/2021
Structural	S8.02	Wall Elevations	10/8/2021
Structural	S8.03	Wall Elevations	10/8/2021
Structural	S8.04	Wall Elevations	10/8/2021
Structural	S8.05	Wall Elevations	10/8/2021
Structural	S8.06	Wall Elevations	10/8/2021
Structural	S8.07	Wall Elevations	10/8/2021
Structural	S8.08	Wall Elevations	10/8/2021
Structural	S8.09	Wall Elevations	10/8/2021
Mechanical	M1.01	Mechanical Cover Sheet	10/8/2021
Mechanical	M1.02	Mechanical General Notes	10/8/2021
Mechanical	M1.03	Mechanical Schedules	10/8/2021
Mechanical	M1.04	Mechanical Schedules	10/8/2021
Mechanical	M1.05	Mechanical Schedules	10/8/2021
Mechanical	M1.06	Mech. Vent. Calcs	10/8/2021
Mechanical	M1.07	Mechanical Zoning Plan	10/8/2021
Mechanical	M2.10	Mechanical Ductwork Overall Floor Plan	10/8/2021
Mechanical	M2.11	Mechanical Ductwork Plan - Sector A	10/8/2021
Mechanical	M2.12	Mechanical Ductwork Plan - Sector B	10/8/2021
Mechanical	M2.13	Mechanical Ductwork Plan - Sector C	10/8/2021
Mechanical	M2.14	Mechanical Ductwork Plan - Sector D	10/8/2021
Mechanical	M2.20	Mechanical Ductwork Overall Roof Plan	10/8/2021
Mechanical	M2.21	Mechanical Ductwork Roof Plan - Sector A	10/8/2021
Mechanical	M2.22	Mechanical Ductwork Roof Plan - Sector B	10/8/2021
Mechanical	M2.23	Mechanical Ductwork Roof Plan - Sector C	10/8/2021
Mechanical	M2.24	Mechanical Ductwork Roof Plan - Sector D	10/8/2021
Mechanical	M3.10	Mechanical Overall Piping Floor Plan	10/8/2021
Mechanical	M3.11	Mechanical Piping Plan - Sector A	10/8/2021
Mechanical	M3.12	Mechanical Piping Plan - Sector B	10/8/2021
Mechanical	M3.20	Mechanical Piping Overall Roof Plan	10/8/2021
Mechanical	M4.01	Mechanical Details	10/8/2021
Mechanical	M4.02	Mechanical Details	10/8/2021
Mechanical	M4.03	Mechanical Details	10/8/2021
Mechanical	M4.04	Mechanical Piping Schematics	10/8/2021
Mechanical	M4.05	Mechanical Sequence Of Operations	10/8/2021
Mechanical	M4.06	Mechanical Sequence Of Operations	10/8/2021
Electrical	E0.00	Electrical Cover Sheet	10/8/2021
Electrical	E1.01	Overall Electrical Site Plan	10/8/2021
Electrical	E1.02	Enlarged Electrical Site Plan - East	10/8/2021
Electrical	E1.03	Enlarged Electrical Site Plan - West	10/8/2021
Electrical	E1.10	Overall - Electrical Floor Plan	10/8/2021
Electrical	E2.10	Sector A - Electrical Power Plan	10/8/2021
Electrical	E2.11	Sector B - Electrical Power Plan	10/8/2021

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<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Electrical	E2.12	Sector C - Electrical Power Plan	10/8/2021
Electrical	E2.13	Sector D - Electrical Power Plan	10/8/2021
Electrical	E2.20	West Side - Electrical Roof Plan	10/8/2021
Electrical	E2.21	East Side - Electrical Roof Plan	10/8/2021
Electrical	E3.10	Sector A - Electrical Lighting Plan	10/8/2021
Electrical	E3.11	Sector B - Electrical Lighting Plan	10/8/2021
Electrical	E3.12	Sector C - Electrical Lighting Plan	10/8/2021
Electrical	E3.13	Sector D - Electrical Lighting Plan	10/8/2021
Electrical	E6.01	Electrical One-Line Diagram	10/8/2021
Electrical	E6.02	Technology Riser Diagram	10/8/2021
Electrical	E7.01	Electrical Schedules	10/8/2021
Electrical	E7.10	Electrical Panel Schedules	10/8/2021
Electrical	E7.11	Electrical Panel Schedules	10/8/2021
Electrical	E7.12	Electrical Panel Schedules	10/8/2021
Electrical	E7.13	Electrical Panel Schedules	10/8/2021
Electrical	E7.14	Electrical Panel Schedules	10/8/2021
Electrical	E8.01	Electrical Lighting Schedules	10/8/2021
Electrical	E8.02	Lighting Control Schedules & Details	10/8/2021
Electrical	E9.00	Electrical Lighting Compliance	10/8/2021
Electrical	T0.00	Technology General Notes	10/8/2021
Electrical	T1.01	Technology Site Plan	10/8/2021
Electrical	T2.10	Sector A - Technology Plan	10/8/2021
Electrical	T2.11	Sector B - Technology Plan	10/8/2021
Electrical	T2.12	Sector C - Technology Plan	10/8/2021
Electrical	T2.13	Sector D - Technology Plan	10/8/2021
Electrical	T2.20	Technology Enlarged Plans	10/8/2021
Electrical	T3.20	AV Detail Sheet	10/8/2021
Electrical	T3.21	AV Detail Sheet	10/8/2021
Electrical	T3.22	AV Detail Sheet	10/8/2021
Electrical	T3.23	AV Detail Sheet	10/8/2021
Electrical	T3.24	AV Detail Sheet	10/8/2021
Electrical	T4.00	Technology Schedules	10/8/2021
Electrical	T5.01	Technology Riser Diagram	10/8/2021
Electrical	T5.02	AV Detail Sheet	10/8/2021
Electrical	T5.03	AV Detail Sheet	10/8/2021
Electrical	T5.04	AV Detail Sheet	10/8/2021
Electrical	T6.01	Technology Detail	10/8/2021
Electrical	T6.02	Technology Detail	10/8/2021
Electrical	T6.03	Technology Detail	10/8/2021
Electrical	T6.04	AV Detail Sheet	10/8/2021
Plumbing	P1.01	Plumbing Cover Sheet	10/8/2021
Plumbing	P1.02	Plumbing General Notes	10/8/2021
Plumbing	P1.03	Plumbing Equipment Schedules	10/8/2021
Plumbing	P1.04	Plumbing Equipment Schedules	10/8/2021
Plumbing	P2.10	Overall Underground Plumbing Plan	10/8/2021
Plumbing	P2.11	Underground Plumbing Plan - Sector A	10/8/2021
Plumbing	P2.12	Underground Plumbing Plan - Sector B	10/8/2021
Plumbing	P2.13	Underground Plumbing Plan - Sector C	10/8/2021
Plumbing	P2.14	Underground Plumbing Plan - Sector D	10/8/2021
Plumbing	P2.20	Plumbing Overall Main Floor Plan	10/8/2021
Plumbing	P2.21	Plumbing Main Floor Plan - Sector A	10/8/2021
Plumbing	P2.22	Plumbing Main Floor Plan - Sector B	10/8/2021
Plumbing	P2.23	Plumbing Main Floor Plan - Sector C	10/8/2021
Plumbing	P2.24	Plumbing Main Floor Plan - Sector D	10/8/2021
Plumbing	P2.30	Plumbing Overall Roof Plan	10/8/2021
Plumbing	P2.31	Plumbing Roof Plan - Sector A	10/8/2021
Plumbing	P2.32	Plumbing Roof Plan - Sector B	10/8/2021
Plumbing	P2.33	Plumbing Roof Plan - Sector C	10/8/2021
Plumbing	P2.34	Plumbing Roof Plan - Sector D	10/8/2021
Plumbing	P3.00	Enlarged Medical Gas Plan - Sector B	10/8/2021
Plumbing	P3.01	Enlarged Plumbing Plans	10/8/2021
Plumbing	P3.02	Plumbing Details	10/8/2021
Plumbing	P4.00	Plumbing Details	10/8/2021
Plumbing	P4.01	Plumbing Details	10/8/2021
Plumbing	P4.02	Plumbing Details	10/8/2021

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<i>Type</i>	<i>Sheet</i>	<i>Title</i>	<i>Stamp Date</i>
Plumbing	P5.00	Overall Waste And Vent Isometric	10/8/2021
Plumbing	P5.01	Overall Domestic Water Isometric	10/8/2021
Plumbing	P5.10	Enlarged Plumbing Isometrics - Sector A1	10/8/2021
Plumbing	P5.11	Enlarged Plumbing Isometrics - Sector A2	10/8/2021
Plumbing	P5.12	Enlarged Plumbing Isometrics - Sector B1	10/8/2021
Plumbing	P5.13	Enlarged Plumbing Isometrics - Sector B2	10/8/2021
Plumbing	P5.14	Enlarged Plumbing Isometrics - Sector C1	10/8/2021
Plumbing	P5.15	Enlarged Plumbing Isometrics - Sector C2	10/8/2021
Plumbing	P5.16	Enlarged Plumbing Isometrics - Sector D1	10/8/2021
Plumbing	P5.17	Enlarged Plumbing Isometrics - Sector D2	10/8/2021
Plumbing	P5.18	Natural Gas Piping Isometric	10/8/2021
Fire Protection	FP1.0	Fire Sprinkler General Info & Site Plan	10/8/2021
Fire Protection	FP1.1	Fire Sprinkler Hanger Details	10/8/2021
Fire Protection	FP2.0	Fire Sprinkler Piping Plan Overall	10/8/2021
Fire Protection	FP2.1	Fire Sprinkler Piping Plan Sector A	10/8/2021
Fire Protection	FP2.2	Fire Sprinkler Piping Plan Sector B	10/8/2021
Fire Protection	FP2.3	Fire Sprinkler Piping Plan Sector C	10/8/2021
Fire Protection	FP2.4	Fire Sprinkler Piping Plan Sector D	10/8/2021
Fire Alarm	FA1.10	Overall Floor Plan	10/8/2021
Fire Alarm	FA1.11	Fire Alarm Plan - Sector A	10/8/2021
Fire Alarm	FA1.12	Fire Alarm Plan - Sector B	10/8/2021
Fire Alarm	FA1.13	Fire Alarm Plan - Sector C	10/8/2021
Fire Alarm	FA1.14	Fire Alarm Plan - Sector D	10/8/2021
Landscape	L1.0	Landscape Plan - West	10/8/2021
Landscape	L2.0	Landscape Plan - East	10/8/2021
Landscape	L3.0	Landscape Plan Enlargement	10/8/2021
Landscape	L4.0	Landscape Notes And Schedule	10/8/2021
Landscape	L5.0	Landscape Details	10/8/2021

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Specifications Log: 21-123 - Fulton County Animal Services

Project Owner: Fulton County Government
Architect: PGAL
Project Number: 21-123

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
000000	Covers	10/08/2021		
000103	Design Team	10/08/2021		
000105	Table Of Contents	10/08/2021		
000107.01	Certification And Seal Sheet - Architectural	10/08/2021		
000107.02	Certification And Seal Sheet - Structural	10/08/2021		
000107.04	Certification And Seal Sheet - Plumbing	10/08/2021		
000107.05	Certification And Seal Sheet - Mechanical	10/08/2021		
000107.06	Certification And Seal Sheet - Electrical	10/08/2021		
000107.07	Certification And Seal Sheet - Civil	10/08/2021		
000107.08	Certification And Seal Sheet - Landscape Architect	10/08/2021		
011000	Summary (pgal)	10/08/2021		
012500	Substitution Procedures (pgal)	10/08/2021		
012600	Contract Modification Procedures (pgal)	10/08/2021		
012900	Payment Procedures (pgal)	10/08/2021		
013100	Project Management And Coordination (pgal)	10/08/2021		
013200	Construction Progress Documentation (pgal)	10/08/2021		
013233	Photographic Documentation (pgal)	10/08/2021		
013300	Submittal Procedures (pgal)	10/08/2021		
014000	Quality Requirements (pgal)	10/08/2021		
014200	References (pgal)	10/08/2021		
014533	Structural Testing And Special Inspections Services (sci)	10/08/2021		
015000	Temporary Facilities And Controls (pgal)	10/08/2021		
016000	Product Requirements (pgal)	10/08/2021		
017300	Execution (pgal)	10/08/2021		
017700	Closeout Procedures (pgal)	10/08/2021		
017823	Operation And Maintenance Data (pgal)	10/08/2021		
017839	Project Record Documents (pgal)	10/08/2021		
017900	Demonstration And Training (pgal)	10/08/2021		
018113	Sustainability Requirements (ice)	10/08/2021		
018114	LEED Scorecard And Responsibility Matrix (ice)	10/08/2021		
018115	Sustainability Materials Coversheet (SMC) (ice)	10/08/2021		
018118	Indoor Air Quality Requirements (ice)	10/08/2021		
018119	Construction And Demolition Waste Management Plan (ice)	10/08/2021		
018120	LEED Material Performance Requirements (ice)	10/08/2021		
019113	General Commissioning Requirements (eg)	10/08/2021		
027920	Loose-Fill Rubber Mulch Surfacing (aa)	10/08/2021		
031000	Concrete Forming And Accessories (sci)	10/08/2021		

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Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
032000	Concrete Reinforcing (sci)	10/08/2021		
033000	Cast-In-Place Concrete (sci)	10/08/2021		
033543	Polished Concrete Finishing (pgal)	10/08/2021		
033660	Sealed Concrete (aa)	10/08/2021		
042000	Unit Masonry (pgal)	10/08/2021		
042200	Concrete Unit Masonry (sci)	10/08/2021		
051200	Structural Steel Framing (sci)	10/08/2021		
051213	Architecturally Exposed Structural Steel Framing (sci)	10/08/2021		
052100	Steel Joist Framing (sci)	10/08/2021		
053100	Steel Decking (sci)	10/08/2021		
054000	Cold-Formed Metal Framing (sci)	10/08/2021		
055000	Metal Fabrications (pgal)	10/08/2021		
061000	Rough Carpentry (aa)	10/08/2021		
061600	Sheathing (pgal)	10/08/2021		
064116	Plastic-Laminate-Faced Architectural Cabinets (aa)	10/08/2021		
066400	Plastic Paneling (pgal)	10/08/2021		
068300	Composite Siding (pgal)	10/08/2021		
068313	Thermoplastic Resin Panels (pgal)	10/08/2021		
071113	Bituminous Dampproofing	10/08/2021		
072100	Thermal Insulation	10/08/2021		
072726	Fluid-Applied Membrane Air Barriers	10/08/2021		
074213.13	Formed Metal Wall Panels	10/08/2021		
074213.23	Metal Composite Material Wall And Soffit Panels	10/08/2021		
075423	Thermoplastic-Polyolefin (TPO) Roofing	10/08/2021		
076200	Sheet Metal Flashing And Trim	10/08/2021		
077100	Roof Specialties	10/08/2021		
077129	Manufactured Roof Expansion Joints	10/08/2021		
077200	Roof Accessories	10/08/2021		
078413	Penetration Firestopping	10/08/2021		
078446	Joint Resistant Joint Systems (aa)	10/08/2021		
079200	Joint Sealants (aa)	10/08/2021		
079219	Acoustical Joint Sealants (aa)	10/08/2021		
079513.13	Interior Expansion Joint Cover Assemblies	10/08/2021		
079513.16	Exterior Expansion Joint Cover Assemblies	10/08/2021		
081113	Hollow Metal Doors And Frames (aa)	10/08/2021		
081613	Fiberglass Reinforced Doors And Frames (pgal)	10/08/2021		
083113	Access Doors And Frames (pgal)	10/08/2021		
083323	Overhead Coiling Doors (pgal)	10/08/2021		
083330	Overhead Coiling Grilles (aa)	10/08/2021		
083613	Sectional Doors (aa)	10/08/2021		
084113	Aluminum-Framed Entrances And Storefronts (pgal)	10/08/2021		
084243	Traffic Doors (aa)	10/08/2021		

Exhibit A - Attachment B**Fulton County Animal Shelter**

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Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
084413	Glazed Aluminum Curtain Walls (pgal)	10/08/2021		
085313	Sliding Windows (aa)	10/08/2021		
086250	Tubular Daylighting Devices (aa)	10/08/2021		
087100	Door Hardware (pgal)	10/08/2021		
088000	Glazing (aa)	10/08/2021		
092216	Interior Non-Structural Metal Framing (aa)	10/08/2021		
092900	Gypsum Board (aa)	10/08/2021		
093000	Tiling (aa)	10/08/2021		
095113	Acoustical Panel Ceilings (aa)	10/08/2021		
096513	Resilient Base And Accessories (aa)	10/08/2021		
096516	Resilient Sheet Flooring (pgal)	10/08/2021		
096517	Resilient Sheet Safety Flooring (aa)	10/08/2021		
096723	Resinous Flooring (aa)	10/08/2021		
097200	Wall Coverings (pgal)	10/08/2021		
098433	Sound-Absorbing Wall Units (aa)	10/08/2021		
099113	Exterior Painting (pgal)	10/08/2021		
099123	Interior Painting (pgal)	10/08/2021		
099600	High-Performance Coatings (aa)	10/08/2021		
101000	Slatwall Display Wall (aa)	10/08/2021		
101100	Visual Display Units (pgal)	10/08/2021		
101419	Dimensional Letter Signage (pgal)	10/08/2021		
101423	Panel Signage (pgal)	10/08/2021		
102113.17	Phenolic-Core Toilet Partitions (pgal)	10/08/2021		
102219	Demountable Partitions (pgal)	10/08/2021		
102226	Operational Partitions (aa)	10/08/2021		
102600	Wall And Door Protection (aa)	10/08/2021		
102800	Toilet And Bath Accessories (pgal)	10/08/2021		
104413	Fire Extinguisher Cabinets (aa)	10/08/2021		
104416	Fire Extinguishers (aa)	10/08/2021		
105113	Metal Lockers (aa)	10/08/2021		
107316.06	Metal Entrance Canopies (pgal)	10/08/2021		
111200	Parking Control Equipment (pgal)	10/08/2021		
111323	Portable Dock Equipment (pgal)	10/08/2021		
112000	Animal Care Equipment (aa)	10/08/2021		
113100	Appliances (pgal)	10/08/2021		
114000	Foodservice Equipment (aa)	10/08/2021		
115213	Projection Screens (pgal)	10/08/2021		
122413	Roller Window Shades (aa)	10/08/2021		
123616	Metal Countertops (aa)	10/08/2021		
123623.13	Plastic-Laminate-Clad Countertops (aa)	10/08/2021		
123661	Solid-Surface-Material Countertops And Sills (aa)	10/08/2021		
123662	Quartz Agglomerate Countertops And Sills (aa)	10/08/2021		

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11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
133423	Prefabrication Barns (aa)	10/08/2021		
211000	Fire Suppression (tec)	10/08/2021		
220010	General Requirements (2020)	10/08/2021		
220513	Common Motor Requirements For Plumbing Equipment (2020)	10/08/2021		
220516	Expansion Fittings And Loops For Plumbing Piping (2020)	10/08/2021		
220517	Sleeves And Sleeve Seals For Plumbing Piping (2020)	10/08/2021		
220518	Escutcheons For Plumbing Piping (2020)	10/08/2021		
220519	Meters And Gages For Plumbing Piping (2020)	10/08/2021		
220523.12	Ball Valves For Plumbing Piping (2020)	10/08/2021		
220523.13	Butterfly Valves For Plumbing Piping (2020)	10/08/2021		
220523.14	Check Valves For Plumbing Piping (2020)	10/08/2021		
220529	Hangers And Supports For Plumbing Piping And Equipment (2020)	10/08/2021		
220553	Identification For Plumbing Piping And Equipment (2020)	10/08/2021		
220593	Testing, Adjusting, And Balancing For Plumbing (2020)	10/08/2021		
220719	Plumbing Piping Insulation (2020)	10/08/2021		
220800	Plumbing Systems Commissioning (eg)	10/08/2021		
220963	Medical Gas Alarms (2020)	10/08/2021		
221116	Domestic Water Piping (2020)	10/08/2021		
221119	Domestic Water Piping Specialties (2020)	10/08/2021		
221123.21	Inline, Domestic-Water Pumps (2020)	10/08/2021		
221316	Sanitary Waste And Vent Piping (2020)	10/08/2021		
221330	Sand-Oil Interceptors (2020)	10/08/2021		
221413	Facility Storm Drainage Piping (2020)	10/08/2021		
221623	Facility Natural-Gas Piping (2020)	10/08/2021		
223400	Fuel-Fired, Domestic-Water Heaters (2020)	10/08/2021		
224213	Commercial Plumbing Fixtures (2020)	10/08/2021		
226313	Gas And Vacuum Piping For Animal Healthcare Facilities (2020)	10/08/2021		
230010	General Requirements (2020)	10/08/2021		
230513	Common Motor Requirements For HVAC Equipment (2020)	10/08/2021		
230517	Sleeves And Sleeve Seals For HVAC Piping (2020)	10/08/2021		
230529	Hangers And Supports For HVAC Piping And Equipment (2020)	10/08/2021		
230713	Duct Insulation (2020)	10/08/2021		
230719	HVAC Piping Insulation (2020)	10/08/2021		
230800	Mechanical Systems Commissioning (eg)	10/08/2021		
230923	Direct Digital Control (DDC) System For HVAC (2020)	10/08/2021		
232113	Hydronic Piping (2020)	10/08/2021		
232116	Hydronic Piping Specialties (2020)	10/08/2021		
232123	Hydronic Pumps (2020)	10/08/2021		
232300	Video Surveillance (aed)	10/08/2021		
233113	Metal Ducts (2020)	10/08/2021		
233413	Grilles, Registers, And Diffusers (2020)	10/08/2021		
233423	Fans (2020)	10/08/2021		

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Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
233600	Air Terminal Units (2020)	10/08/2021		
235216	Condensing Boilers (2020)	10/08/2021		
236423.05	Air-Cooled, Heat Recovery Chillers (2020)	10/08/2021		
237223	Outdoor, Air-Handling Units (2020)	10/08/2021		
237223.29	Packaged, Outdoor, Fixed Plate Energy Recovery Units (2020)	10/08/2021		
237343.01	Packages, Outdoor, HW-CW Coil, Dedicated Outdoor Air Units (2020)	10/08/2021		
238126	Ductless Split-System Air-Conditioners (2020)	10/08/2021		
238239.17	Propeller Unit Heaters (2020)	10/08/2021		
260500	Common Work Results For Electrical (aed)	10/08/2021		
260519	Low-Voltage Electrical Power Conductors And Cables (aed)	10/08/2021		
260526	Grounding And Bonding For Electrical Systems (aed)	10/08/2021		
260529	Hangers And Supports For Electrical Systems (aed)	10/08/2021		
260533	Raceways And Boxes For Electrical Systems (aed)	10/08/2021		
260553	Identification For Electrical Systems (aed)	10/08/2021		
260800	Electrical Systems Commissioning (eg)	10/08/2021		
262213	Low-Voltage Distribution Transformers (aed)	10/08/2021		
262413	Switchboards (aed)	10/08/2021		
262416	Panelboards (aed)	10/08/2021		
262726	Wiring Devices (aed)	10/08/2021		
262813	Fuses (aed)	10/08/2021		
262816	Enclosed Switches And Circuit Breakers (aed)	10/08/2021		
263213.14	Diesel Engine Generators (aed)	10/08/2021		
263600	Transfer Switches (aed)	10/08/2021		
264113	Lightning Protection For Structures (aed)	10/08/2021		
265119	LED Interior Lighting (aed)	10/08/2021		
265219	Emergency And Exit Lighting (aed)	10/08/2021		
265619	LED Exterior Lighting (aed)	10/08/2021		
270526	Grounding And Bonding For Communications Systems (aed)	10/08/2021		
270536	Cable Trays For Communications Systems (aed)	10/08/2021		
271100	Communications Equipment Room Fittings (aed)	10/08/2021		
271313	Communications Copper Backbone Cabling (aed)	10/08/2021		
271333	Communications Coaxial Backbone Cabling (aed)	10/08/2021		
271513	Communications Copper Horizontal Cabling (aed)	10/08/2021		
271533	Communications Coaxial Horizontal Cabling (aed)	10/08/2021		
274100	Audio-Visual Systems (aed)	10/08/2021		
274122	Cabling For Audio-Visual Systems (aed)	10/08/2021		
274181	Audio-Visual Control System (aed)	10/08/2021		
281300	Access Control (aed)	10/08/2021		
281305	Video Intercom System (aed)	10/08/2021		
284621.11	Addressable Fire-Alarm Systems (tec)	10/08/2021		
311000	Site Clearing (lowe)	10/08/2021		
311200	Aggregate Piers (sci)	10/08/2021		

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11/18/2021

Spec #	Spec Title	Issue Date	Latest Revision	Revision Number
312000	Earth Moving (lowe)	10/08/2021		
312210	Building Earthwork (sci)	10/08/2021		
313116	Termite Control (pgal)	10/08/2021		
321216	Asphalt Paving (lowe)	10/08/2021		
321313	Concrete Paving (lowe)	10/08/2021		
321400	Unit Paving (pgal)	10/08/2021		
321813	Synthetic Grass Surfacing (aa)	10/08/2021		
323110	Ornamental Fencing (aa)	10/08/2021		
323113	Chain Link Fences And Gates (aa)	10/08/2021		
323119	Decorative Fences And Gates (pgal)	10/08/2021		
323120	Paddock Fencing (aa)	10/08/2021		
329223	Sodding (gf)	10/08/2021		
329310	Landscape Plantings (gf)	10/08/2021		
334200	Stormwater Conveyance (lowe)	10/08/2021		



GEOTECHNICAL EXPLORATION REPORT

Fulton County Animal Services Building

Fulton Industrial Boulevard

Atlanta, Georgia

Lot Number: 17 0268 LL0317

Prepared for:

Department of Real Estate and Asset Management

Fulton County Government Center

141 Pryor Street, SW

Suite 6001

Atlanta, Georgia 30303

Prepared by:

Wood Environment & Infrastructure Solutions, Inc.

2677 Buford Hwy. NE

Atlanta, GA 30324

July 2, 2020

Project No. 6162-20-1408

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July 2, 2020

Mr. Bill Mason
Facilities Program Manager
Department of Real Estate and Asset Management
Fulton County Government Center
141 Pryor Street, SW
Suite 6001
Atlanta, Georgia 30303

Subject: **Report of Geotechnical Exploration
Fulton County Animal Services Building
Fulton Industrial Boulevard
Atlanta, Georgia
Wood Project: 6162201408**

Dear Mr. Mason:

Wood Environment and Infrastructure Solutions, Inc. (Wood) is pleased to submit this report of Geotechnical Exploration for above-referenced property in Atlanta, Fulton County, Georgia. This exploration was conducted in general accordance with Wood's Proposal dated March 13, 2020.

This report briefly discusses our understanding of the project, describes our exploratory procedures and results, and presents our conclusions and recommendations related to the project design and construction. We appreciate your selection of Wood for this project and look forward to assisting you further on this and other projects. If you have any questions, please contact us.

Sincerely,

Wood Environment & Infrastructure Solutions, Inc.

A handwritten signature in black ink, appearing to read "Kayla Andrews".

Kayla Andrews, E.I.T.
Geotechnical Specialist

A handwritten signature in blue ink, appearing to read "Pieter DePree".

Pieter DePree, PE
Sr. Assoc. Geotechnical Engineer



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Atlanta, Georgia
Geotechnical Investigation Report

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- Field and Laboratory Procedures
- Key to Symbols and Descriptions
- Soil Test Boring Records
- Laboratory Test Records
- GBA Information about Geotechnical Reports



GEOTECHNICAL EXPLORATION REPORT

Proposed Project: Fulton County Animal Services Building
Fulton Industrial Boulevard
Atlanta, GA

1.0 INTRODUCTION

Wood has completed a geotechnical exploration for the proposed construction of the new Fulton County Animal Services Building (FCASB), located on Fulton Industrial Boulevard in Atlanta, Georgia. The objective of the exploration was to assess the subsurface conditions in the area of the proposed new development and to analyze these conditions as they relate to foundation design and construction. This report briefly discusses our understanding of the project, describes our exploratory procedures and presents our conclusions and recommendations.

1.1 SITE DESCRIPTION

We understand the following based on documents provided by Don Green of CBRE-Heery. The site is a triangular shaped, approximately 44.2-acre parcel located just east of Charlie Brown Airport along Fulton Industrial Boulevard, west of Bolton Road (see Figure 1). It is bounded to the northwest by Fulton Industrial Boulevard, to the east by a power line easement, and to the south by undeveloped tracts that are part of a runway protection zone for the airport and which contain a drainage feature.

The site is undeveloped and partially wooded with a thick growth of young trees. Aerial photos show no evidence of significant previous development or grading but indicate the site was cleared in 2014-15 and large amounts of mulch were left around the site surface. Much of this mulch remains on the site. Site grades vary from high points around elevation 826 feet in the northern corner sloping down to the south and southwest to a low point of about 782 feet in a drainage at the extreme south corner.

1.2 PROJECT DESCRIPTION

The building will be a large (roughly 500 by 200 feet out-to-out), single-story, metal frame structure facing Fulton Industrial Boulevard with parking areas to the northeast and southwest (see Figure 2). A barn will be located near the southwestern corner of the site. Landscape areas, including outdoor exercise yards, will be located in front of and behind the building. Detailed grading information is not yet available, but the finished floor elevation is anticipated to be about 806 feet elevation (NGVD) and surrounding drives, parking, and yard areas will likely be near this, such that excavation up to about 20 feet and fill up to about 15 feet is anticipated to level the site. Excavation for utility trenches is also likely. We are not aware of plans for basements, but site retaining walls to allow grade changes around the building to better match existing site topography are likely and may be up to 15 feet high. Building load details were not provided but we anticipate column loads of 200 kips or less and wall loads of 5 kips per linear foot based on experience with similar construction.

1.3 FIELD EXPLORATION

Fifteen soil test borings were drilled to depths between 22 and 30 feet. Standard penetration tests were performed using a CME-55 drill rig utilizing and automatic hammer. The boring locations

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were located in the field by a geotechnical engineer using coordinates obtained from Google Earth and a handheld GPS unit with a positional error of about 15 feet. Boring elevations were interpolated based on the provided site topographic plan. Since these methods are imprecise, the boring elevations and the boring locations (shown on the Boring Location Plan, Figure 2) should be considered approximate.

The Soil Test Boring Records in the Appendix graphically show the penetration resistances and present the soil descriptions for selected SPT borings. The stratification lines and depth designations on the boring records represent the approximate boundaries between soil types. Transitions between soils may be gradual. Brief descriptions of the exploratory drilling and sampling techniques used are presented in the Field and Laboratory Procedures section of the Appendix.

2.0 SUBSURFACE CONDITIONS

The subsurface conditions discussed in the following paragraphs and those shown on the Soil Test Boring Records represent an interpretation of the boring and other data using normally accepted geotechnical engineering judgments considering local geology and experience.

2.1 AREA AND SITE GEOLOGY

The project site is in the Piedmont Physiographic Province, an area underlain by metamorphic rocks with localized igneous intrusions. The residual soils encountered in the Piedmont are the product of in-place chemical and physical weathering of the parent rock. Typically, weathering is most advanced at the surface and decreases with depth. This results in a residual soil profile consisting of slightly clayey soils near the surface underlain by sandy silts and silty sands that generally become harder or denser and coarser with depth to the top of the unweathered bedrock. In deeper residual soil strata, known as saprolites, the banded structural appearance of the parent rock is typically evident.

The boundary between soil and rock in the Piedmont is typically not sharply defined. A transitional zone termed "partially weathered rock" is normally found overlying bedrock. Partially weathered rock (PWR) is arbitrarily defined for engineering purposes as residual material with a standard penetration resistance exceeding 100 blows per foot (bpf). Weathering is facilitated by fractures, joints, and by the presence of less resistant rock types. Consequently, the surface elevation of PWR and unweathered rock can vary significantly over short horizontal distances. Lenses and boulders of hard rock and zones of PWR may be present within the soil mantle, above the general bedrock level.

2.2 SITE STRATIGRAPHY

Table 1, below and the following paragraphs describe subsurface conditions encountered in our exploration. The boring logs in the Appendix represent our interpretation of the subsurface conditions encountered based on the driller's field logs and the engineer's examination of the samples. The groundwater condition indicated on the boring logs represent observations at the time of drilling. The lines designating the interfaces between various strata represent approximate boundaries only, as transition between materials may be gradual. Soil conditions may vary between and away from boring locations. Soil samples will be discarded after 30 days from the date of this report.

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Table 1: Summary of Boring Results

Boring ID	Surface Elevation (ft)	Soils <6 bpf Elev. (ft)	Groundwater Elevation (ft)	PWR Elevation (ft)	Termination Elevation (ft)
B-1	805	793-799	NE	NE	775
B-2	812	799-804	NE	NE	782
B-3	812	NE	798	NE	782
B-4	809	798-803	NE	NE	779
B-5	806	795-803	790	789	776
B-6	808	796-808	792	786	778
B-7	803	NE	NE	786	773
B-8	799	794-797	NE	791	769
B-9	810	NE	795	783	780
B-10	801	793-798	789	NE	771
B-11	797	789-794	NE	770	767
B-12	792	NE	779	775	770(AR)
B-13	801	790-798	789	NE	778(AR)
B-14	820	NE	804	NE	790
B-15	826	810-814	NE	NE	796

AR-Auger Refusal

NE-Not encountered (for GW, none encountered shortly after completion)

2.2.1 Topsoil

Approximately 3-8 inches of organic topsoil was encountered in most borings. Site clearing in 2014-15 likely removed topsoil in some areas. None of the borings was located in areas of apparent mulch disposal. The now 5-year-old mulch is likely degraded significantly but will add to the topsoil quantity on site. For planning, we suggest an assumption of 1 foot of topsoil, mulch, and root/stump removal across the site.

2.2.2 Residual Soils

Residual soils were typical of the area, composed of sandy silt near the surface transitioning to silty sand with depth and were encountered in all the borings below the surface/topsoil. SPT N-values in these soils ranged from 3 to 46 blows per foot (bpf). Significant layers of soil with SPT N-values of 5 or below were encountered in two thirds of the borings and appear to range from about 3 to 12 feet thick. Some low consistency surficial soils were not included in this total.

2.2.3 Partially Weathered Rock and Refusal Materials

Borings 5-9 (within the building footprint) as well as 11 and 12 encountered PWR at elevations as high as 789 feet. Borings 12 and 13, located southeast of the building in a lower part of the site, encountered auger refusal at depths of 22 and 23 feet. Refusal in the residual profile is typically interpreted as the upper surface of sound, massive rock, though it may represent a seam or boulder of hard rock. The elevation of the surface of PWR and rock in the Piedmont can vary significantly over short horizontal distances, so PWR and rock may occur at shallower depths between or away from the borings. Boulders, seams, and masses of rock may occur in the soil mantle above the general rock elevation, though it is rare for weak, soft, or highly compressible soils to occur beneath such seams in the Piedmont geology.

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2.2.4 Groundwater

All the borings were completed in a single day (using 2 drilling rigs) so that stabilized groundwater levels were not obtained. Drilling occurred following several days of wet weather. Groundwater was encountered most of the borings. The expectation for natural conditions is that groundwater will mimic the surface gradients but be slightly deeper beneath ridges and hills and shallower in valleys. This trend is apparent, though elevated levels in B-5 and B-6 may be due to increased infiltration due to poor drainage/increased infiltration resulting from the piles of mulch. Groundwater levels can fluctuate with changes in weather and local drainage.

3.0 CONCLUSIONS AND RECOMMENDATIONS

The following conclusions and recommendations are based on the previously discussed project information, our observations at the site, interpretation of the field data obtained during the exploration, and our experience with similar subsurface conditions.

3.1 SITE PREPARATION

All vegetation, including root systems, topsoil, and deleterious materials, notably the mulch present in most of the site, should be cleared and stripped from areas to be excavated or that will receive fill, foundations, or pavements. These materials should be disposed of as allowed by the local jurisdiction. Topsoil and mulch as well as mulched vegetation may be re-used in landscape areas, if consistent with establishment of erosion control grassing. We recommend against burial of any organic matter at the site.

After stripping, proofrolling should be performed with a fully-loaded, tandem-axle, dump truck or pneumatic tired vehicle of similar size and weight. The geotechnical engineer or his representative should observe proofrolling to observe site conditions. Proofrolling should be performed after a period of dry weather. Unstable materials detected should be stabilized as directed by the engineer based on conditions and planned development of the area. Such treatment may include stabilization in place, excavation and replacement, or densification. Where the low consistency soils are encountered at or near the surface, thorough densification using compaction equipment will likely be required, possibly with some scarification and moisture conditioning.

3.2 EXCAVATION

Substantial site grading is anticipated. Soils can generally be excavated using conventional equipment (excavators, pan scrapers, loaders). PWR and rock may be encountered at any depth but are increasingly likely in deeper excavations. PWR typically requires ripping with a single tooth ripper on a large trackhoe (CAT 325) or crawler tractor (CAT D-8) for mass excavation. The ripping may take advantage of existing seams and weaknesses in the mass. In confined excavation, such as the edges or trenches, ripping may be more difficult and pneumatic tools or blasting may be required. Hard rock typically requires loosening by blasting for removal. Due to the substantially higher costs associated with blast rock removal, we recommend ripping or other measures be used until demonstrated to be ineffective before blasting begins. Use of loose soil or blast mats over the rock should be considered to control fly rock. Drilling and blasting through overburden increasing the confinement and is likely to result in higher overall costs and vibrations.

3.3 GROUND AND SURFACE WATER CONTROLS

Groundwater may be encountered in deeper excavations but can typically be controlled with sumps. Groundwater may not be immediately apparent during excavation but will accumulate in

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the excavation bottom over time or overnight. Seepage may soften/weaken subgrades. Therefore, we recommend groundwater be controlled by means of sumps or trenches to maintain groundwater levels at least 3 feet below the bottom of the excavation at intermediate points between sumps or trenches. Groundwater flows are likely to be limited to a few gallons per minute by the relatively low permeability and transmissivity of the soils.

Positive site drainage should be maintained at all times and excavations should be protected from surface water accumulation. Any ponded water should be pumped or drained expeditiously to avoid degradation of subgrade.

3.4 FILL PLACEMENT

Fill to raise grades, backfill trenches, or replace over-excavated areas should be low to moderate plasticity soil (PI less than 30), free of deleterious materials and rock fragments larger than 6 inches in any dimension. Rock fragments should be rare and sufficient soil should be present to completely separate and fill voids between them. Site soils should meet these requirements. Excavated PWR can generally be pulverized into acceptable fill by trafficking with heavy equipment. Hard rock (blast rock fragments) are typically too large for re-use in fill and would require special crushing operations that are typically not justified on projects of this size. Therefore, blast rock should be used on the surface in landscape areas, for outlet protection in stormwater ponds, etc. or wasted off site. We recommend against burial of blast rock boulders.

Fill should be placed in thin (8-inch-thick loose measure) lifts and compacted to at least 95 percent of the soil's maximum dry density as determined by the standard Proctor compaction test (ASTM D 698) at moisture contents as required to achieve compaction, but in no case more than 3 percent above or below optimum moisture as determined by the standard Proctor test. The upper 2 feet of fill beneath foundations, slabs, or pavements should be compacted to 98 percent. Where access or other limitations require use of light compaction equipment, such as in utility trench excavations, the lift thickness should be reduced to achieve the required degree of compaction throughout the layer. All fill should be placed in horizontal lifts which are adequately keyed into the prepared and scarified subgrade soils.

The grading contractor have equipment on site during earthwork for both drying and wetting fill. Wood does not anticipate difficulty in controlling moisture within the fill during dry weather, but moisture control may be difficult during winter or extended periods of rain.

3.5 LOW CONSISTENCY SOILS

Significant zones of low consistency soils were encountered in many of the borings and may occur randomly across the site. These soils are likely to compress under load. Grading may remove some of these soils and others may be buried deeply under planned fill. Placement of fill over such soils may result in significant settlement due to compression of these zones. Therefore, we recommend using settlement plates (see detail in Appendix) to monitor settlement of significant fill areas (area fills greater than 5 feet thick). The settlement may be several inches, enough to impact site grading quantities. Construction of settlement sensitive elements, such as buildings, gravity utilities, etc. should be delayed until the fill settlement is largely complete, which may be typically about 6-10 weeks after completion of the fill.

3.6 FOUNDATION RECOMMENDATIONS

We anticipate the proposed building can be founded on shallow, spread footings, though much of the building will require treatment of the low consistency soils. If the soils are removed by grading

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and/or buried more than about 1.5 to 2 times the footing width under fill beneath the footing, the impact on footings will be minimal. But where footings bear within that distance above the low consistency soils, treatment will be required. Treatment may include general undercut and replacement (reuse of the low consistency soils with moisture conditioning and compaction should generally be feasible), undercut of footings and replacement with compacted #57 stone placed in 12 inch lifts and compacted by tamping with the backhoe bucket, or use of aggregate piers.

Aggregate piers are installed by specialty contractors using various methods and described as rammed aggregate piers, stone columns, Vibropiers, Geopiers or others. The concept is to replace some of the soil with compacted aggregate which improves the surrounding soil and allows support of shallow footings designed for bearing pressures of 5,000 to 6,000 psf. The specialty contractor normally does the design and provides a warranty on the settlement. The aggregate piers typically replace about 20-30 percent of the bearing area to a depth below the low-consistency zone or at least about twice the footing width, so likely 10-20 feet for this project.

Numerous other ground improvement methods are available (dynamic compaction, preloading, grouting, etc.) but aggregate piers are likely the most practical for this project.

Alternately, the footings could be designed based on a presumptive bearing pressure of 3,000 psf and the geotechnical engineer can evaluate each footing independently. If low consistency soils are detected that would produce unacceptable settlements, the engineer will recommend undercut and replacement. Undercut would extend 1 foot around the footing. Replacement would be with compacted ASTM 57 stone, placed in 12-inch loose lifts and compacted remotely by tamping with the backhoe bucket. This approach may be cumbersome for large numbers of footings but may be cost-effective compared to the more general aggregate pier treatment if only a few footings are expected to be treated.

3.7 RETAINING WALLS

No specific information was provided for on site or below grade walls planned for this site, but it is anticipated that the site will likely step down to the southwest and south, so may require site walls up to about 15 feet high as well as possible dock walls in the loading dock area. Lateral earth pressure parameters for a typical fill material (sandy silt/silty sand) compacted as outlined in the fill section of this report are summarized in Table 2, below. These assume the ground is level above and below the walls and that buildings, pavements, or other surcharge loads are at least 10 feet from the top of walls and that the walls have drainage systems to prevent back up of groundwater or surface water behind the walls:

Table 2. Lateral Earth Pressure Parameters

Earth Pressure Condition	Earth Pressure Coefficient	Recommended Equivalent Fluid Unit Weight (pcf)
Active	$K_a = 0.39$	50
At-Rest	$K_0 = 0.56$	73
Passive	$K_p = 1.3$	150

A coefficient of friction of 0.4 may be considered between the wall foundation and the soils. Wall settlement may be impacted by the low consistency soils and treatment as per building foundations should be considered. Mechanically Stabilized Earth walls, typically constructed by placing a fill reinforced with geogrids and faced with concrete blocks, are cost-effective and commonly used in fill areas. If site soils are used, we recommend an angle of internal friction of 26 degrees and a unit

Exhibit A - Attachment C Fulton County Animal Shelter

Fulton County Animal Services Building
Atlanta, Georgia
Geotechnical Investigation Report

weight of 130 pcf for the backfill (compacted per the above) and foundation. MSE walls are flexible and may withstand settlements due to the low-consistency soils better than concrete cantilever walls. In excavations, soil nail walls may be considered. The design concept is similar to MSE, but the construction uses using top-down methods during excavation. Tensile reinforcing bars are installed into the excavation face to a distance of about 0.7 or 0.8 times the wall height, typically on a 4 to 5-foot centers. A facing of shotcrete is then applied over a drainage system. Design may consider the same parameters as for MSE walls. MSE and soil nail walls are typically design build options installed by specialty contractors.

3.8 SLABS

Floor slabs on grade should be typical of the area. A modulus of subgrade reaction of about 100 pounds per cubic inch (pci) should be available for slab support of generally light (pedestrian/office) loads on a properly prepared soil subgrade as discussed in the site preparation section above. The floor slab design should include a capillary break, comprised of free draining, compacted, granular material, at least 4 inches thick. In our experience, the granular material helps provide more even support and improved slab performance. A vapor retarder is recommended under floor slabs to limit moisture entry into the building. Slabs should be jointed along walls and around columns to reduce the risk of cracking due to differential settlement. Jointing and reinforcement should follow ACI.

Floor slabs should be structurally independent of any building footings or walls to reduce the possibility of floor slab cracking caused by differential movements between the slab and foundation. Narrower, turned down slab-on-grade foundations may be utilized at the approval of the structural engineer. The slabs should be appropriately reinforced to support the proposed loads.

3.9 PAVEMENT RECOMMENDATIONS

A California Bearing Ratio (CBR) value of 3 may be considered for well-prepared subgrade consisting of site soils. Pavements for parking and driveways restricted to automobile traffic typically consist of 2 inches of asphaltic concrete over a 6-inch graded aggregate base. Pavements for truck traffic, such as garbage trucks, should be designed based on anticipated traffic but are typically thicker. Rigid Portland Cement Concrete (PCC) pavements are recommended for dumpster pads, loading docks, and other areas where heavy trucks maneuver or point loads are applied. We recommend a minimum PCC section of 8 inches of PCC with a flexural strength of at least 600 psi (typically about 4,000 psi concrete) over 4 inches of graded aggregate base.

A well-drained, uniform subgrade is critical to pavement performance. Sealing of pavement and joints is recommended, but experience shows that stormwater can typically reach the subgrade. The subgrade should be sloped to drain and GAB should be provided with outlets at the low edges or into drop inlets to prevent accumulation of water in the subgrade which can lead to saturation and softening.

3.10 SEISMIC DESIGN PARAMETERS

The International Building Code (IBC) 2012 provides six Site Class Definitions that range from hard rock (A) to potentially unstable soil (F). Each site class is described by the average shear wave velocity, standard penetration resistance, or soil undrained shear strength in the top 100 feet of the site profile. The shear wave velocity is related to the site column shear modulus, whereas the standard penetration resistance and undrained shear strength can be empirically related to the shear wave velocity. Each site class is associated with amplification factors that represent the

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effects that site stiffness (shear modulus) has on the presumed earthquake bedrock motion. Based on SPT results, we recommend design based on Site Class D. This can be reviewed once grading plans are more complete, and/or geophysical methods can be used to directly assess site shear wave velocities in the building, which may allow use of a higher site class.

4.0 QUALIFICATIONS OF RECOMMENDATIONS

This evaluation of foundation design and construction conditions has been based on our understanding of the site, the available project information, our assumptions and the data obtained during our field exploration as described herein. The recommendations in this report have been developed on the basis of the previously described project characteristics and subsurface conditions. As the design develops, we should be consulted to review and potentially revise these recommendations.

Regardless of the thoroughness of a subsurface exploration, there is the possibility that conditions will differ from those at the boring location, that conditions are not as anticipated by the designers, or that the construction process has altered the soil conditions. Therefore, experienced geotechnical engineers must observe earthwork and foundation construction to assess if the conditions anticipated in design actually exist.

Our professional services have been performed, our findings derived, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties either express or implied. This company is not responsible for the conclusions, opinions or recommendations of others based on these data.



APPENDIX

Figure 1 – Site Location Plan

Figure 2 – Boring Location Plan

Field and Laboratory Procedures

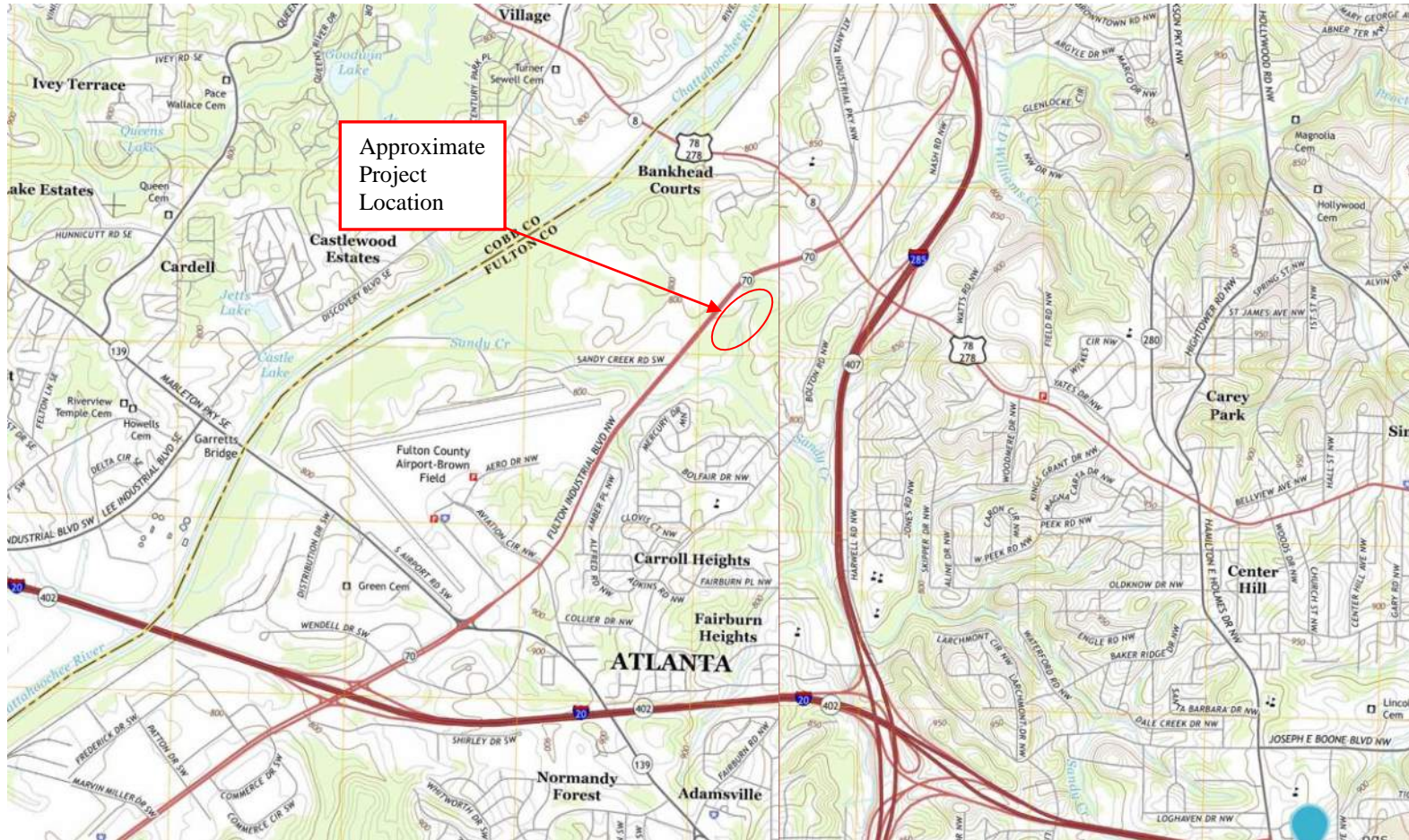
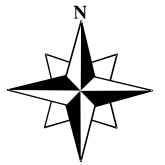
Key to Symbols and Descriptions

Soil Test Boring Records

GBA Information about Geotechnical Reports

Exhibit A - Attachment C

Fulton County Animal Shelter



Source: USGS, 2014 Northwest Atlanta, GA

NOT TO SCALE

**Fulton County Animal Services
Building
Industrial Boulevard
Atlanta, Georgia**



Wood Environment & Infrastructure Solutions, Inc.
2677 Buford Highway
Atlanta, Georgia 30324 (404) 873 4761

SITE LOCATION MAP

PROJECT: 6162201408

DATE: April 14, 2020

FIGURE 1

Exhibit A - Attachment C

Fulton County Animal Shelter



Source: PGAL Fulton County Animal Services Building: Approximate Geotechnical Boring Locations (3/19/2020)

● Approximate Boring Location

Fulton County Animal Services Building
 Industrial Boulevard
 Atlanta, Georgia

wood.
 Wood Environment & Infrastructure Solutions, Inc.
 2677 Buford Highway
 Atlanta, Georgia 30324 (404) 873 4761

BORING LOCATION PLAN

PROJECT: 6162201408

DATE: April 14, 2020

FIGURE 2

FIELD EXPLORATORY PROCEDURES

Field Operations: The general field procedures employed by Wood are summarized in ASTM D 420, which is entitled "Investigating and Sampling Soils and Rocks for Engineering Purposes." This recommended practice lists recognized methods for determining soil and rock distribution and groundwater conditions. These methods include geophysical and in situ methods as well as borings.

Borings are drilled to obtain subsurface samples using one of several alternate techniques depending upon the subsurface conditions. These techniques are:

- a. Continuous 2-1/2 or 3-1/4 inch I.D. hollow stem augers;
- b. Wash borings using roller cone or drag bits (mud or water);
- c. Continuous flight augers (ASTM D 1425).

These drilling methods are not capable of penetrating through material designated as "refusal materials." Refusal, thus indicated, may result from hard cemented soil, soft weathered rock, coarse gravel or boulders, thin rock seams, or the upper surface of sound continuous rock. Core drilling procedures are required to determine the character and continuity of refusal materials.

The subsurface conditions encountered during drilling are reported on a field test boring record by the chief driller. The record contains information concerning the boring method, samples attempted and recovered, indications of the presence of various materials such as coarse gravel, cobbles, etc., and observations between samples. Therefore, these boring records contain both factual and interpretive information. The field boring records are on file in our office.

The soil and rock samples and the field boring records are reviewed by a geotechnical engineer. The engineer classifies the soils in general accordance with the procedures outlined in ASTM D 2488 and prepares the final boring records that are the basis for all evaluations and recommendations.

The final boring records represent our interpretation of the contents of the field records based on the results of the engineering examinations and tests of the field samples. These records depict subsurface conditions at the specific locations and at the particular time when drilled. Soil conditions at other locations may differ from conditions occurring at these boring locations. Also, the passage of time may result in a change in the subsurface soil and groundwater conditions at these boring locations. The lines designating the interface between soil or refusal materials on the records and on profiles

represent approximate boundaries. The transition between materials may be gradual. The final boring records are included with this report.

The detailed data collection methods used during this study are discussed on the following pages.

Soil Test Borings: Soil test borings were made at the site at approximate locations shown on the attached Boring Location Plan. Soil sampling and penetration testing were performed in general accordance with ASTM D 1586.

Each boring was made by mechanically twisting a hollow-stem steel auger into the soil. At regular intervals, the drilling tools were removed and soil samples obtained with a standard 1.4-inch I.D., 2-inch O.D., split tube sampler. The sampler was first seated 6 inches to penetrate loose cuttings, then driven an additional foot with blows of a 140-pound hammer falling 30 inches. The number of hammer blows required to drive the sampler the final foot was recorded and is designated the "penetration resistance." The penetration resistance, when properly evaluated, is an index to the soil strength and foundation supporting capability.

Representative portions of the soil samples, thus obtained, were placed in glass jars and transported to the laboratory. In the laboratory, the samples were examined to evaluate the driller's field classifications. Test boring records are attached which graphically show the soil descriptions and penetration resistances.

Water Level Readings: Water table readings are normally taken in conjunction with borings and are recorded on the "Test Boring Records." These readings indicate the approximate location of the hydrostatic water table at the time of our field investigation. Where impervious soils are encountered (clayey soils) the amount of water seepage into the boring is small, and it is generally not possible to establish the location of the hydrostatic water table through water level readings. The groundwater table may also depend on the amount of precipitation at the site during a particular period. Fluctuations in the water table should be expected with variations in precipitation, surface run-off, evaporation and other factors.

The time of boring water level reported on the boring records is determined by field crews as the drilling tools are advanced. The time of boring water level is detected by changes in the drilling rate, soil samples obtained, etc. The readings are taken by dropping a weighted line down the boring or using an electrical probe to detect the water level surface.

Rock Coring: Core drilling procedures were utilized to determine the character and continuity of materials below the soil drilling refusal level. The core drilling procedure is performed in general accordance with ASTM designation D-2113-70. Initially, casing is set through the overburden soils to keep the hole from collapsing. Refusal materials are then cored with a diamond-studded bit fastened to the end of a hollow double-tube core barrel. This device is rotated at high speeds and is capable of cutting the hardest rock. The cuttings are brought to the surface by circulating water. Rock core samples of the materials penetrated are protected and retained in a swivel-mounted inner tube. Upon completion of the drill run, the core barrel is brought to the surface and the samples are removed and placed in core boxes. The samples are then returned to our laboratory where the rock is identified and the “recovery” and “rock quality designation” (RQD) are determined.

Rock Hardness descriptions are listed below:

























Rock Hardness Descriptions

Very Hard	Rock core rings and can be made to spark when struck with a hammer
Hard	Rock core rings when struck with a hammer
Moderately Hard	Thin edges of rock core cannot be broken with fingers
Soft	Thin edges of rock core can be broken with fingers
Very Soft	Rock core crumbles when handled

The “recovery” is the ratio of the sample length to the length drilled, expressed as a percent. The “rock quality designation” (RQD) is the percent of recovered rock sample in segments four or more inches long compared to the total length of the run. This designation is generally applied only to samples of NX size or larger and to samples described as moderately hard or harder. The percent recovery and RQD are related to rock soundness and continuity. The NX size designates a bit which obtains core samples 2-1/8 inches in diameter.

Exhibit A - Attachment C

Fulton County Animal Shelter

MAJOR DIVISIONS			GROUP SYMBOLS	TYPICAL NAMES	Undisturbed Sample	Auger Cuttings		
COARSE GRAINED SOILS (More than 50% of material is LARGER than No. 200 sieve size)	GRAVELS (More than 50% of coarse fraction is LARGER than the No. 4 sieve size)	CLEAN GRAVELS (Little or no fines)	 GW	Well graded gravels, gravel - sand mixtures, little or no fines.	 Standard Penetration Test or Dynamic Cone Penetration Test	 Bulk Sample		
		GRAVELS WITH FINES (Appreciable amount of fines)	 GP	Poorly graded gravels or gravel - sand mixtures, little or no fines.			 Rock Core	 Crandall Sampler
		SANDS (More than 50% of coarse fraction is SMALLER than the No. 4 Sieve Size)	CLEAN SANDS (Little or no fines)	 GM	Silty gravels, gravel - sand - silt mixtures.	 Dilatometer		
				 GC	Clayey gravels, gravel - sand - clay mixtures.		 Packer	 No Recovery
	FINE GRAINED SOILS (More than 50% of material is SMALLER than No. 200 sieve size)	SILTS AND CLAYS (Liquid limit LESS than 50)	 SW	Well graded sands, gravelly sands, little or no fines.	 Water Table at time of boring	 Water Table after 24 hours		
			 SP	Poorly graded sands or gravelly sands, little or no fines.				
			Correlation of Standard Penetration Resistance with Relative Density and Consistency					
			SAND & GRAVEL				SILT & CLAY	
			No. of Blows	Relative Density			No. of Blows	Consistency
			0 - 4	Very Loose			0 - 2	Very Soft
5 - 10	Loose	3 - 4	Soft					
11 - 30	Medium Dense	5 - 8	Firm					
31 - 50	Dense	9 - 15	Stiff					
Over 50	Very Dense	16 - 30	Very Stiff					
		31 - 50	Hard					
		Over 50	Very Hard					
SILTS AND CLAYS (Liquid limit GREATER than 50)	SILTS AND CLAYS (Liquid limit GREATER than 50)	 ML	Inorganic silts and very fine sands, rock flour, silty of clayey fine sands or clayey silts and with slight plasticity.	Correlation of Dynamic Cone Penetration Resistance with Relative Density and Consistency (Piedmont Residual Soils)				
		 CL	Inorganic lays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.					
		 OL	Organic silts and organic silty clays of low plasticity.					
		 MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.					
SILTS AND CLAYS (Liquid limit GREATER than 50)	SILTS AND CLAYS (Liquid limit GREATER than 50)	 CH	Inorganic clays of high plasticity, fat clays	Correlation of Dynamic Cone Penetration Resistance with Relative Density and Consistency (Piedmont Residual Soils)				
		 OH	Organic clays of medium to high plasticity, organic silts.					
		 PT	Peat and other highly organic soils.					
HIGHLY ORGANIC SOILS			 PT	Peat and other highly organic soils.	Correlation of Dynamic Cone Penetration Resistance with Relative Density and Consistency (Piedmont Residual Soils)			
FILL			 Fill	Fill				

BOUNDARY CLASSIFICATIONS: Soils possessing characteristics of two groups are designated by combinations of group symbols.

SILT OR CLAY	SAND			GRAVEL			Cobbles	Boulders
	Fine	Medium	Coarse	Fine	Coarse			
	No.200	No.40	No.10 No.4	3/4"	3"	12"		

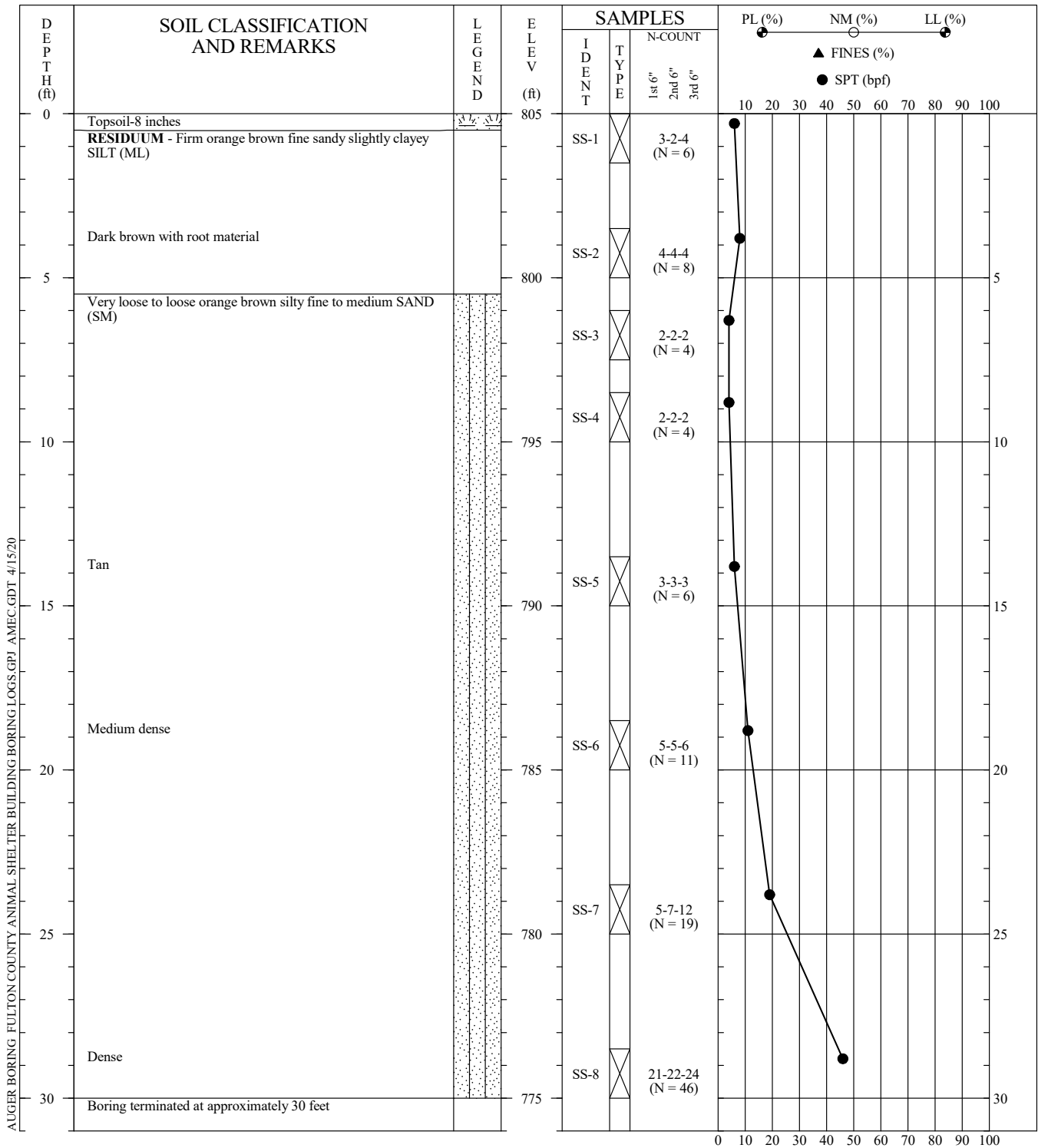
U.S. STANDARD SIEVE SIZE

KEY TO SYMBOLS AND DESCRIPTIONS



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

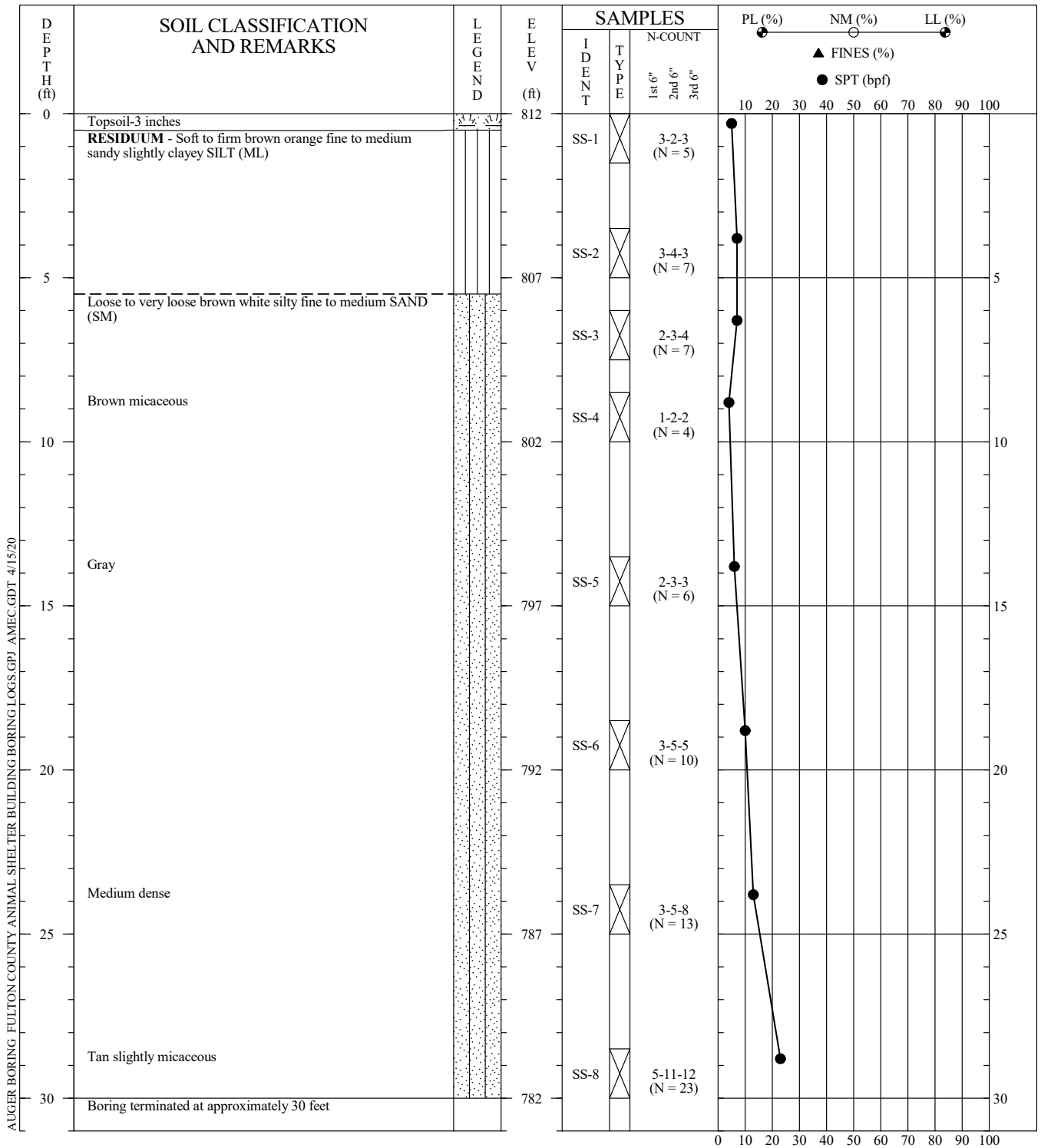
BORING NO.: B-1
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

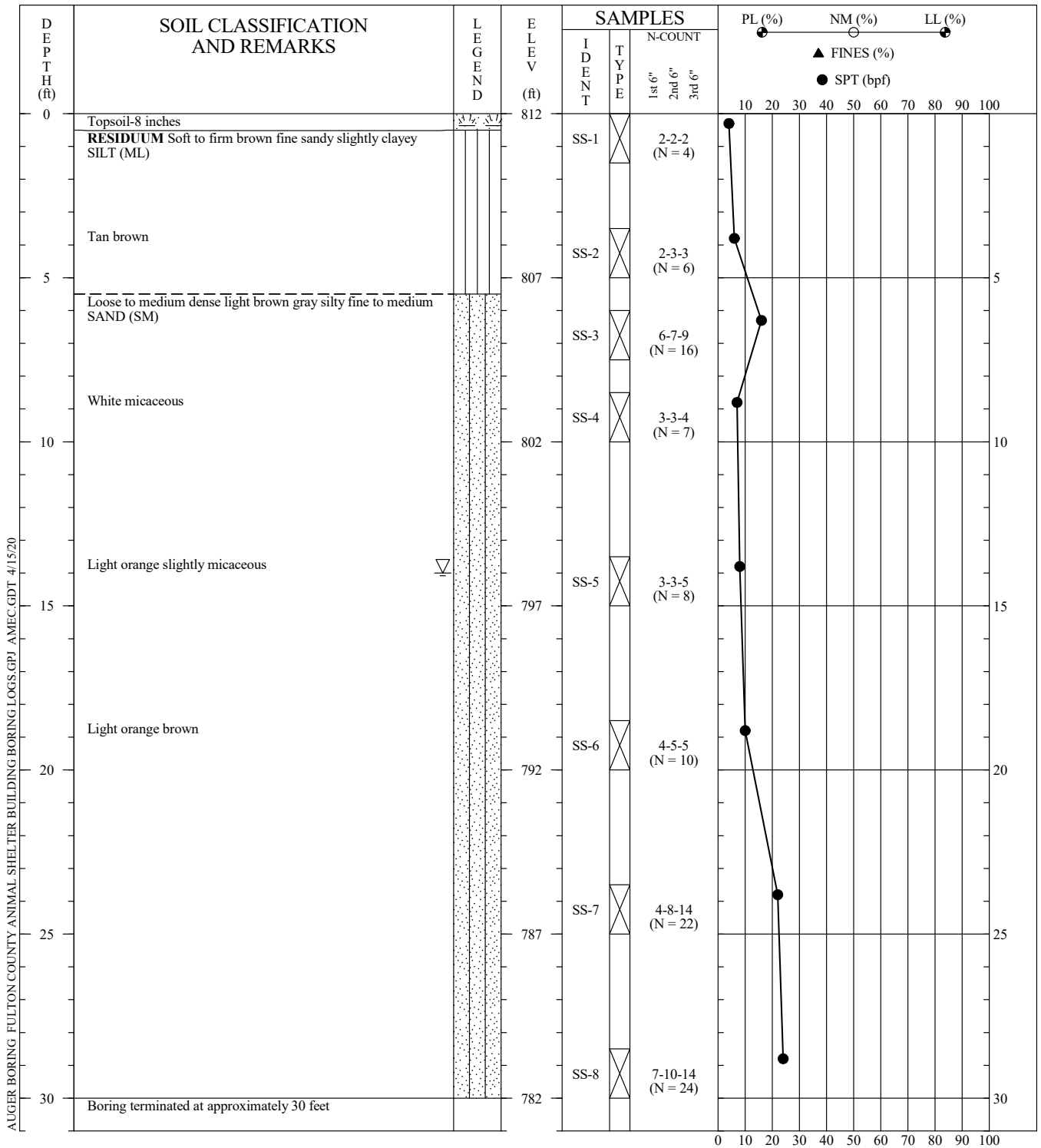
BORING NO.: B-2
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 14 feet at time of drilling

AUGER BORING RECORD

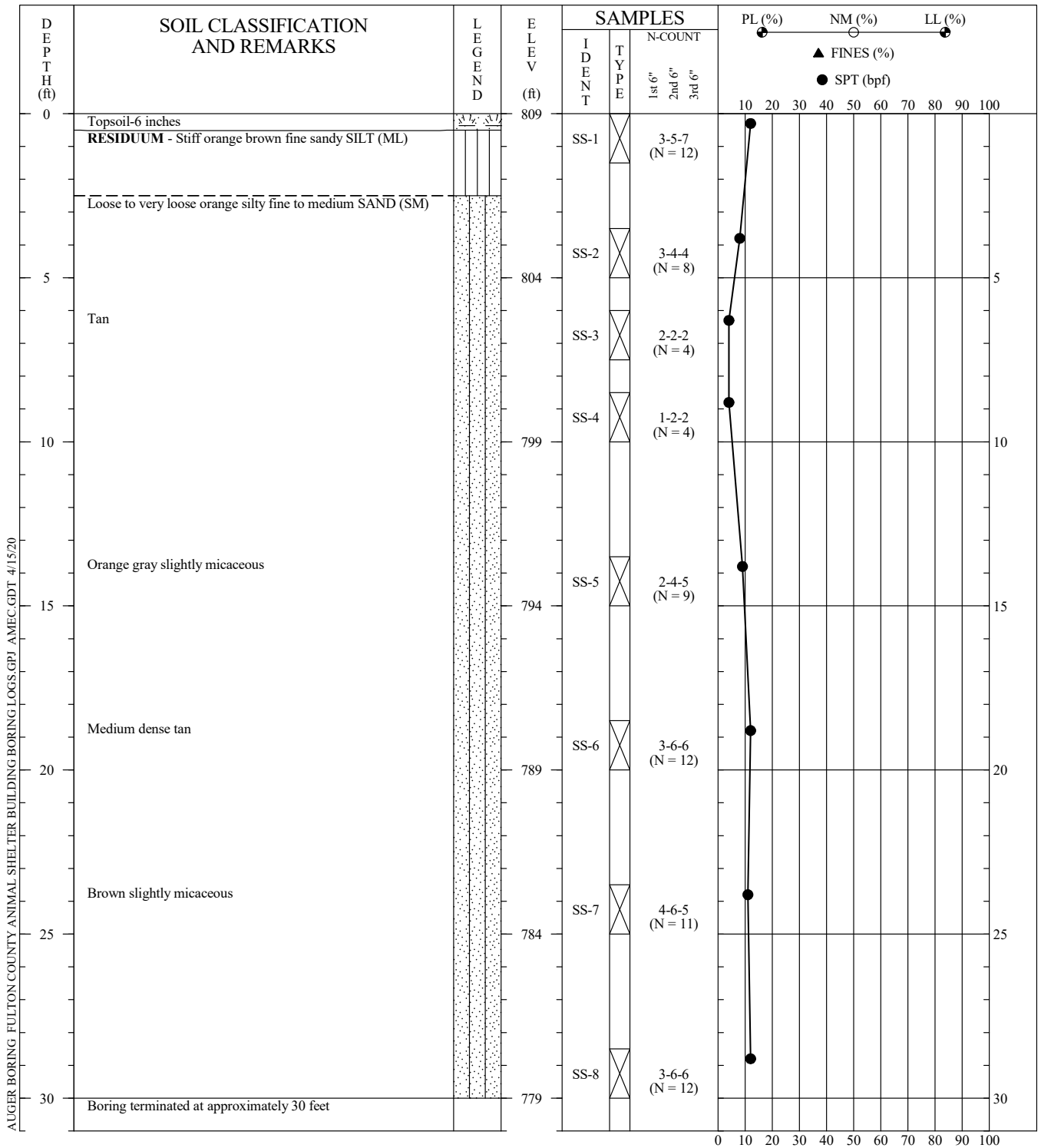
BORING NO.: B-3
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

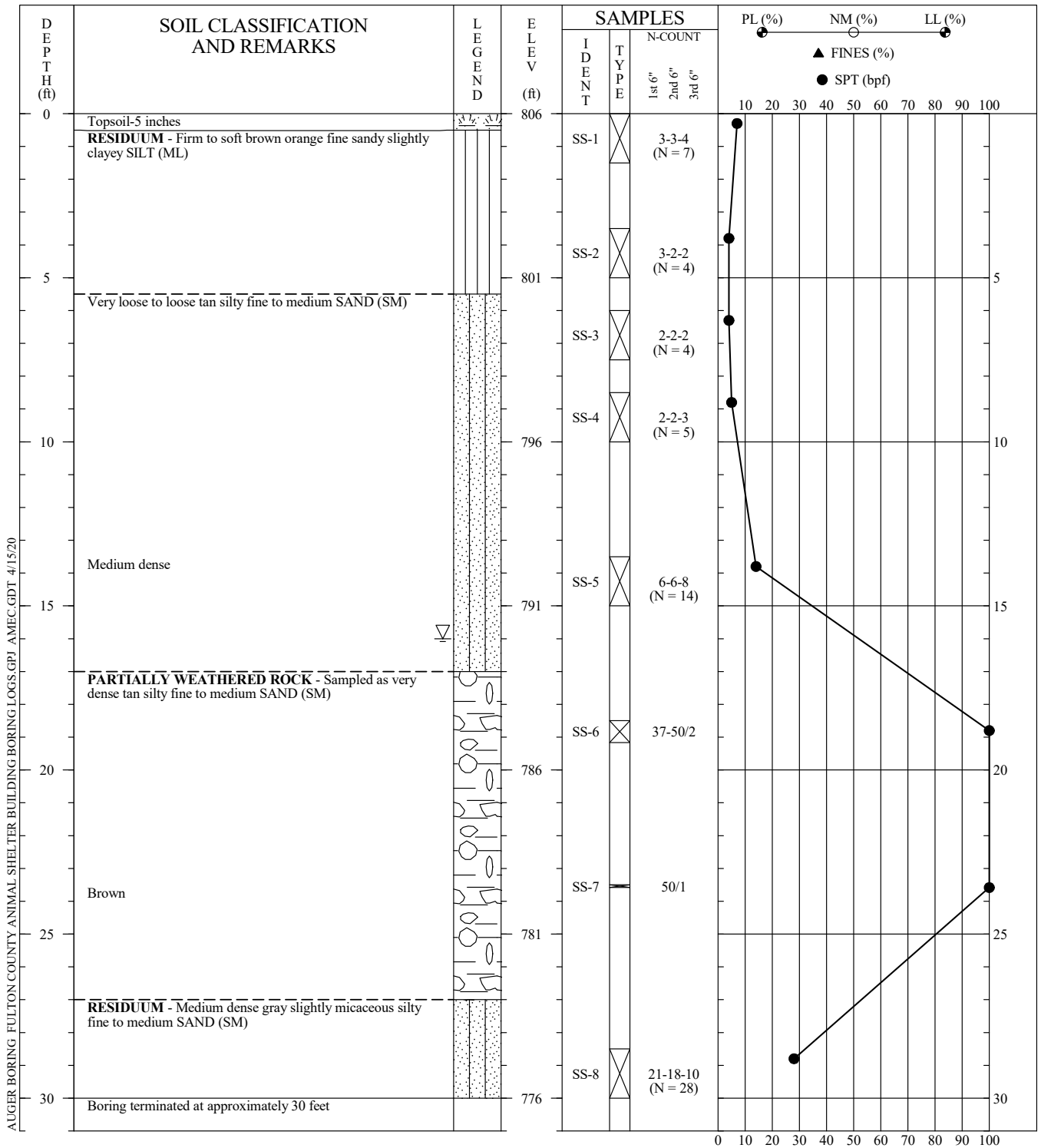
BORING NO.: B-4
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

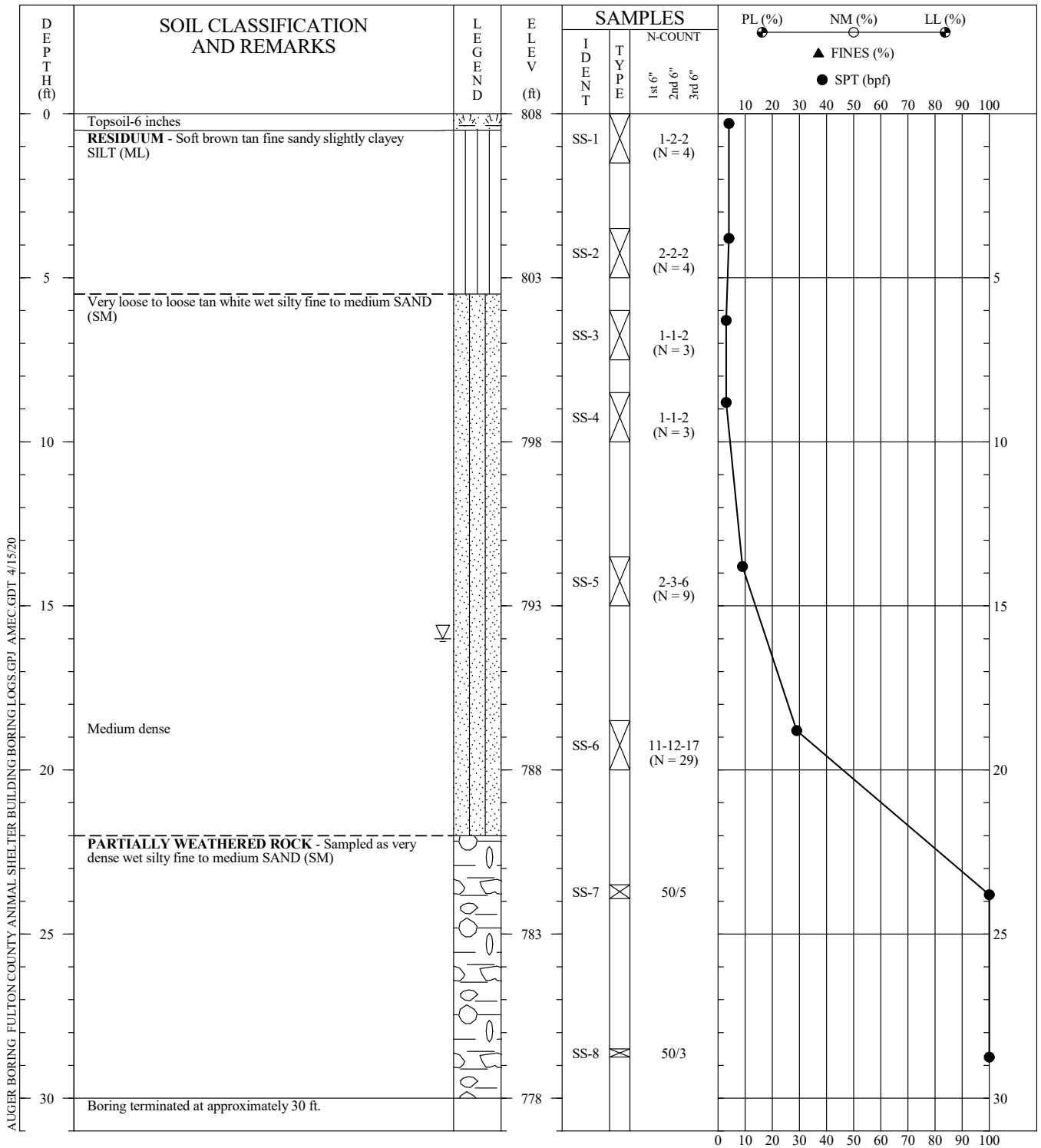
DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 16 feet at time of drilling

AUGER BORING RECORD	
BORING NO.:	B-5
PROJECT:	Fulton County Animal Services Building
LOCATION:	Atlanta, Georgia
DRILLED:	March 30, 2020
PROJECT NO.:	6162201408
PAGE 1 OF 1	

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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 16 feet at time of drilling

AUGER BORING RECORD

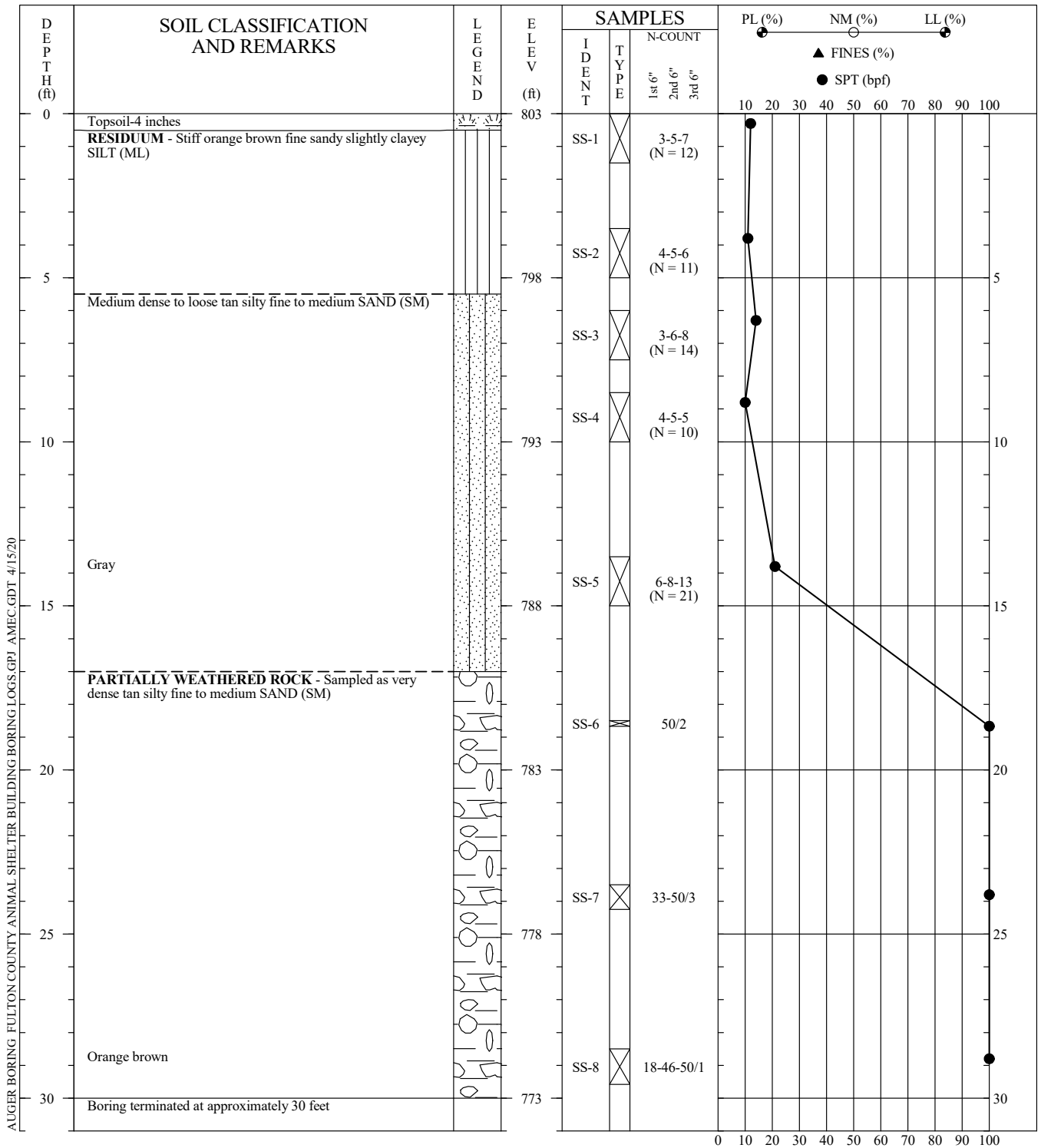
BORING NO.: B-6
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



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Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

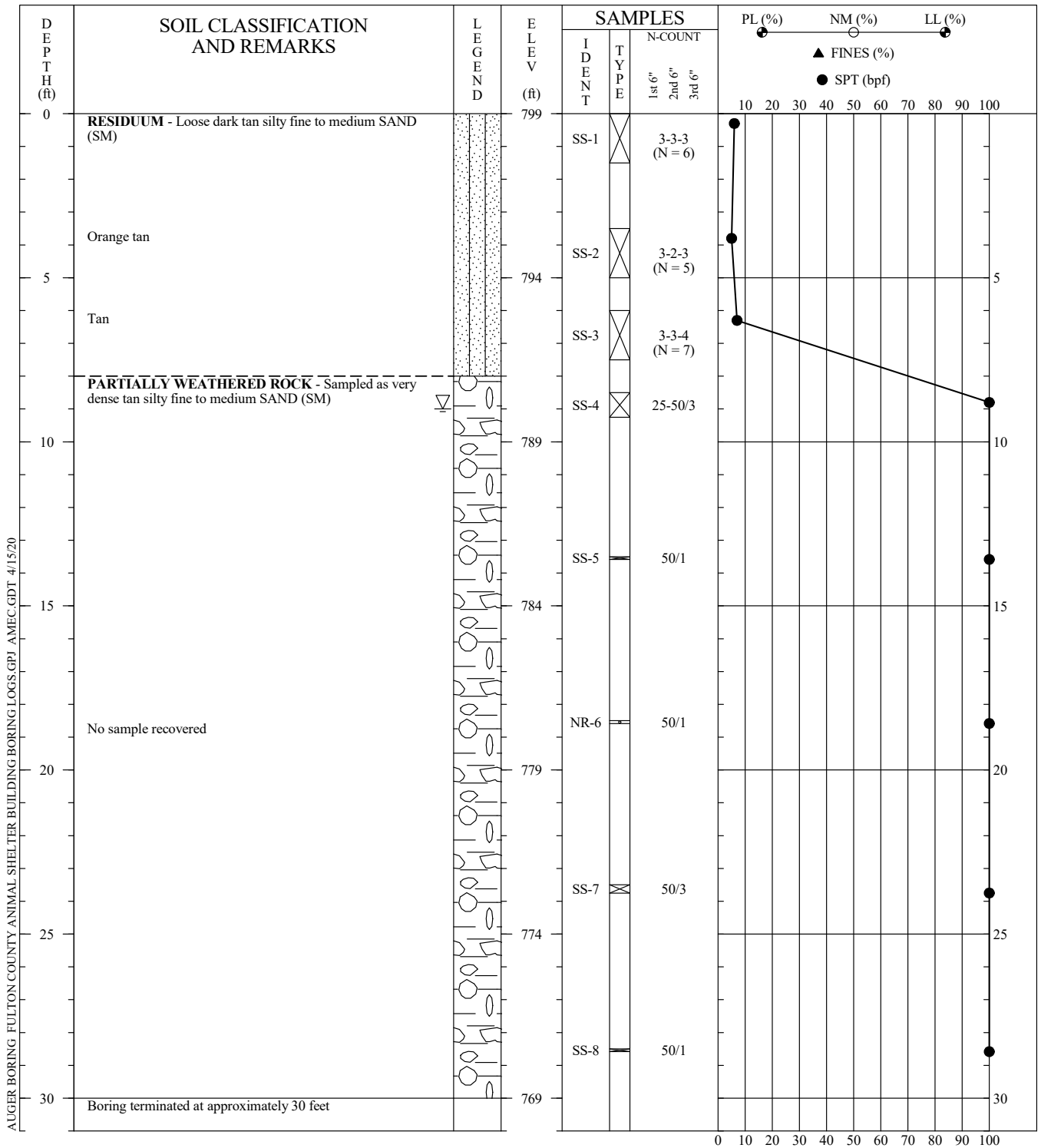
BORING NO.: B-7
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMECC.GDT 4/15/20

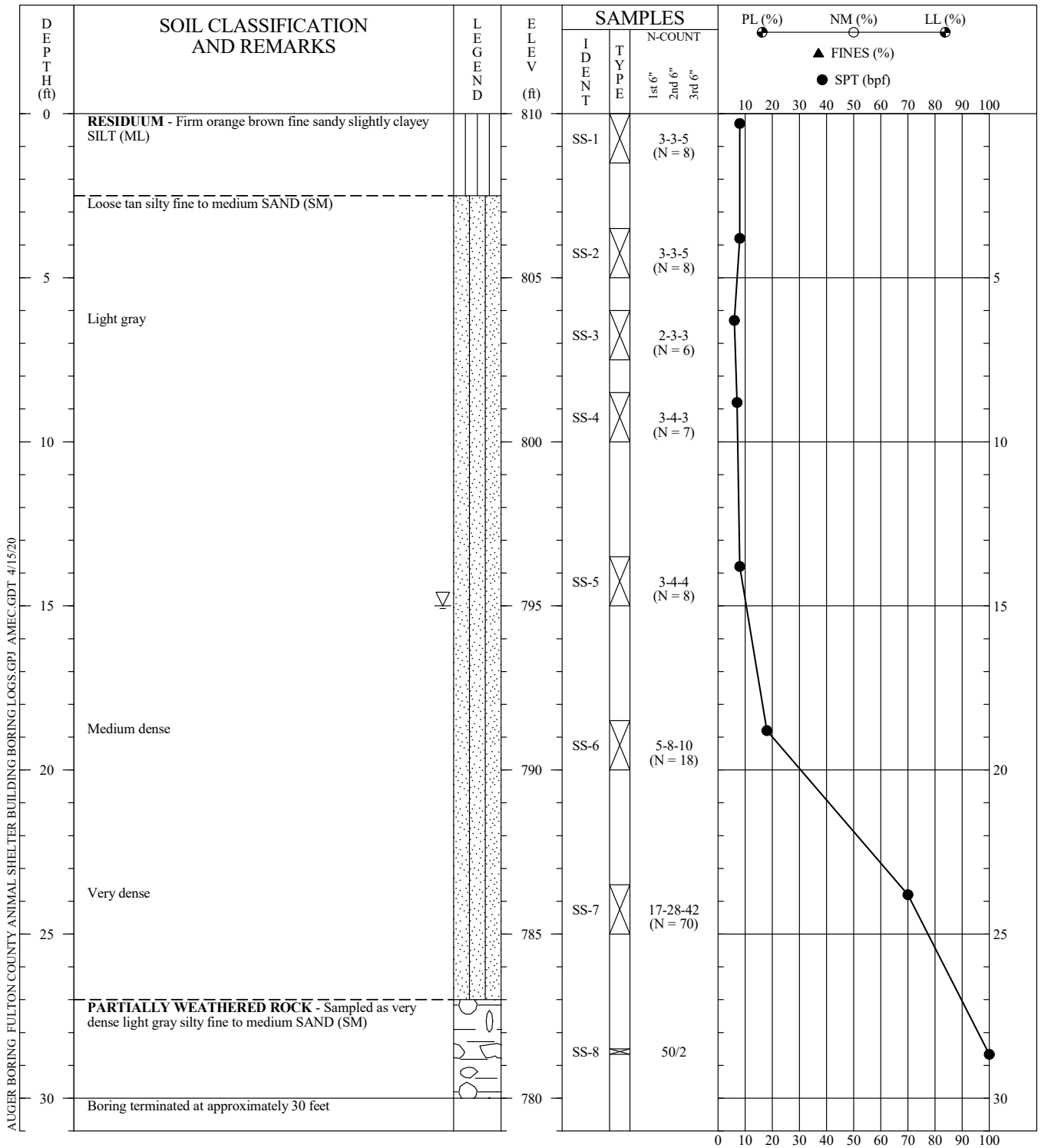
DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 9 feet at time of drilling

AUGER BORING RECORD	
BORING NO.:	B-8
PROJECT:	Fulton County Animal Services Building
LOCATION:	Atlanta, Georgia
DRILLED:	March 30, 2020
PROJECT NO.:	6162201408
PAGE 1 OF 1	

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Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 15 feet at time of drilling

AUGER BORING RECORD

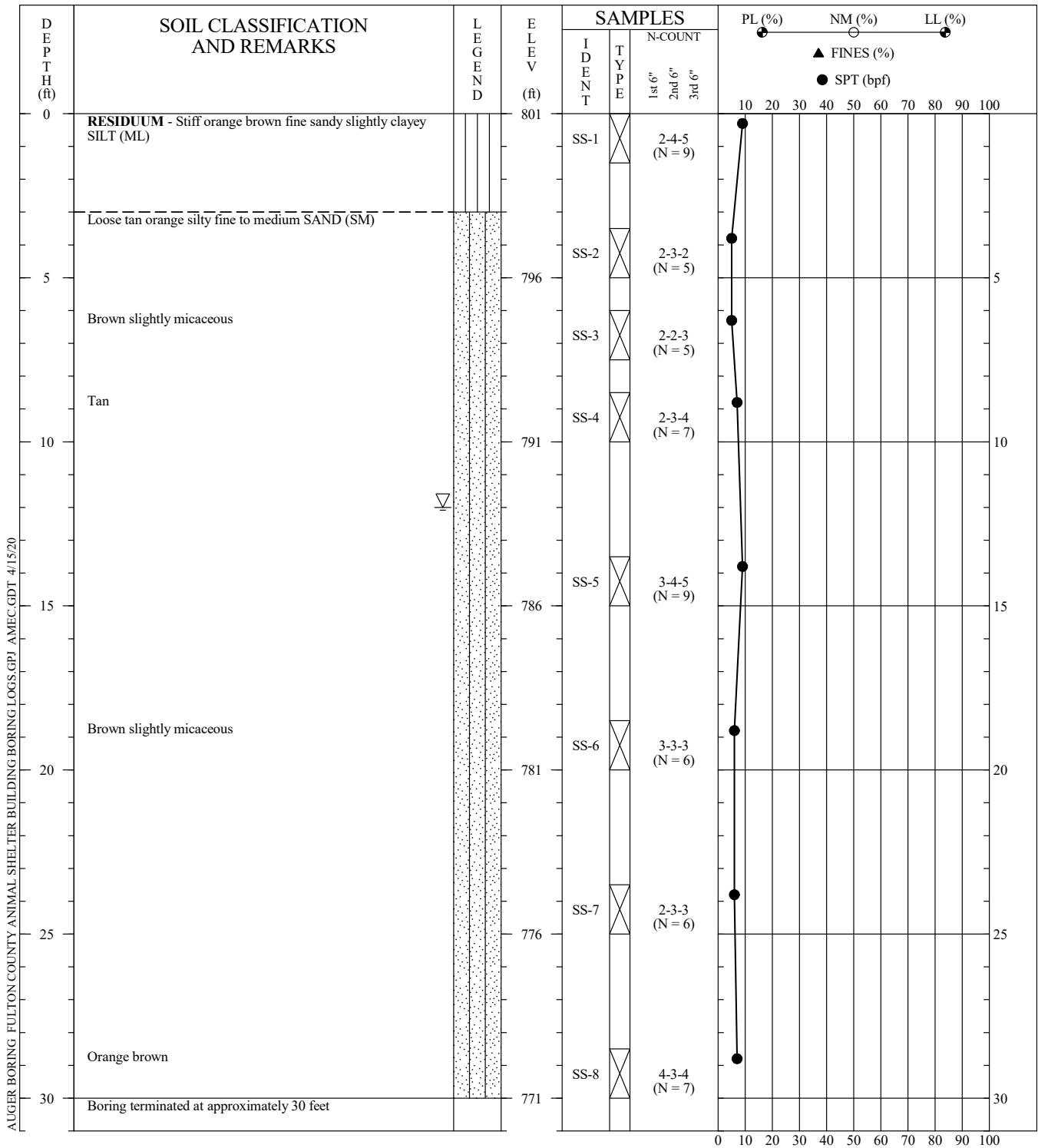
BORING NO.: B-9
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: GW encountered at 12 feet during drilling

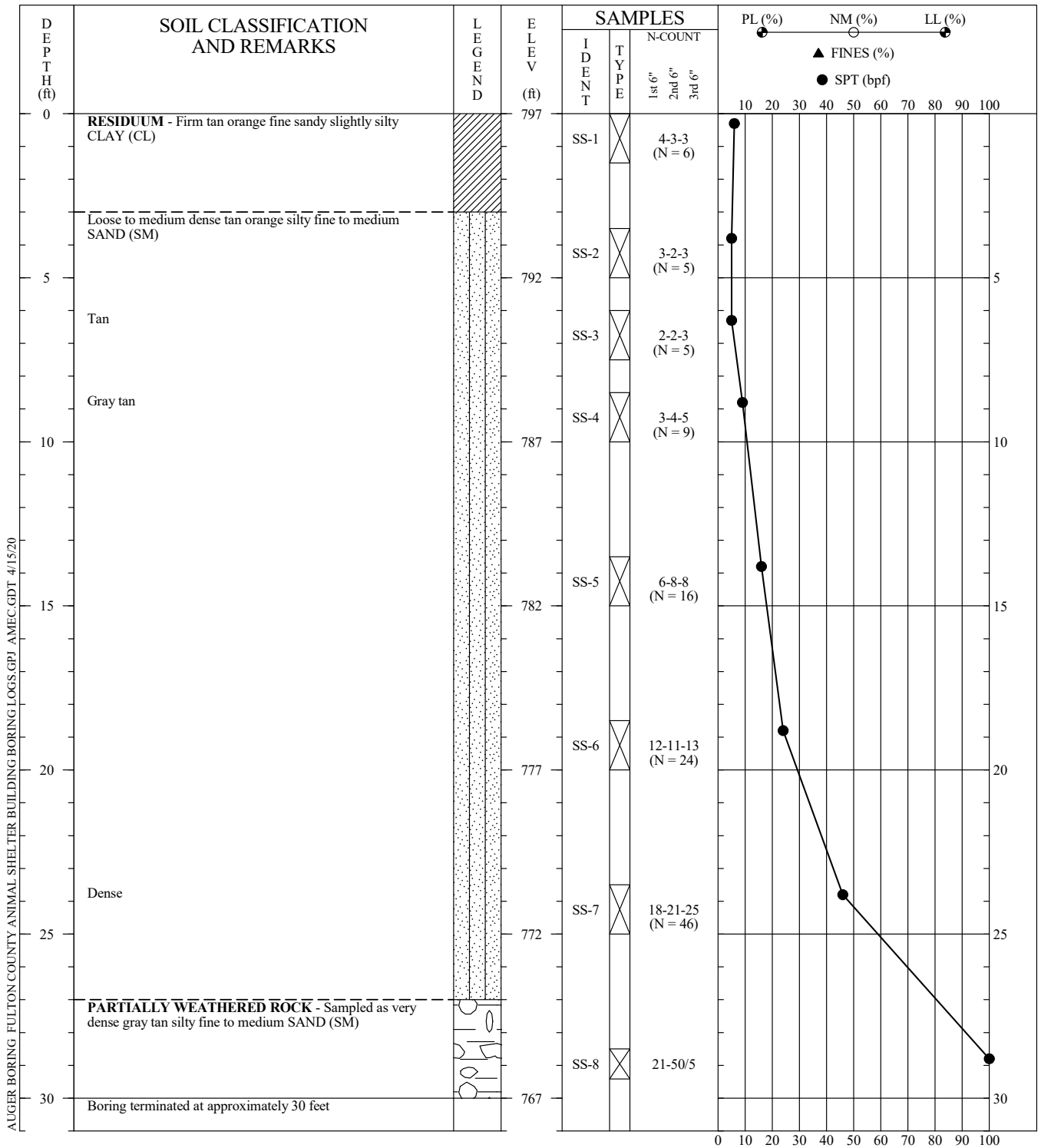
AUGER BORING RECORD

BORING NO.: B-10
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

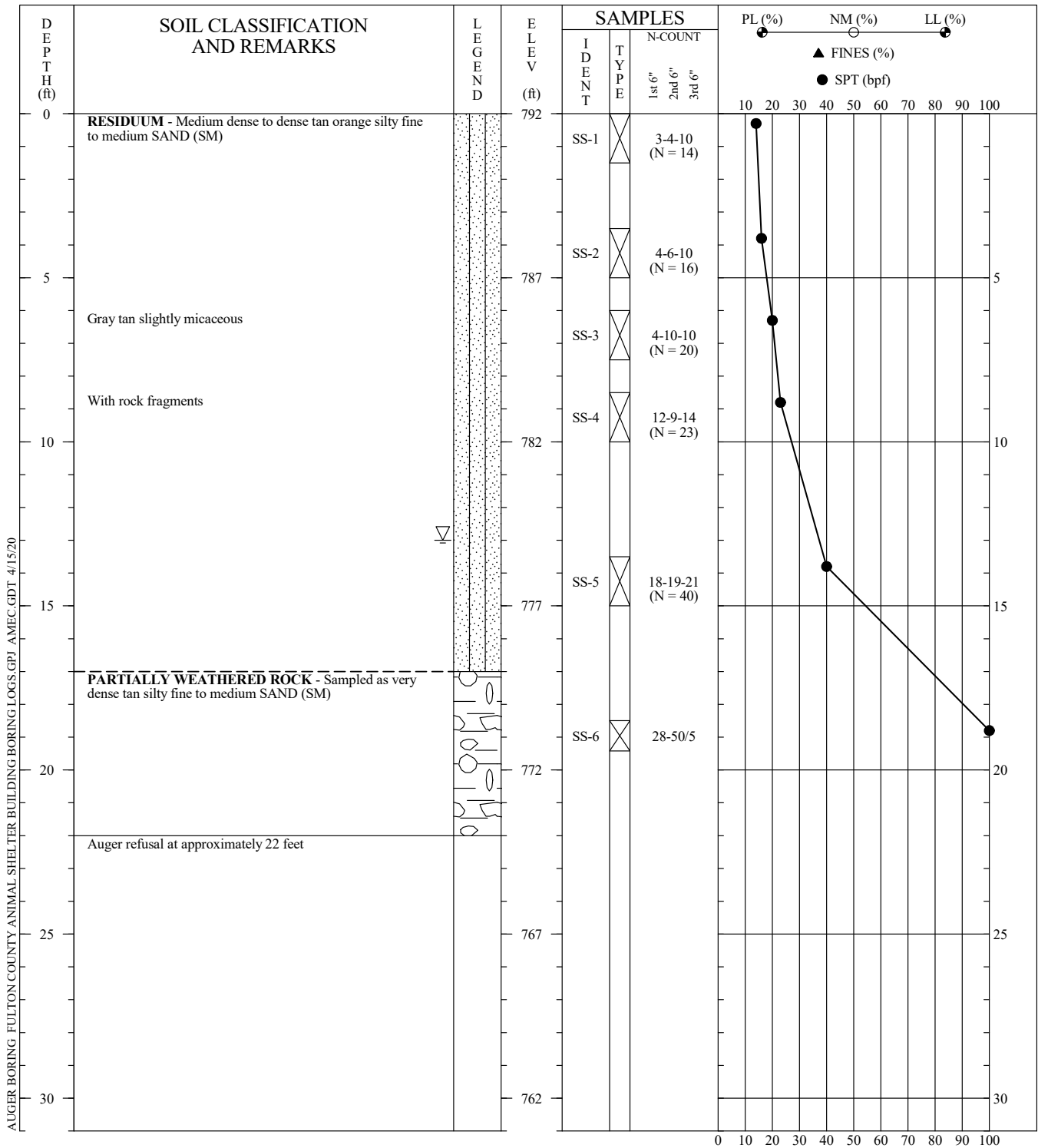
BORING NO.: B-11
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408 PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 13 feet during drilling

AUGER BORING RECORD

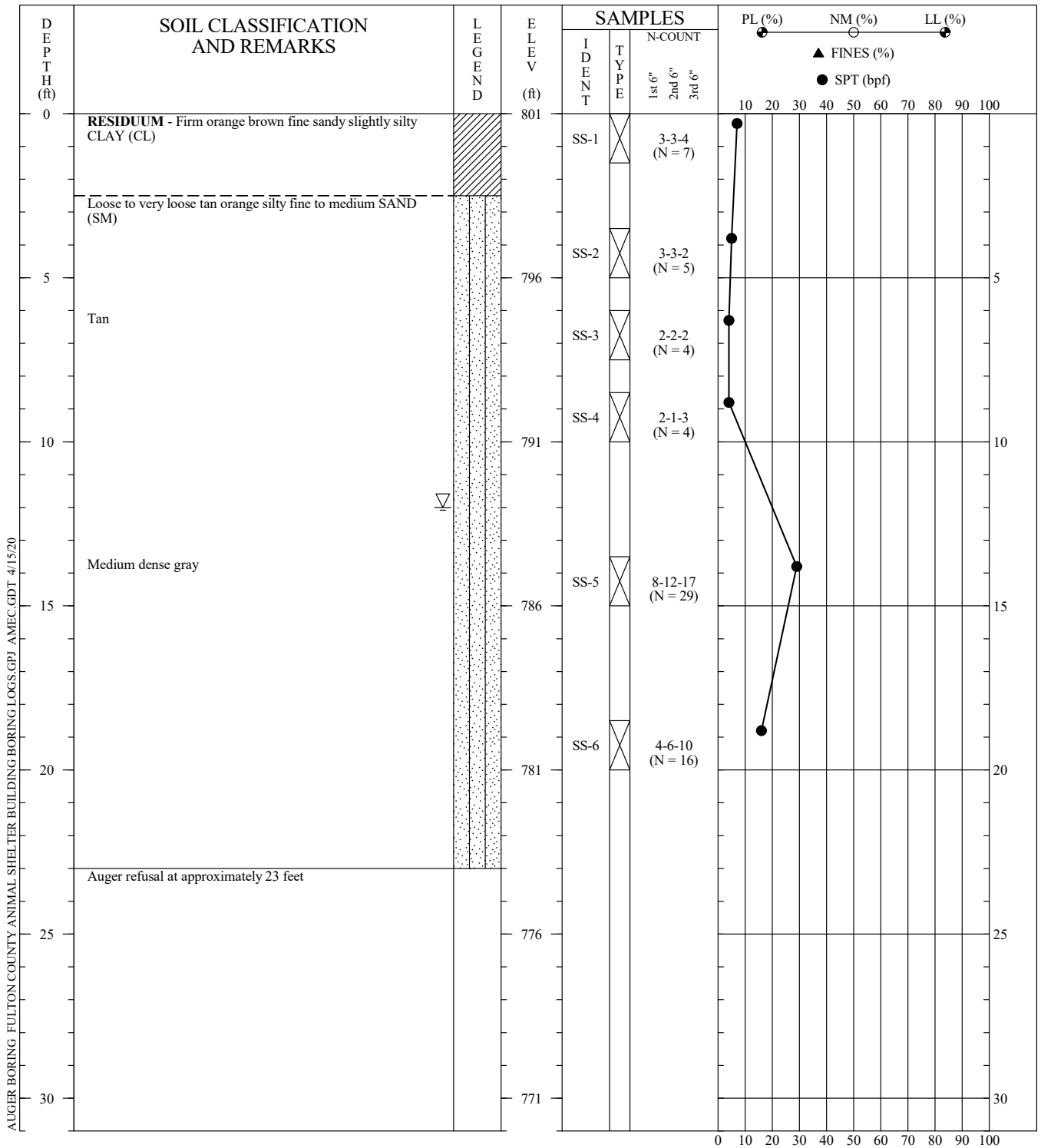
BORING NO.: B-12
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.

Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 12 feet during drilling

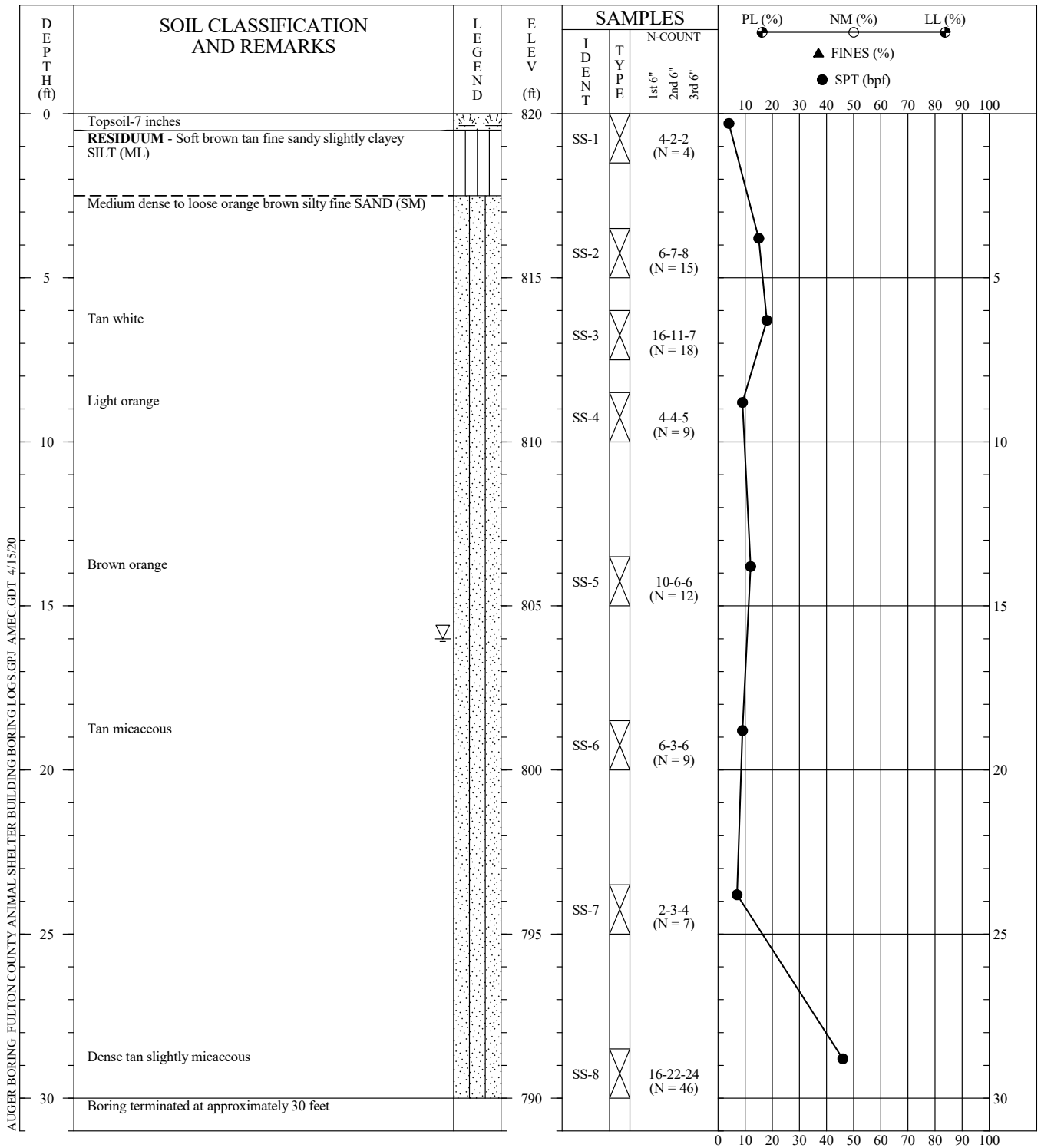
AUGER BORING RECORD

BORING NO.: B-13
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
EQUIPMENT: CME-75 (Auto-Hammer)
METHOD: 2 1/4" HSA
HOLE DIA.: 6 inches
REMARKS: GW encountered at 16 feet during drilling

AUGER BORING RECORD

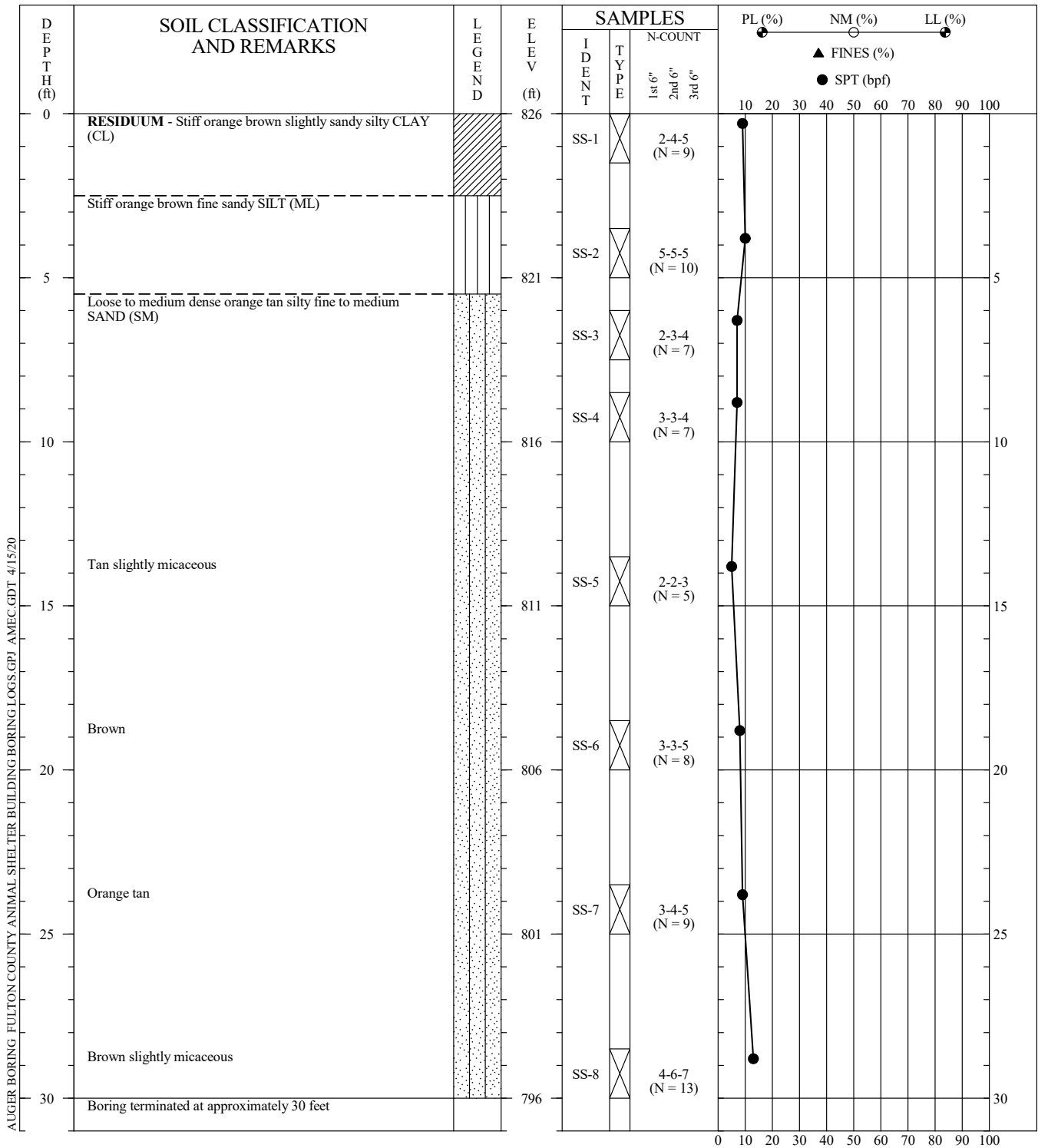
BORING NO.: B-14
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Exhibit A - Attachment C

Fulton County Animal Shelter



AUGER BORING FULTON COUNTY ANIMAL SHELTER BUILDING BORING LOGS.GPJ AMEC.GDT 4/15/20

DRILLER: Premier Drilling
 EQUIPMENT: CME-75 (Auto-Hammer)
 METHOD: 2 1/4" HSA
 HOLE DIA.: 6 inches
 REMARKS: No GW encountered during drilling

AUGER BORING RECORD

BORING NO.: B-15
PROJECT: Fulton County Animal Services Building
LOCATION: Atlanta, Georgia
DRILLED: March 30, 2020
PROJECT NO.: 6162201408

PAGE 1 OF 1

THIS RECORD IS A REASONABLE INTERPRETATION OF SUBSURFACE CONDITIONS AT THE EXPLORATION LOCATION. SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND AT OTHER TIMES MAY DIFFER.



Important Information about This

Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, clients can benefit from a lowered exposure to the subsurface problems that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed below, contact your GBA-member geotechnical engineer. Active involvement in the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.

Geotechnical-Engineering Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a given civil engineer will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client. *Those who rely on a geotechnical-engineering report prepared for a different client can be seriously misled.* No one except authorized client representatives should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one – not even you – should apply this report for any purpose or project except the one originally contemplated.*

Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read it *in its entirety*. Do not rely on an executive summary. Do not read selected elements only. *Read this report in full.*

You Need to Inform Your Geotechnical Engineer about Change

Your geotechnical engineer considered unique, project-specific factors when designing the study behind this report and developing the confirmation-dependent recommendations the report conveys. A few typical factors include:

- the client's goals, objectives, budget, schedule, and risk-management preferences;
- the general nature of the structure involved, its size, configuration, and performance criteria;
- the structure's location and orientation on the site; and
- other planned or existing site improvements, such as retaining walls, access roads, parking lots, and underground utilities.

Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.*

This Report May Not Be Reliable

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, that it could be unwise to rely on a geotechnical-engineering report whose reliability may have been affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If your geotechnical engineer has not indicated an "apply-by" date on the report, ask what it should be, and, in general, if you are the least bit uncertain about the continued reliability of this report, contact your geotechnical engineer before applying it.* A minor amount of additional testing or analysis – if any is required at all – could prevent major problems.

Most of the "Findings" Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site's subsurface through various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing were performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgment to form opinions about subsurface conditions throughout the site. Actual sitewide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team from project start to project finish, so the individual can provide informed guidance quickly, whenever needed.

This Report's Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, *they are not final*, because the geotechnical engineer who developed them relied heavily on judgment and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* revealed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

This Report Could Be Misinterpreted

Other design professionals' misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a full-time member of the design team, to:

- confer with other design-team members,
- help develop specifications,
- review pertinent elements of other design professionals' plans and specifications, and
- be on hand quickly whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction observation.

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note conspicuously that you've included the material for informational purposes only*. To avoid misunderstanding, you may also want to note that "informational purposes" means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report, but they may rely on the factual data relative to the specific times, locations, and depths/elevations referenced. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only* from the design drawings and specifications. Remind constructors that they may

perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely*. Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a "phase-one" or "phase-two" environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures*. If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. As a general rule, *do not rely on an environmental report prepared for a different client, site, or project, or that is more than six months old*.

Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, none of the engineer's services were designed, conducted, or intended to prevent uncontrolled migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer's recommendations will not of itself be sufficient to prevent moisture infiltration*. Confront the risk of moisture infiltration by including building-envelope or mold specialists on the design team. *Geotechnical engineers are not building-envelope or mold specialists*.



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Exhibit A - Attachment D

FFE Update - 11/04/2021

Fulton County Animal Services Facility



FCAS Equipment Schedule

10/25/2021

OWNER = FCAS
CONTRACTOR = GC

O/C C/C O/O

EQUIPMENT NUMBER	EQUIPMENT DESCRIPTION	FURNISHED BY	INSTALLED BY	VENDOR	BLOCKING REQ'D	POWER REQ'D	DATA REQ'D	GAS REQ'D	MED GAS REQ'D	PLUMBING REQ'D	MANUFACTURER	MODEL	COUNT	EQUIPMENT NOTES	Unit Cost	Total Cost	C/C	O/O	O/C
01 GENERAL OFFICE EQUIPMENT																			
01-109B	DOG LEASH CLEAT/EYE HOOK	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	DOGHOOK.COM	SPECIFY MASONRY OR STUD WALL	39	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER; MOUNT EYE VERTICALLY	\$ 50				
01-114	FOOD PREP CART	OWNER	OWNER		-	-	-	-	-	-	SHOR-LINE		10		\$ 315				
01-115B	TRASH CAN - ON WHEELS	OWNER	OWNER		-	-	-	-	-	-			1		\$ 250				
01-117C	LAUNDRY CART	OWNER	OWNER		-	-	-	-	-	-			6		\$ 250				
01-118	SMALL RECYCLE BIN - 13 GAL	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-			17						
01-121	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	19		\$ 350				
01-121A	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	6		\$ 350				
01-121B	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	7		\$ 350				
01-121C	WIRE RACK SHELVING	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	METRO	XXXXBR (MODEL NO. VARIES BASED ON SIZE)	4		\$ 350				
01-122E	SST WALL-MOUNTED SHELF	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	METRO	1448NS	5		\$ 350				
01-122F	SST WALL-MOUNTED SHELF	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	METRO	1460NS	14		\$ 350				
01-130A	DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-			9		\$ 260				
01-130B	GLASS DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	3-FORM		2	3.5'X5' LOW IRON, TEMPERED, GLOSS MARKERBOARD, COLOR: CHALK, FRAMED WITH ACCESSORY SHELF	\$ 300				
01-130C	GLASS DRY ERASE BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	3-FORM		1	4XX6' LOW IRON, TEMPERED, GLOSS MARKERBOARD, COLOR: CHALK, FRAMED WITH ACCESSORY SHELF	\$ 300				
01-132	BULLETIN BOARD	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	NORTH SCULPTURE		1	FORBO FRAMED BULLETIN BOARD 48X96; COLOR: TBD					
01-134	SIGN HOLDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-			11	C58 PAPER INSERT WINDOW; CONFIRM WITH COUNTY					
01-135	ACOUSTIC WALL PANEL	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-		SU	112						
01-136	ACOUSTIC WALL PANEL - IMAGE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	AUDIMUTE	SU	24	RE: INTERIOR ELEVATIONS FOR SIZE. RE: A 9.01 FOR MOUNTING DTL					
01-140A	METAL LOCKERS - 2 TIER	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-		RE: SPECIFICATIONS	16						
01-140B	METAL LOCKERS - 3 TIER	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-		RE: SPECIFICATIONS	7						
01-142	SAFE - BOLT TO FLOOR	OWNER	CONTRACTOR		-	-	-	-	-	-	ULINE	DIGITAL SAFE H-5784	1	CONTRACTOR TO UNLOAD, UNPACK & STORE	\$ 470				
01-301	STORAGE PALLET	OWNER	OWNER		-	-	-	-	-	-			6		\$ 150				
01-302	PALLET RACK - 42X120	OWNER	OWNER		-	-	-	-	-	-	GLOBAL INDUSTRIAL		2		\$ 500				
01-305	ELECTRIC PALLET JACK - 3300 LB	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	GLOBAL INDUSTRIAL	WG988993	1	ELECTRIC PALLET JACK - 3300 LB	\$ 2,900				
01-401	SST WORKTABLE - ROLLED EDGE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	ULINE	DELUXE H-7566	1	72" X 36" W/ BOTTOM SHELF	\$ 568				
02 FURNITURE & SIGNAGE																			
02-201	ROLLER SHADE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	MECHOSHADE	MECH/5	14	TO HAVE FRONT AND BACK FASCIA; SHADE COLOR TBD; SEE SPECIFICATIONS FOR MORE INFORMATION					
03 COMMUNICATION & SECURITY																			
03-101	COMPUTER	OWNER	OWNER		-	YES	YES	-	-	-			93		\$ 800				
03-105	COMPUTER - LAPTOP	OWNER	OWNER		-	YES	YES	-	-	-			4		\$ 800				
03-106	WALL MOUNTED COMP STATION	OWNER	CONTRACTOR		YES	YES	YES	-	-	-	ERGOTRON	2140229	1	COORDINATE LOCATION & HEIGHT WITH OWNER	\$ 2,000				
03-301	CREDIT CARD MACHINE	OWNER	OWNER		-	YES	YES	-	-	-			6		\$ 200				
03-401	TELEVISION - WALL MOUNTED 42"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			1	CONFIRM HEIGHT & LOCATION W/ OWNER	\$ -				
03-401D	SECURITY MONITOR - WALL MOUNTED	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			2	CONFIRM WITH COUNTY IT	\$ -				

Exhibit A - Attachment D

FFE Update - 11/04/2021

Fulton County Animal Services Facility



03-401E	TELEVISION - WALL MOUNTED 75"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			3	PROVIDE ELECTRICAL OUTLET AND COAX CABLE CONNECTION AT HEIGHT SUCH THAT THEY WILL BE CONCEALED BEHIND THE TELEVISION. * CONFIRM HEIGHT AND LOCATION WITH OWNER PRIOR TO INSTALLATION; PROVIDE WALL MOUNT BRACKET; COORDINATE TELEVISION MODEL WITH OWNER'S A/V RE	\$ -				
03-401F	TELEVISION - WALL MOUNTED 85"	CONTRACTOR	CONTRACTOR		YES	YES	YES	-	-	-			3	PROVIDE ELECTRICAL OUTLET AND COAX CABLE CONNECTION AT HEIGHT SUCH THAT THEY WILL BE CONCEALED BEHIND THE TELEVISION. * CONFIRM HEIGHT AND LOCATION WITH OWNER PRIOR TO INSTALLATION; PROVIDE WALL MOUNT BRACKET; COORDINATE TELEVISION MODEL WITH OWNER'S A/V REQUIREMENTS	\$ 800				
03-502	LABEL PRINTER	OWNER	OWNER		-	YES	YES	-	-	-			1		\$ 200				
03-503	PRINTER / COPIER - ON FLOOR	OWNER	OWNER		-	YES	YES	-	-	-			3						
03-504	PRINTER / COPIER - ON COUNTER	OWNER	OWNER		-	YES	YES	-	-	-			2		\$ 200				
03-506	MULTIFUNCTION PRINTER	OWNER	OWNER		-	YES	YES	-	-	-			3						
03-902	PROJECTION SCREEN - MOTORIZED	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-			1	COORDINATE WITH COUNTY					
03-903	PROJECTOR - CEILING MOUNTED	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-			1	COORDINATE WITH COUNTY					

04 APPLIANCES

04-101	REFRIGERATOR / FREEZER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	60119	5		\$ 1,200				
04-102B	REFRIGERATOR / FREEZER - WITH WATER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	KENMORE	71323	1		\$ 1,100				
04-103	REFRIGERATOR - UNDER COUNTER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	99059	6		\$ 380				
04-103B	REFRIGERATOR - UNDER COUNTER ADA HEIGHT	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	99029	8		\$ 380				
04-105	REFRIGERATOR - COMMERCIAL UPRIGHT	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	CARRIER	EF34	2		\$ 2,000				
04-107	FREEZER - RESIDENTIAL CHEST	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	46-16082	1		\$ 800				
04-204	WASHER/EXTRACTOR - COMMERCIAL 60 LB	CONTRACTOR	CONTRACTOR		-	YES - CONFIRM	-	-	-	YES	SPEED QUEEN	SC60	3		\$ 12,000				
04-205	DRYER - COMMERCIAL - ST075	CONTRACTOR	CONTRACTOR		-	YES	-	YES	-	YES	SPEED QUEEN	ST075	3	PLUMBING CONNECTION REQUIRED IF NOT ELECTRIC	\$ 16,000				
04-206	STACKED WASHER / DRYER - COMMERCIAL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	UNIMAC	LTUA7	6		\$ 1,200				
04-301	MICROWAVE - ON COUNTER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	KENMORE	73772	3	IF MOUNTED ON CABINET SHELF COORDINATE REQUIRED DEPTH OF SHELF	\$ 300				
04-401B	DISHWASHER - UNDER COUNTER ADA	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	KENMORE	12333	1		\$ 800				
04-404	DISHWASHER - COMMERCIAL	CONTRACTOR	CONTRACTOR		-	YES - CONFIRM REQ	-	-	-	YES	HOBART	AM16VLT-BAS	1		\$ 15,000				
04-504	HOOD VENT - SMALL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	RE: MECHANICAL		1						
04-601	WATER COOLER	OWNER	OWNER		-	-	-	-	-	-			1						
04-603	ELECTRIC WATER COOLER W/ BOTTLE FILLER	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	YES	RE: PLUMBING		3	SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION					
04-701	GARBAGE DISPOSAL	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	YES	INSINKERATOR	EVOLUTION COMPACT	1	SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION					
04-702B	COFFEE MACHINE	OWNER	OWNER		-	YES	-	-	-	YES		K3000SE	2	*CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE WHETHER WATER LINE REQUIRED	\$ 100				
04-801	VENDING MACHINE	OWNER	OWNER		-	YES	YES	-	-	-			2	*CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE WHETHER CONNECTION TO DATA REQUIRED	\$ 3,500				

05 MEDICAL EQUIPMENT

05-101B	WALK-ON SCALE	OWNER	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	905.5010.47	4	CONTRACTOR TO PROVIDE CONDUIT; RE: 11&14/A9.01	\$ 1,075				
05-103	COUNTER SCALE	OWNER	OWNER		-	-	-	-	-	-	SHOR-LINE		7		\$ 290				
05-117A	IV TRACK - 48"	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	AR NELSON	1100IV - IV TRACK	10	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER	\$ 220				
05-130	DENTAL DELIVERY SYSTEM - ON CART	OWNER	OWNER		-	YES	-	-	-	-	DENTALAIRE	PRESTIGE	1		\$ 15,000				
05-141	MAYO STAND	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	803.0010.00	4	CONTRACTOR TO UNLOAD, UNPACK & STORE	\$ 2,000				
05-153	PATIENT MONITORING EQUIPMENT - SINGLE PARAMETER	OWNER	OWNER		-	YES	-	-	-	-			9						
05-193	POWER REEL	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	-	HUBBELL INCORPORATED	PRO REEL 500A-30GF	8						
05-194	CLIPPERS	OWNER	OWNER		-	YES	-	-	-	-	ANDIS		4		\$ 150				
05-201A	SST FOLD UP WALL MOUNT EXAM TABLE; RE: 5/A9.01	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	TRISTAR	400-23	6		\$ 1,100				
05-201B	SST FOLD UP (TO USE) WALL-MOUNTED EXAM TABLE; ANCHOR PER MANUF.	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	TRISTAR	400-25	2		\$ 1,100				

Exhibit A - Attachment D

FFE Update - 11/04/2021

Fulton County Animal Services Facility



05-202	SST LATERAL EXAM TABLE - FOLD UP, WALL-MOUNTED; RE: 5/A9.01	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	SHOR-LINE	903.1130.05	2		\$ 1,100				
05-206	SURGERY TABLE- FLAT TOP, HEATED	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	903.4200.01	3		\$ 2,500				
05-207	SURGERY TABLE - V-TOP	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	SHOR-LINE	903.4400.01	1	CONTRACTOR TO UNLOAD, UNPACK, & STORE	\$ 2,500				
05-217	MOBILE LIFT TABLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	903.3120.00	4	NEEDS RECHARGED	\$ 3,450				
05-301	DOUBLE SURGERY LIGHT	CONTRACTOR	CONTRACTOR		YES - STRUCTURAL SUPPORT	YES	-	-	-	-	MEDICAL ILLUMINATION	SYSTEM TWO	4	STRUCTURAL SUPPORT REQ'D.	\$ 6,950				
05-302	SINGLE SURGERY LIGHT	CONTRACTOR	CONTRACTOR		YES - STRUCTURAL SUPPORT	YES	-	-	-	-	MEDICAL ILLUMINATION	MI 1000	5	STRUCTURAL SUPPORT REQ'D.	\$ 4,250				
05-310	LIGHT MOUNT	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	ACCU-MOUNT	200 SERIES	4		\$ 2,500				
05-311	LIGHT MOUNT	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	ACCU-MOUNT	100 SERIES	5		\$ 3,500				
05-410	MICROSCOPE - SINGLE	OWNER	OWNER		-	YES	-	-	-	-			1		\$ 1,250				
05-421	BLOOD CHEMISTRY MACHINE	OWNER	OWNER		-	YES	-	-	-	-	IDEXX	CATALYST DX CHEMISTRY ANALYZER	1	PROVIDE CONNECTION TO UNINTERRUPTIBLE POWER SUPPLY (UPS)	\$ 20,000				
05-503B	OXYGEN OUTLET - CEILING	CONTRACTOR	CONTRACTOR		-	-	-	-	YES	-	RE: MED GAS DRAWINGS		17	CONFIRM HEIGHT & LOCATION WITH OWNER					
05-506	OXYGEN MANIFOLD	CONTRACTOR	CONTRACTOR		YES	YES	-	-	YES	-	RE: MED GAS DRAWINGS		1						
05-507B	OXYGEN TANK - H	OWNER	OWNER		-	-	-	-	-	-			6	CAN STORE UP TO 3000 CU.FT.OF OXYGEN IN AN UNSPRINKLERED 1 HR. FIRE RATE ROOM (UP TO 6000CU.FT. IF SPRINKLERED)					
05-515	ANESTHESIA MACHINE - ON CART	OWNER	OWNER		-	-	-	-	-	-	SUPERA	OC6200	6		\$ 3,670				
05-517	ANESTHESIA MACHINE - WALL	OWNER	CONTRACTOR		YES	-	-	-	-	-	MATRX	VME2	3		\$ 30,000				
05-520B	ANESTHESIA SCAVENGER OUTLET - CEILING	CONTRACTOR	CONTRACTOR		-	-	-	-	YES	-	RE: MED GAS DRAWINGS		14	CONTRACTOR TO COORDINATE FINAL HEIGHT AND LOCATION WITH OWNER					
05-521	ANESTHESIA SCAVENGER FAN	CONTRACTOR	CONTRACTOR		YES	YES	-	-	YES	-	RE: MED GAS DRAWINGS		1	PROVIDE EXHAUST DIRECT TO OUTSIDE. THE EXHAUST FROM THE BUILDING MUST BE A MIN. OF 10' ABOVE GRADE AND A MIN. OF 10' AWAY FROM AND FRESH AIR INTAKE.					
05-610	AUTOCLAVE - COUNTER	OWNER	OWNER		-	YES	-	-	-	-			2		\$ 4,500				
05-615	ULTRASONIC CLEANER	CONTRACTOR	CONTRACTOR		-	YES	-	-	-	-	MIDMARK	M250 SONICLEAN	1	LOCATE NEAR SINK, NEEDS TO DRAIN PERIODICALLY	\$ 980				
05-703	SST GROOMING TUB - 55" w/ Ramp	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.0702.40	3	OWNER TO CONFIRM CONFIGURATION	\$ 3,500				
05-706	SST 46" TUB TABLE - RIGHT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.09	1	OWNER TO CONFIRM CONFIGURATION	\$ 2,400				
05-708	SST 60" TUB TABLE - RIGHT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.00	1	OWNER TO CONFIRM CONFIGURATION	\$ 2,850				
05-708A	SST 60" TUB TABLE - LEFT HAND KNEE SPACE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	YES	SHOR-LINE	904.5000.01	2	OWNER TO CONFIRM CONFIGURATION	\$ 2,850				
05-720	SCRUB SINK - SINGLE	CONTRACTOR	CONTRACTOR		YES	YES	-	-	-	YES	RE: PLUMBING		2		\$ 3,200				
07-010	INCUBATOR	OWNER	OWNER		-	YES	-	-	-	-			2		\$ 20,000				

06 IMAGING

06-109	DIGITAL DENTAL X-RAY - WALL MOUNTED	OWNER	CONTRACTOR		YES	YES	-	-	-	-	MIDMARK	VETPRO DC	1		\$ 20,000				
06-111	DIGITAL X-RAY	OWNER	OWNER		-	YES - CONFIRM	-	-	-	-			1	CONFIRM SHIELDING REQ.	\$ 75,000				
06-117	LEAD APRON RACK	CONTRACTOR	CONTRACTOR		YES	-	-	-	-	-	JORGENSEN	J0676R	1		\$ 175				

07 ANIMAL HOUSING

07-030	SMALL MAMMAL CAGE	OWNER	OWNER		-	-	-	-	-	-	CRITTER NATION	2 LEVEL	1		\$ 300				
07-102	CAGE WHEELS	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	3		\$ 110				
07-104	CAGE STORAGE - DRAWERS	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	40						
07-105	CAGE STORAGE - CLOSED, DOOR	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	BY MFR. OF CAGING ABOVE	CUSTOM	20						
07-110A	SST CAGE, 30"W X 30" T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	14	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 600				
07-110B	SST CAGE,36"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	22	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 650				
07-110C	SST CAGE, 42"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 750				
07-110D	SST CAGE, 48"W X 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 980				
07-110E	SST DOUBLE CAGE, 60" W x 30"T, GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	17	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,230				
07-110F	SST CAGE - 60"W X 36"T - GRILLE, WITH DIVIDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	3	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,435				
07-110G	SST CAGE - 72"W X 30"T - GRILLE, WITH DIVIDER	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	2	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,725				
07-115A	SST CONDO - DOUBLE WIDE, 48"W X 30"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	6	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 980				
07-115B	SST CONDO - DOUBLE WIDE, 54"W X 30"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR		-	-	-	-	-	-	SHOR-LINE	CUSTOM	14	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,435				

Exhibit A - Attachment D

FFE Update - 11/04/2021

Fulton County Animal Services Facility



07-135A	LAMINATE CONDO - 58"W X 31"T, FROSTED, GLASS BACK	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	20	VENTED, PORTAL, FROSTED GLASS/ BAR FRONT, GLASS BACK, BENCH AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,750				
07-135B	LAMINATE CONDO - 58"W X 31"T, FROSTED	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	8	VENTED, PORTAL, FROSTED GLASS/ BAR FRONT, BENCH AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,750				
07-140A	LAMINATE CONDO - SPLIT DOUBLE - VENTED, 58"W X 32"T, GLASS/GRILLE	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SNYDER	CUSTOM	12	INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 2,000				
07-190B	MEDIUM CAT TOWER	OWNER	OWNER	-	-	-	-	-	-	-	CRIFO PET PRODUCTS, LLC	MT	2		\$ 500				
07-202	DOG RUN - GATE	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	148	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 740				
07-203A	DOG RUN - GATE - 2 PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	202	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-203B	DOG RUN - GATE, 2 PANEL, 30"W x 78"T, GLASS/BARS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	92	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-203C	CAT RUN - GATE, 2 PANEL, 30"W x 78"T, GLASS/BARS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY, NO BOTTOM BAR AT RUN GATE AND INCLUDE CAGE CARD HOLDER ACCESSORY	\$ 1,050				
07-204A	DOG RUN - FLAG PANEL 2'-6"	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	168	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY					
07-204B	DOG RUN - CLERESTORY PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	8	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 675				
07-204C	CAT RUN - CLERESTORY PANEL, GLASS/SST	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 675				
07-204D	CAT RUN - SIDE, 2 PANEL, GLASS/PLAM	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	4	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 1,100				
07-205A	DOG RUN - SIDE PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	142	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY					
07-205B	DOG RUN - SIDE PANEL, 78" T , GLASS/SST	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHORLINE	CUSTOM	28	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 950				
07-207	DOG RUN - BACK PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	117	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 900				
07-208	DOG RUN - TOP PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	167	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 800				
07-210	GUILLOTINE DOOR - IN RUN PANEL	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	SHOR-LINE	CUSTOM	117		\$ 250				
07-211	GUILLOTINE DOOR - IN WALL	CONTRACTOR	CONTRACTOR	YES	-	-	-	-	-	-	SHOR-LINE	CUSTOM	96	CONFIRM BLOCKING REQUIREMENTS WITH MANUF. BASED ON WALL ASSEMBLY	\$ 250				
07-212	SALOON DOOR	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	BITEGUARD	BG 1624	90		\$ 1,000				
07-214	CAT DOOR - IN GLASS	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	HALE	DOOR - SMALL MEDIUM	7						
07-232	CAT PERCH	OWNER	OWNER	YES	-	-	-	-	-	-			6						
07-235	CAT SHELF	CONTRACTOR	CONTRACTOR	YES	-	-	-	-	-	-	SHOR-LINE	CUSTOM	5	8" X 24" SOLID SURFACE, RE: EQUIP DTLS	\$ 180				
07-241	KARUNDA BED	OWNER	OWNER	-	-	-	-	-	-	-	KARUNDA		12		\$ 150				
07-651	BARN TROUGH	OWNER	OWNER	-	-	-	-	-	-	-	HUMANE		6			\$ 400			
07-652	STALL MAT	OWNER	OWNER	-	-	-	-	-	-	-	HUMANE		6	1 1/2" MIN THICKNESS		\$ 200			
07-653	HORSE FEEDER	OWNER	OWNER	-	-	-	-	-	-	-			6			\$ 400			
07-654	HOG - GOAT FEEDER	OWNER	OWNER	-	-	-	-	-	-	-			6			\$ 400			
07-655	CHICKEN COOP	CONTRACTOR	CONTRACTOR	-	-	-	-	-	-	-	CAROLINA COOPS	AMERICAN COOP	1	PRE-MANUFACTURED CHICKEN COOP, COORDINATE WITH OWNER ON ACCESSORIES	\$ 7,000				

Exhibit A - Attachment E

Fulton County Animal Services Facility

11/01/2021



FULCO IT/PHONE/SECURITY ITEM	Type	Responsibility	
		FULCO	WJG
Networking		X	
Server Racks	Equip		X
Servers - Switches	Equip	X	
Phones	Equip	X	
Desktop Computers	Equip	X	
Laptop Computers	Equip	X	
Laptop Docking Stations	Equip	X	
Computer Monitors	Equip	X	
Printers	Equip	X	
Credit Card Reader	Equip	X	
Camera Switches			X
Cameras	Turnkey		X
Card Readers - Access Control	Turnkey		X
Cabling	Turnkey		X
Security Monitors	Equip	X	
VoIP - Phones	Equip	X	
Wireless Access Points - backbone	Cabling		X
Wierless Access Points -	Equip	X	
Analog Lines - (AT&T, backbone)			X
UPS			X
Electrical Circuits - Add to Const.			
Docs			X
AT&T Circuit (Abdias)		X	
Comcast Circuit (Abdias)		X	

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
1.01	10/20/21	Elevation 1/A6.13	Drawing calls out the same item as a "composite wood tellis system" and a "painted metal trellis." Please clarify which one is correct.		Composite Wood Trellis system is correct.
1.02	"	"	Please confirm that there will be no multi-color storefront framing finishes (Section 084113, 2.3A.1.a) , i.e. dark bronze on one side and clear anodized on the other.		All storefront systems will be anodized bronze throughout. We will revise the specifications accordingly.
1.03	"	A2.13, A2.14, A2.23, A2.24	Please furnish specifications and detail for the canopy/trellis systems at the yards typical of room #207.		Trellis system is to be a pre-manufactured and prefinished aluminum trellis. Basis of Design: Awnex, Tuscany system, sun shade panel option. This is applicable to room #080, #146/7, #205 & 206, #207 & 208, #307 & 308, #407 & 408, #507 & 508, #607 & 608.
1.04	"	2/A7.55	Would products by Mitchell Metals or Peachtree Protective Covers be acceptable for the exterior rod-hung doorway canopies?		Yes, these should be acceptable pending architectural review of submitted product.
1.05	"		Please specify location of the CW3-designated curtainwall system.		CW3 curtain wall system drawing is incorrect in the documents. Please see the attached revised curtain wall elevation. It is located along column line A to the east of 11.5.
1.06	"		Please clarify the type of countertops in rooms numbered 110 Dental, 112 Pharmacy, and typical Exam rooms - solid surface or plastic laminate countertops?		Plastic laminate with the specified edge banding is correct.
1.07	"	Section 084113, 2.3A.1.a	Please confirm that there will be no multi-color storefront framing finishes as discussed at the 8-18-2021 meeting.		See RFI response 1.02
1.08	"	Section 084113, 2.3E	Please advise on locations of Vent Windows on the project.		See revised drawings
1.09	"		Please furnish specification for the freezer system for the room #159. Freezer.		See Spec 114000, 2.3C
1.10	"	Specification Section 122413	Please advise on the selection of rooms and locations to receive the roller shades		Room #009 @ window and storefront, #025 both, #026, #099, #098 both, #104, #105, #106 all, #119, #126
1.11	"	C4.40	Please advise on the diameter of the OCS		Response from Lowe Engineers: The Diameter of the OCS (Structure 1.1) is 6ft
1.12	"	A0.10	Partition types for all masonry walls show them as fully grouted. This does not match the requirements of S4.01. Please clarify.		Architectural drawings will revise wall section to indicate "For grouting and reinforcing requirements, see structural drawings."
1.13	"	A1.10	This sheets shows a gravel path for Ga Power access. Keynote 30 on C3.02 calls this out as a dirt path. Please clarify.		Civil is correct, Architectural will revise note.
1.14	"	A1.10	Please confirm that the EV ready spaces for the employee parking lot are correctly identified per sheet E1.03.		Confirmed. 7 standard EV-ready spaces in parking lot. 20 oversized EV-ready spaces along drive.
1.15	"	A1.10	The note for the public parking area calls for 7 EV ready spaces. Sheet E1.02 has circuiting for 5 spaces identified. Please clarify.		E1.02 is correct, architectural will revise.
1.16	"	4/A1.10	Dock lift pit width dimension is shown as 6'6", but the notes call for the width to be 6'2". Please clarify.		Please see revised detail and mfr. documentation regarding pit dimensions
1.17	"	A2.02	No depression is shown for the freezer on this sheet but S2.12 does show a depression. Please clarify		Arch to update on the EOS plan.
1.18	"	A2.02, P2-12	A floor drain is shown in the freezer. Is the intent for this drain to be under the freezer floor or actually cut into the freezer?		The drain is in the slab, freezer will not have a floor system (slab serves as the freezer floor).

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services



1.19	"	A7.50, A7.52	Various details on these sheets show a perimeter drainage system. No further information was found. Please clarify.		No perimeter drainage system, arch to revise details. However, downspouts that are NOT within dog kennel yards will be tied into the storm system below grade. Civil is revising their documents.
1.20	"	A1.20, 4/A7.58, S2.22	No support is shown for the upper run of the roof stair at the garage. Please advise.		There will be posts from the top landing down to grade, as well as posts up from the CMU parapet to support the walk-over and stairs down to the roof side. Structural: Detail 5/S5.09 has been added showing the stair supported on the CMU wall and floating above the roof.
1.21	"	G1.10	Please advise which fire extinguisher cabinets are surface mounted and which are recessed. All the symbols are the same.		All cabinets are to be fully recessed. If a cabinet can not be fully-recessed due to unforeseen construction circumstances, then semi-recessed is acceptable. No cabinets should be surfaced mounted.
1.22	"	A2.12, room 162	The north and west walls in the mechanical room are scheduled as M580. Should these walls go to the deck?		Yes. Arch to revise to M880 partition type.
1.23	"	3/A9.03	Please advise on how the veneer be supported above the saloon doors. No structural section was found for this condition.		Steel angle lintel, see structural for sizing requirements. Structural: Veneer above the saloon door shall be supported by loose lintel. Loose lintel schedule has been added. Arch will revise the detail.
1.24	"	A7.12, 2/A7.30	Sections 3 and 4 on A7.12 call out detail 2/A7.30 in multiple locations. This does not appear to be correct. Please clarify.		Wall section is typical to the wall section shown on 2/A7.30, however exterior slab condition is different. Arch. to provide additional detail for clarity, see RFI 1.35 for more information.
1.25	"	E1.03	Utility Pad Mount – Keynote 12, EC to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Per coordination call with Georgia Power, it's understood there is a current project in progress along Fulton Industrial Blvd that is covering existing primary overhead lines to underground. It was noted that GP would be able to "splice and connect for service to our building anywhere along the frontage of our building as a result of everything being underground." Now that 100% CDs are complete, next steps can be taken with GP to finalize the location of the primary connection point, which is intended to be due north of the service transformer on the south side of Fulton Industrial Blvd as indicated on the electrical site plan. It's understood a new switch or tap enclosure will be provided by GP.
1.26	"	E3.11	Light Fixture types not called out for Day Foster Office 076A.		L1-4'
1.27	"	E3.11	Light Fixture types not called out for Rescue Coord Office 076B.		L1-4'
1.28	"	E3.11, E3.12, E3.13	Please confirm that the ceiling fan and its controls are to be Owner-Furnished, Owner-Installed. Contractor only provide power to the fan location.		Ceiling fans to be contractor provided / contractor installed. Ceiling fan basis of design: Big Ass Fans, Essence, 8', Oil Rubbed Bronze finish, LED light kit.
1.29	"	e.g. 4/A7.52	The drawing details show an "air/moisture barrier" on top of the substrate board. This is not called for in the specifications. Please clarify.		Air barrier not required above substrate board at roof. Arch to revise.
1.30	"	Section 075423, e.g. 4/A7.53	The drawing details call for the substrate board to be 5/8" but the specification section 075423, Paragraph 2.5, A is calling for a 1/2"		1/2" substrate board is acceptable. Arch to revise.
1.31	"	E1.03	Utility Pad Mount – Keynote 12, EC to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Duplicate to RFI 1.25
1.32	"	E1.03	Utility Pad Mount – Keynote 12, electrical contractor to provide and install all Primary conduit between nearest utility switch and the Pad Mount for the Building. Please advise on location of the nearest utility switch.		Duplicate to RFI 1.25

Exhibit A - Attachment F

RFI Log #1 - 10/25/2021

Fulton County Animal Services

1.33	"	E6.01	The breaker on feeder from the main switchboard to the mechanical chiller is designated as 110A/3ph, which seems inconsistent with the chiller schedule information on sheet M1-03. If incorrect, please advise on correct breaker size.	The breaker for Chiller Circuit 2 connected to the MSB is understood to be 250A/3P. Chiller Circuit 1 is 350A/3P and connected to standby panel HSA. Electrical one-line diagram and schedules will be revised to clarify correct chiller circuit labeling and corresponding breaker sizes.
1.34	"	A2.12	What is the partition type that separates courtyards 146 and 147?	8" Masonry wall with 4" Trenwyth block (both sides) to match surrounding courtyard walls, provide cast stone coping at the top, similar wall section to monumental sign. Height to be 8'-8" to bottom of cast stone coping. Arch to provide detail revision in updated drawings.
1.35	"	A2.11, A2.12, 13/A1.19	If the K9 grass called out on 13/A1.19 is to be installed in courtyards 80, 146 and 147, won't these slabs need to be depressed? If so, please provide details.	Yes, slabs will be depressed. Arch to provide detail.
1.36	"	S2.21, S2.22, 4/S5.05	Please provide connection details for the L8x4x1/2 shown at the north and south ends of courtyards 80, 146 and 147. The section cut through these areas, 4/S5.05 does not include them.	Structural: Connection is similar to connection shown in detail 5/S5.07. Clarification has been made.

Exhibit A - Attachment G

RFI Log #2 - 10/28/2021

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
2.01	10/26/21	A1.15B	Please advise on the paver color selections.		Light Pavers: Techo Paver HD smooth, Shale Grey, 051353; Dark Pavers (dark hatch on drawings): Techo Paver HD Smooth, Greyed Nickel 051310
2.02	"	A1.15B	The paver system specs call for #57 stone, #8 stone, geofabric and sand. Please provide section cut detailing the thicknesses of the layers.		See attached detail from manufacturer
2.03	"		We assume that heat required in room 114? Please confirm.	10/26/21	Heat is not required in this room.
2.04	"		Is heat required in room 115?	10/26/21	Yes, heat is required. We will add a 3kW electric cabinet unit heater in future revised drawings.
2.05	"	M2-12	Does code allow ductwork in the electrical room as is currently?	10/26/21	Ductwork is allowed in the electrical room, but will need to be re-routed to avoid running above electrical panels. Updated duct routing will be provided in future revised drawings.
2.06	"	Section 230923	There are no manufacturers listed for the Direct Digital Control (DDC) system for the HVAC. Please provide acceptable manufacturers so we can solicit multiple providers for competitive pricing.	10/26/21	20/20 Engineering's only requirement is that the manufacturer be approved for use by Fulton County.
2.07	"	Section 084113, A0.31	Paragraph 2.4A.1 aluminum entrance door specifications call for narrow stile YKK 20D series doors, which are 1¾" thick. Same specification calls for 2" thermal (even at interior) doors which is medium stile. Furthermore, hardware schedule specify door types FG1 and FG2 as medium and wide stile doors. Please advise on what aluminum entrance door specifications to price.		No narrow stile doors; Specs to be updated to include medium and wide stile doors. Aluminum entrance doors to be medium stile doors.
2.08	"	drawing detail 2/P4-00	Detail references slack cables and spring hangers. Is this something that needs to be on all of our hangers? Or just certain sizes?	10/26/21	Slack cables and spring hangers are not required on every hanger. Specific locations to be determined at a later date based on the total weight being supported.
2.09	"	sections 083323, 08330, 083613	It appears that "Section 083323 Overhead Coiling Doors" and "Section 083330 Overhead Coiling Grilles" are the only overhead door systems applicable to the project, and are at the intake garage and the reception area respectively. Please confirm. Is provide door number on the door schedule for the overhead grille.		Yes - only (4) Overhead Coiling Doors in the project and are located at the Intake Garage. Only (1) Overhead Coiling Grille and is located at the Adoption Lobby. Door Number can be given for the grille.
2.10	"		Can the AISC certification requirement for the fabricator be waived if they can furnish an annual independent review of their shop policies and procedures, and can offer a 'job specific' inspection during fabrication for this project?		This will require further review and response sent in the few days.
2.11	"	section 042000	Paragraphs 3.5 and 3.6 call for cavity rigid insulation to be adhered to the masonry block. Please confirm this is not required?		Not required to be adhered to the block, but must be secured in place.
2.12	"	section 042001	Paragraph 2.10 is calling for Loose-Fill Insulation "Perlite." Please confirm that this is not needed as the cavity has rigid insulation.		This is not for cavity insulation, but for masonry cell fill insulation. Given that there is no longer any single wythe exterior wall construction on the project, this application would not be necessary.
2.13	"	A1.18	Please clarify the dimensions and model of the chicken coop.		Dimensions have been added - see sketch
2.14	"	C3.02	Regarding Key Note 29 can you clarify the crosswalk work that is shown? Does it need to be done or do we need to exclude it based on the note saying that a revision is "to be designed an permitted in a separate document sent to GDOT"?	10/26/21	Lowe Engineers: The crosswalk that is being referenced in Key Note 29 is referring the existing GDOT crosswalk at our signalized driveway entrance. This is detailed more in the plans that we submitted to GDOT. Plans can be provided to PGAL and WJG if needed.

Exhibit A - Attachment G

RFI Log #2 - 10/28/2021

Fulton County Animal Services



2.15	"	"	Can details be provided for the building perimeter downspout tie-ins to the storm drain system along with the secondary storm drainage layout?	10/26/21	Low Engineers: We spoke with PGAL and Low Engineers will show downspout connections to the proposed stormwater system rather than having a full permitter system. PGAL: All Downspouts are to be connected to offset powder coated gray iron downspout boots. These will be connected to the storm system. At dog runs, downspouts are pvc pipes to drain to yard.
2.16	"	C5.01, C5.02	What class DIP sewer pipe is needed?	10/26/21	Low Engineers: Class 250 with a minimum of a Class "C" bedding
2.17	"	C5.01	A sized jack and bore is indicated for the water tap on Fulton Industrial Boulevard. None is shown for the sanitary sewer tap. Please advise on whether the sewer line A1 to A0 (tie-in to existing) needs to be jack and bore, and if so what size is required?	10/26/21	Low Engineers: ±42 LF of Jack & Bore with 16" steel encasement. For the water line we used a 5ft wide pit. If this needs to be modified to allow easier access please let us know and we will denote it on our plans.
2.18	"	C3.01, Key note 29	Regarding the curb and gutter re-configuration in the middle of Fulton Industrial Blvd. at the southern entrance, we assume this work is to be performed by the owner outside of Winter Johnson's scope of work? Please confirm.	10/26/21	Low Engineers: We can speak with GDOT District 7 to determine who will need to perform the work. We are proposing the medians to force a right-in/right-out only at the unsignalized intersection.
2.19	"	"	Please clarify what the GDOT asphalt paving profile is for the decel lanes shown on Fulton Industrial Boulevard.	10/26/21	Low Engineers: We can add a paving profile to our plans for the next submittal unless needed sooner for internal coordination
2.20	"	HVAC	Please advise whether equivalent Chilled Water & Hot Water AHUs, Air Cooled Heat Recovery Chiller, Chilled Water & Gas Heating DOAS, Ductless Split System Heat Pump, VAV Box, Energy Recovery Unit, DDC Controls systems from Trane are acceptable.	10/26/21	Trane will be considered as an approved alternate if all equivalent components match the performance listed as well as the accessories, dimensions, weights, and electrical specifications. Any additional engineering or design support will be financially responsible by the vendor/contractor prior to approval.
2.21	"	Sections 084113, 102219	Are Doors #002A, 002B, 004, 005 & 007 supposed to be a part of the demountable partitions system, or interior storefront (with Sliding Doors)?		Doors 002A, 002B, 004, 005, 007, and 008A are to be part of demountable partition systems.
2.22	"	A2.11, S2.11	Please provide details/direction for operable partition support steel.		Detail provided on 4/A3.20
2.23	"	Sections 084113, 084413	Please confirm if equivalents of the specified YKK storefront, curtainwall, and aluminum entrance systems from Kawneer, EFCO or Tubelite would be acceptable.		Yes, they are acceptable as long as the products being priced meet the performance / function / quality level as specified in the YKK systems
2.24	"	section 096723	Please confirm if Key Resin Company's equivalent to the Dur-A-Flex system specified for Resinous Flooring is acceptable?		Currently being studied
2.25	"	section 075423	Paragraphs 3.5, C, 1 & 2 state to loose lay the substrate board, mechanically attach the first layer of polyisocyanurate, loose lay or adhere the second layer of Polyisocyanurate then adhere the cover board. The roof system is mechanically attached as stated in paragraph 1.2 A1. Please confirm that it is acceptable to gang fasten all layers simultaneously, and then mechanically attach the TPO. This will not have any effect on the manufacturer's warranty.		Technically, this is acceptable. PGAL has reached out to the County for confirmation that the installation method and warranty would be acceptable to the County.
2.26	"	HVAC	Chilled Water & Hot Water AHUs, Air Cooled Heat Recovery Chiller, Chilled Water & Gas Heating DOAS, Ductless Split System Heat Pump, VAV Box, Energy Recovery Unit, DDC Controls	10/26/21	Question is unclear.
2.27	"	S2.21	Per the marked up drawing sheet S2.21 attachment, please furnish clarifications regarding the HSS 4x4 column.		Clarification has been provided in "GMP Structural Revisions" package
2.28	"	S2.22	Per the marked up drawing sheet S2.22 attachment, please furnish clarifications regarding the HSS beam.		Clarification has been provided in "GMP Structural Revisions" package
2.29	"	S7.01	Per the marked up drawing sheet S7.01 attachment, please furnish clarifications regarding the location of some steel members.		Clarification has been provided in "GMP Structural Revisions" package
2.30	"	sections 074213	Would equivalent metal wall panel systems by Alfrex be acceptable for the project?		Yes, this is acceptable. PGAL has asked if any of the sub-contractors have experience with the product and where it has been installed previously.

Exhibit A - Attachment H

RFI Log #3 - 10/29/2021

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
3.01	10/27/21	A2.01 & A 2.02	There appear to be raised areas shown on the slab plans on A2.01 and A2.02 noted 0'-4", 0'-6" or 0'-8". Are these areas intended to be raised concrete housekeeping pads per detail 9/S3.03?	10/28/21	The raised areas are concrete or wood curbs noted with a material tag for built in animal housing. Detail 9/S3.03 is for the concrete pad under the washing machines in laundry. Reference sheets A9.04 and A9.05 for details of curb conditions.
3.02	"	2 & 3/S6.01	What is the edge of slab condition at the Yards/Outdoor Runs? 2 & 3/S6.01 appear to show a turn-down but no section or detail is provided. Please provide a section or detail that shows required dimensions and reinforcing if a turn-down is required.		The edge condition at the yards is a 1'-0" wide x 2'-8" deep turn-down, similar to, and reinforced, like one shown in detail 2/S3.04.
3.03	"	A1.18	Please provide foundation/slab plan and details for the barn structure	10/28/21	The barn manufacturer does all the engineering for the barn including foundation and slab. All details will be provided by the manufacturer. That will be coordinated as a submittal later.
3.04	"	1/S3.01	Footings types F5.0, F6.0SP, F6.0x10.0 and F6.0x12.0 are listed on the footing schedule on 1/S3.01 but are not shown on the foundation plans. Please verify these footings types are not applicable to the project.		Confirmed. Footings not shown on plan are not applicable to the project.
3.05	"	Section 051213	The specifications mention AESS. Please confirm that AESS is not required on the project.	10/28/21	There is architecturally exposed structural steel on the project. Please adhere to specifications.
3.06	"	S0.01	SS-1.4 states that all steel permanently exposed to weather is to be galvanized. Is the exposed galvanized steel to be finish painted. If so, please identify specific members and paint finish type.	10/28/21	Painted Steel does not need to be galvanized. To have Primer Coat of Carbozinc 859 VOC, Mid Coat of Carboguard 890 VOC, and Top Coat of Carbothane 134 MC. All from Carboline. See attached specs.
3.07	"	Section 087100	Are doors 017, 104, 107A, 108A, 135 and 300B hollow metal, wood, or aluminum? If aluminum, what hardware set should be priced?	10/28/21	All doors listed are Aluminum doors
3.08	"	L1.0 & A1.17	A1.17 details RT-1 as the dog yard floor material. L1.0 notes pea gravel. Please clarify which material is correct. If rubber turf is the correct material, please confirm that Spec Section 027920 applies to this location. Please also confirm that no drainage is required for these dog yards.	10/28/21	RT-1 is correct for the dog yards. That is the correct spec section. No drains are shown for these yards. Reference detail 10/A1.19 fence detail for keeping the rubber in the fence.
3.09	"	C3.02	Please provide additional detail or narrative for Note 30 "Dirt Path" Are there compaction requirements? Are there transition details between asphalt and dirt?	10/28/21	Per the geotech provided by Wood PLC dated 4/14/2020 We should anticipate a compaction of at least 95% in thin 8" lifts (ASTM D 698). We do not have a transition detail between the asphalt and gravel at this time. We are showing a curb cut at each of the entrances to the dirt path with fencing as well. If needed we can provide one in the next submittal
3.10	"		Detail 2 on A1.17 shows fence type FC-1, FC-2 and FS-2 but there are no details associated with those types. Please provide additional fence details or advise on the correct fence type tag.	10/28/21	Fencing Types legend on A1.17 states the special conditions of "C and S" for fences and the types. For example, FS-2 is F-2 fence type with privacy slats.
3.11	"	A1.15 through A1.18	Except for the 8' aluminum picket fencing on the site retaining wall at Fulton Industrial boulevard, the heights of the remainder of the fencing is not stated. Please clarify heights of each fence type.	10/28/21	See attached sketch for additional site fence heights. Fence heights around the dog yards are called out on Fencing Type Legend on Sheet A1.17
3.12	"	G1.10 through G1.1	Symbol legend refers to FER-C as both surface mounted and fully recessed. Please clarify.	10/28/21	Fully Recessed FECs are to remain as FEC-R. Surface Mounted FECs are renamed to FEC-S. Please see attached updated LS drawings.

Exhibit A - Attachment H

RFI Log #3 - 10/29/2021

Fulton County Animal Services



3.13	"	C3.01. C3.02 and C9.00	Is any thermoplastic striping required? Please advise.	10/28/21	Yes. We are planning on using thermoplastic striping for the parking and turn lane stripes. Let us know if you need further information or if there is a preferred alternative
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Exhibit A - Attachment I

RFI Log #4 - 11/04/21

Fulton County Animal Services



RFI #	Date Issued	Drawing/Spec Reference	Description - RFI (by WJG u.n.o.)	Response Date	Description - RESPONSE (by PGAL u.n.o.)
4.01	10/28/21	Section 088000	GL-S glass type is requiring sound insulation. What is the STC requirement?	10/29/21	There is no STC requirement. Insulated glazing is required at sound walls to provide a higher level of acoustic performance in that particular wall assembly, however no STC rating is required for the glazing itself. Typical 1" insulated glass has been tested to achieve a value of STC 35. Glazing to match specifications for glazing thickness and total assembly thickness.
4.02	"	Section 088000	Frames M and Z on A0.40 do not have detail call outs or glass type call outs. Please advise.	10/29/21	Glass Type for "M" and "Z" frames is to be GL-I. Note that both M and Z frames are found at the Surgery Rm #106. The window labeled "R4" is mislabeled and should be the "M" type window. This will be corrected on the drawings.
4.03	"	A5.12	Detail indicates a thin layer on CMU wall projection in detail 2. The typical elevations of this wall on 3/A6.10 show CMU continuing to the end of the projection. Please specify what coating or paint goes on this wall projection.	10/29/21	Detail2/A5.12 shows the transition between the CMU exterior wall of the building envelope and the single-wythe CMU wall that extends out from the building. There is no coating or paint to be applied to the CMU in the single-wythe wall extension. I believe that there may be some confusion graphically associated with a line that is appearing around that wall. The line will be removed or noted separately. The wall is intended to be decorative Trenwythe CMU only with no additional coating or painting.
4.04	"	C2.01, C2.02	Key note #4 states "STORMWATER STRUCTURE TO BE RELOCATED. SEE GDOT PLANS BY LOWE ENGINEERS DATED XX/XX/2021." The note is referencing the existing Catch Basins along Fulton Industrial Blvd. Please confirm that this work is part of the GDOT package to be performed outside Winter Johnson's scope of work.	11/1/21	The permit approval and process is through GDOT but the actual work to be completed with the turn lanes will need to be done by the Contractor whether its WJG or someone else.
4.05	"	P1-03	Please provide direction on location of trap primers and or trap guards. Trap guards are only shown on the floor sinks FS-1 but our plumbers do not recommend that they be used in any area that has a high likelihood of large amounts of hair and or large debris due to the risk of repeat clogging.		Trap guards to be provided on all floor drains/sinks that do not see frequent wash downs. Locations to be further detailed on a future ASI. (20/20 Engineering, Inc.)
4.06	"	P4-00	Please provide direction on spring hanger requirements for plumbing piping. They are shown for all hangers on detail 2/P4-00 but they are not listed in the specs. Spring hangers for all piping will be a significant cost.		Spring isolation is not required on any plumbing system piping (20/20 Engineering).
4.07	"	P1-03,A10.11	SV-1 mixing valve is listed on the plumbing equipment schedule but not shown on any of the plans. Please provide direction as to where this mixing valve should be used. 09-620 is a Accel Mixing Station and locations are shown for this on A10.01-04. Please provide direction if these are for the same use.		SV-1 is not included in the project's scope of work. Accel Mixing Stations are for chemical mixing for sanitary wash down procedures. These should not be included in the plumbing scope of work. (20/20 Engineering).
4.08	"	P2-23, P2-24, P2-34 1/A7-28	Roof drain piping shown going to the roof in areas C&D but no roof drains shown. If these areas will be served by gutters and downspouts please provide direction on how the downspouts will be tied into the storm piping.		Roof gutter and downspout outlets will connect to the 4" storm risers referenced on the plumbing plans. Detail to be incorporated on future ASI (20/20 Engineering).
4.09	"	P4-00, P1-03	Please clarify if the hair traps HT-1 will be supplied with the associated equipment and should just be installed by the plumbing contractor or if they should be supplied by the plumber and they included equipment drains modified.		Plumbing contractor to provide and install HT-1 as specified. HT-1 is a replacement basket strainer and tailpiece for the fixture (20/20 Engineering).

Exhibit A - Attachment I

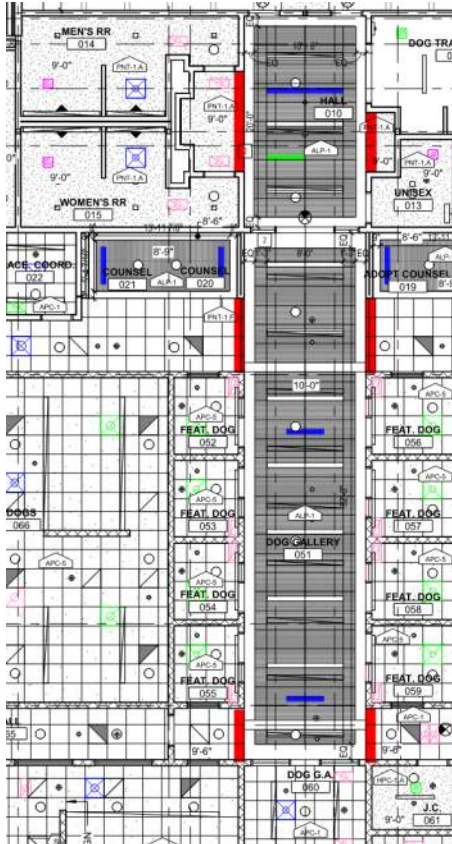
RFI Log #4 - 11/04/21

Fulton County Animal Services

4.10	"	E3.11	Please provide labels for lights in rooms 076A and 076B at the matchline in sector B.		
4.11	"	RFI 2.19 response	The GDOT asphalt paving profile for the decel lanes shown on Fulton Industrial Boulevard is needed now for pricing solicitation from bidding subcontractors.		1.5" of 9.5mm Superpave Asphaltic Conc. Surface Course, 2" of 19 mm Superpave Asphaltic Concrete Binder Course, and an 8" Graded Aggregate Base
4.12	"	A6.20	Please clarify what the three CMU colors 1, 2, and 3 are.	10/29/21	Echelon Trendstone: CMU-1 Ground Face Color #4107, CMU-2 Ground Face Color #4205, CMU-3 Ground Face Color #4301
4.13	"	section 042200, par. 2.5A; RFI 1.34 response	Please confirm that glazed block is eliminated from the project per VE #A14.	10/29/21	Correct Glazed Block is no longer to be installed in the project. Section will be removed from the specifications
4.14	"	section 042200, par. 2.5A; 6/A6.20	Please confirm that Trendstone is not included on the project.	10/29/21	Trendstone is included and is scheduled to be the exterior masonry product for this project. Astraglaze product is no longer included on the project. Color selections as noted in detail 6/A6.20 to be priced, however final color/size decisions in the walls shown in details 6, 7, 8/A6.20 are TBD.
4.15	"		Would it be acceptable to change structural steel canopies with roofing to pre-manufactured aluminum canopies?	10/29/21	Yes, that would be acceptable provided that the skyward side of the canopy system would be finished in white or light grey to prevent a heat island effect.
4.16	"		Is every window location that gets rollershades indicated on the A8.? Please confirm.	10/29/21	See response to RFI 1.10
4.17	"		Is the DIRTT an acceptable substitution for the demountable systems?	10/29/21	Yes, provided that the dark bronze finish is available in the DIRTT system and that they can provide glazing over sliding glass doors at reception area.

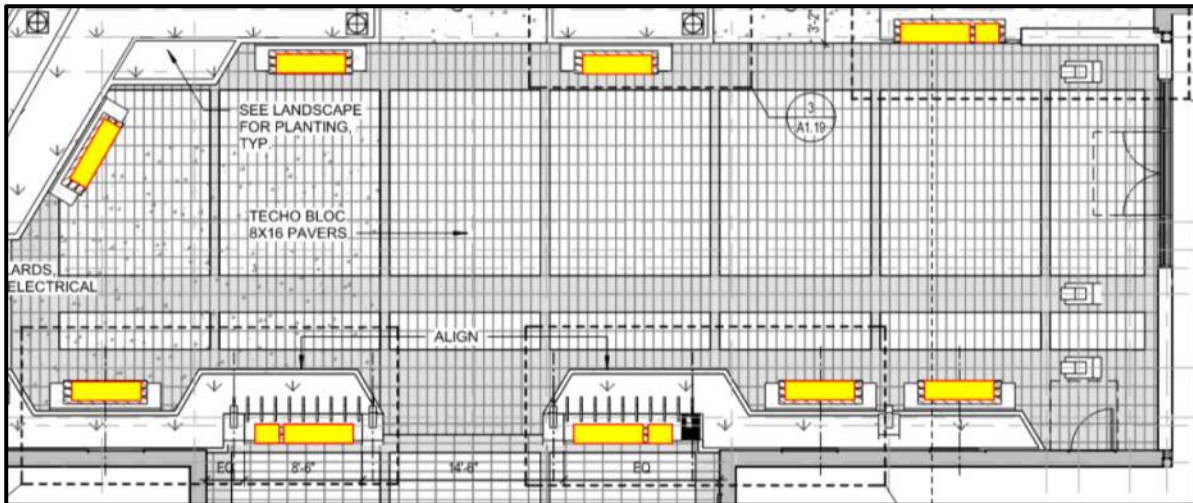
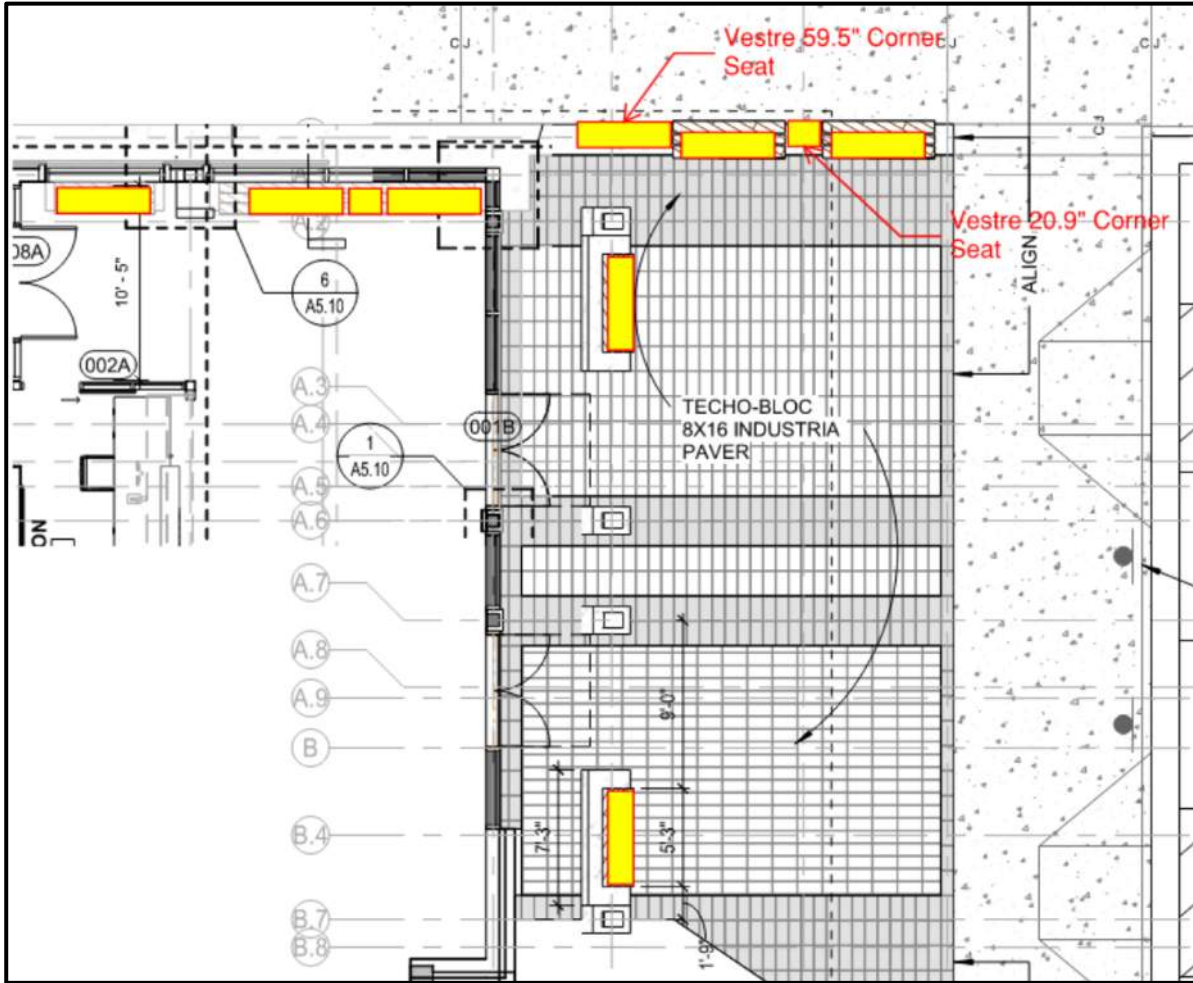
10/21/2021 GMP Impact Items - Narrative

1. Color for PL-1 changed from Vapor Strandz 4939K-18 to Dove Geo Y0677-60 (2-4 week lead time)
2. Color for PL-2 changed from Washi Gold 5019-38 to White Cascade 5003-38
3. Color for SS-1 changed from Oatmeal 9101GS to Frosty White Mirage 1573MG
4. Dog Gallery and Hall 010 are open to structure. Areas highlighted in red to have drywall bulkhead to go up to deck to close off plenum space in this area.



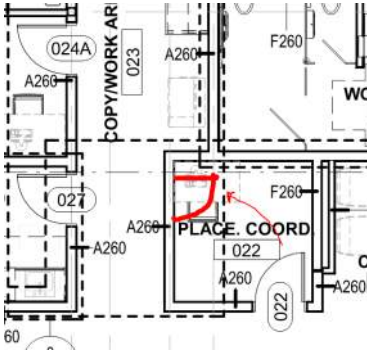
5. Sheet A4.11 shows Herringbone pattern tile in Single-Use Restrooms. This tile will be CWT-1 and will have 33% offset subway tile pattern (similar to elevations of restroom 049 and 050 on 3/A4.10).
6. Revisions to Equipment Schedule (per 10/18/21 meeting) – Revisions to be sent out on 10/22/21

- 7. Concrete Bench Seat - Possible product: Manufacturer: Vestre, Product: Corner

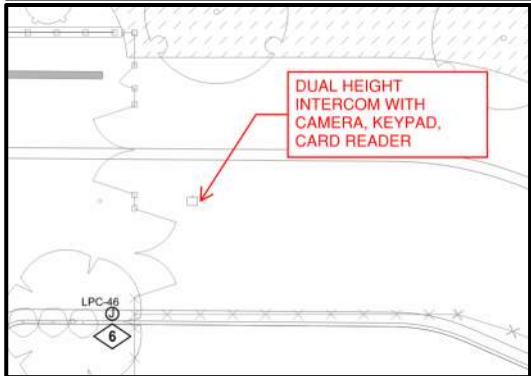
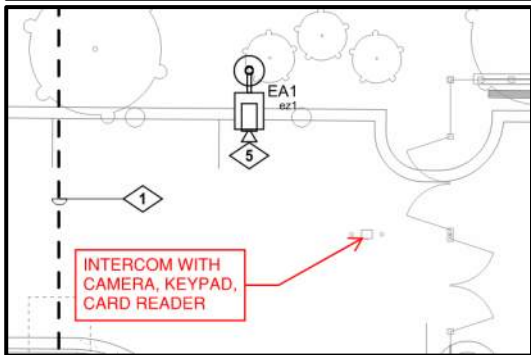
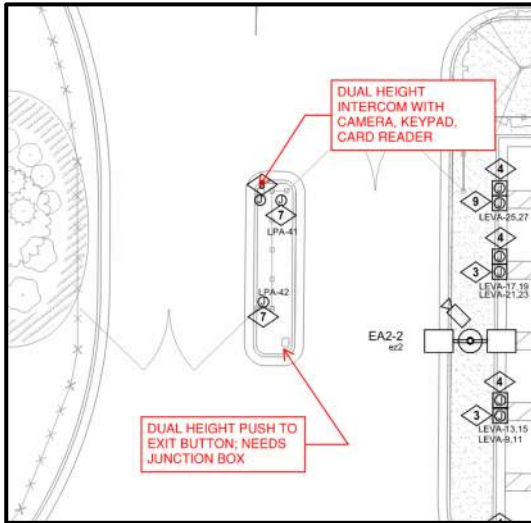


- 8. Study if Solid Wood doors should be stained or laminated

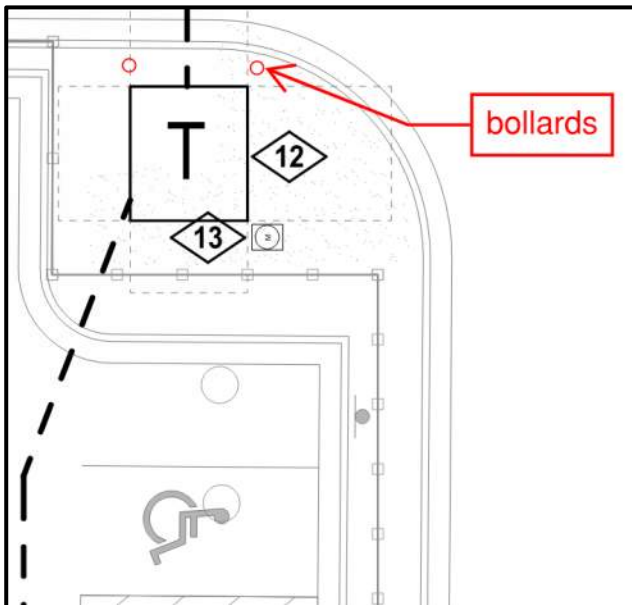
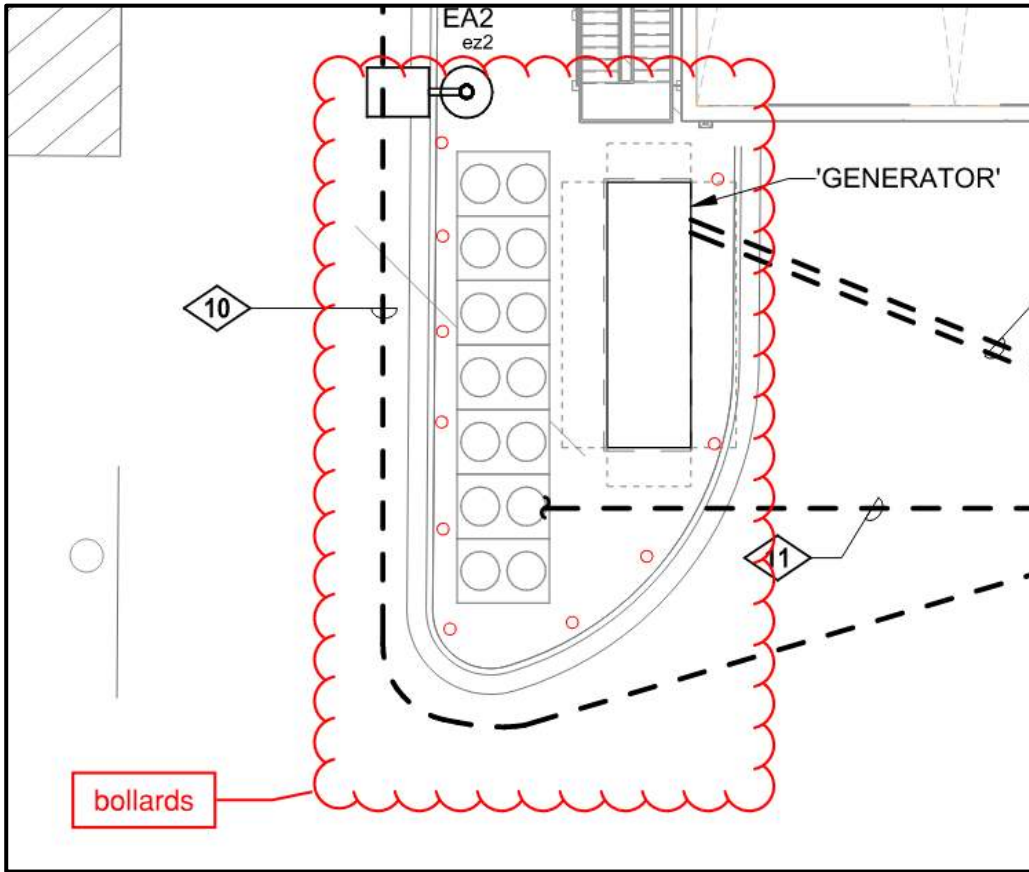
- 9. 022 Placement Coordinator Door to be Wood Door with HM Frame and moved for better privacy



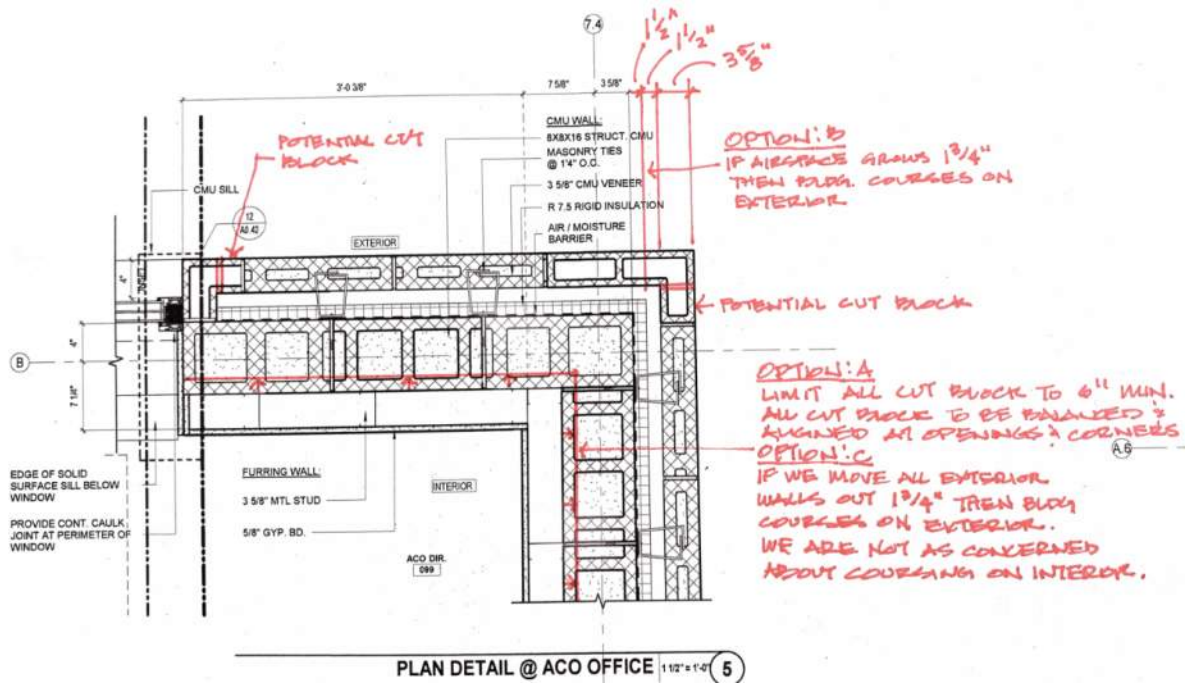
- 10. Call boxes, keypads, card readers at gated entries to be added



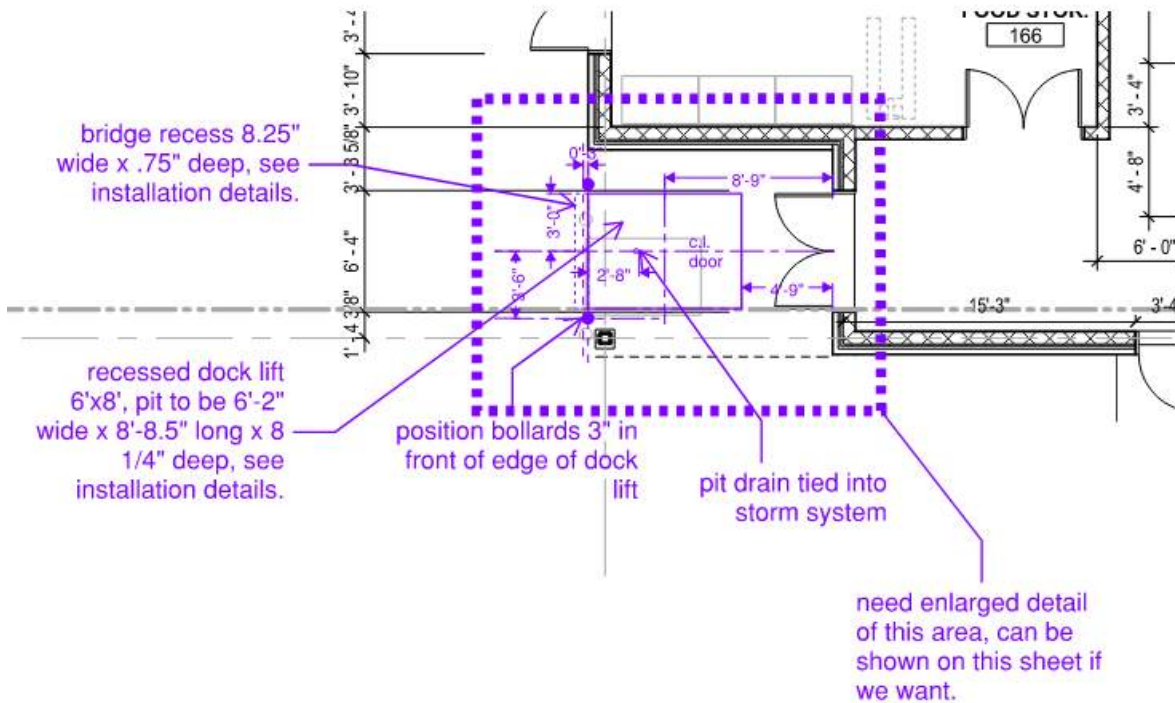
11. Bollards around exterior equipment to be added



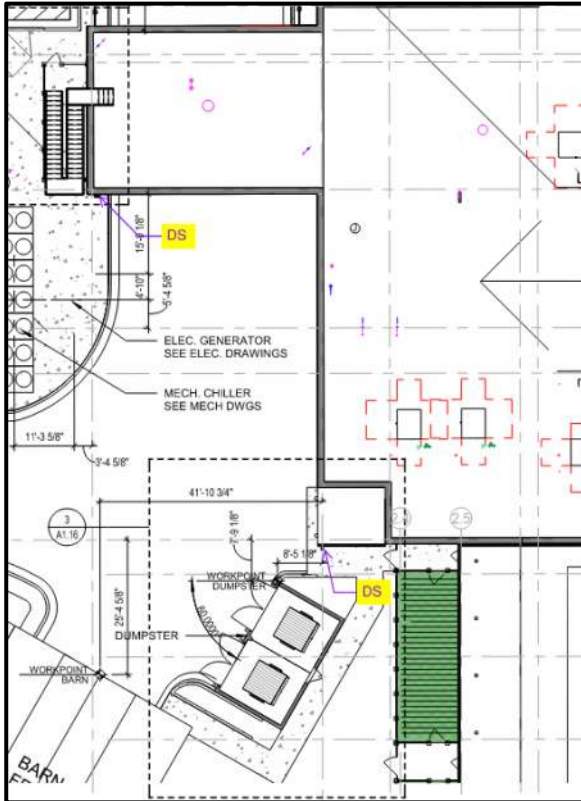
- 12. CMU veneer coursing to be studied (larger air gap vs expanding building to work with exterior coursing) – GC to contact mason.



- 13. Power to be added for Building Mounted Fulton County Sign
- 14. Revised Door Schedule Sent to GC on 10/20. 022, 119B, 120B, 121B, 122B, 126A, 127A to be wood doors; 503B to be Half Glass panel.
- 15. Dock lift to have drain (see email from Greg Mullin 10/21/21)

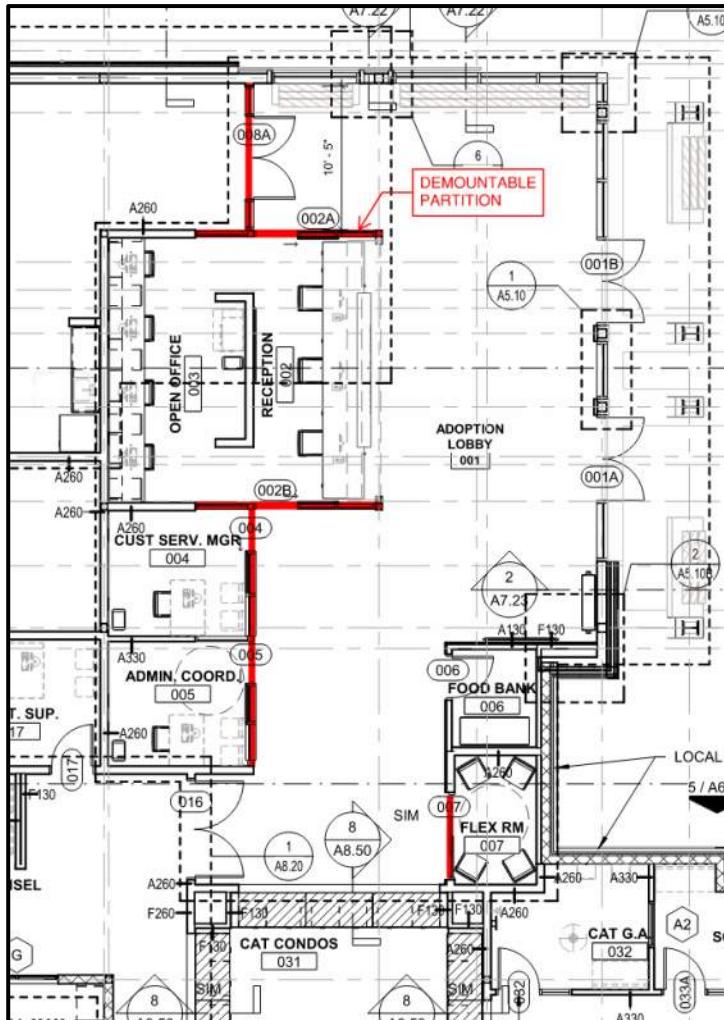


16. Downspouts to be tied into storm



10/25/2021 GMP Impact Items - Narrative

17. Walk Off Mats to be added to meet LEED Requirements (see attached diagram for locations)
18. Exterior Signage to be added at Intake Lobby/Clinic area. Will not need power
19. No Smoking Sign at all entries per attached diagram
20. Demountable Partitions at lobby to be priced out. Will be sent to GC week of 10/25.



11/2/2021 GMP Impact Items – Narrative

21. Door 200A to be changed to Aluminum – Full Glass
22. Add shades at interior door and glazing at conference room for privacy

11/18/2021



Aluminum Canopies • Walkway Covers • Metal Awnings

Fulton County Animal Facility

Type of Canopy:	Extruded Aluminum Walkway Covers, Overhead Supported Rod Canopies and Trellis Structures:
Post Supported Walkway Sizes:	(A) 1 @ 18'-0" x 31'-0" x 12'-6" / (F) 1 @ 11'-0" x 13'-0" x 12'-6" / (G) 1 @ 10'-6" x 84'-0" x 12'-8" (H) 5 @ 12'-0" x 84'-0" x 12'-6" / (I) 3 @ 6'-6" x 84'-0" (J) 1 @ 6'-6" x 95'-6" x 12'-6" (K) 1 @ 8'-0" x 12'-0" x 12'-6" (L) 3 @ 9'-6" x 12'-0" x 12'-6" (M) 8 @ 8'-0" x 12'-0" x 12'-6"
Rod supported Canopies Sizes:	(B) 1 @ 3'-0" x 41'-0" (N) 5 @ 4'-0" x 19'-0"
Trellis Sizes:	(C) 1 @ 17'-6 x 69'-6" 12'-6 (D) 2 @ 12'-3" x 33'-0" x 12'-6" (E) 12 @ 12'-0" x 30'-0"

Materials:

Columns:	4" x 4" / 4" x 6" / 6" x 6" Extruded Aluminum
Beams:	4" x 6" / 6" x 8" Extruded Aluminum
Trellis Tubes:	2" x 6" Extruded Aluminum
Gutter / Fascia:	6" Extruded Aluminum
Decking:	3" x 6" Extruded Aluminum Cap & Pan
Overhead Rods:	2" x 2" Extruded Aluminum Tube
Color / Finish:	Kynar 2-coat – one color only, from Mitchell Metals Standard Kynar Colors. Custom Kynar colors available with a 3 to 4-week additional lead time.

Notes & Exclusions:

- Mitchell Metals is providing custom designed systems utilizing the standard Prefabricated / Pre-engineered Parts and pieces listed above (See attached sketch).
- No specifications were provided for this scope of work.
- Price is based on Mitchell Metals interpretation of the Scope provided by Winter Construction
- Footing design and installation excluded. Mitchell Metals to provide Styrofoam block outs with installation by others.
- Blocking (if required) to support canopy gutter and overhead rods EXCLUDED. Blocking to be furnished and installed by others per Mitchell Metals' APPROVED Shop Drawings. *Blocking must be accessible during time of canopy installation to allow for proper canopy attachment.* Wall conditions: Brick/CMU
- Any demolition, lighting, conduit covers, thru-wall flashing, bonds and Davis Bacon Wage Rates excluded.
- Canopies are not designed to handle building roof drainage and will result in overflow of canopy system.

General Notes:

- **Georgia** PE sealed drawings and design calculations are included in this price. Canopy is designed to meet IBC with Wind Load requirements of 120mph, 20 psf Live Load and 5 psf Snow Load, Exposure Category – C, Risk Category – II.

Project Lead Time: May 17th, 2022 – Mitchell Metals minimum lead time based on bid date above.

Exhibit A - Attachment K

11/18/2021

Fulton County Animal Shelter



RCP - OVERALL 

GENERAL NOTES	
1.	ALL DIMENSIONS ARE UNLESS NOTED OTHERWISE.
2.	ALL DIMENSIONS ARE UNLESS NOTED OTHERWISE.
3.	ALL DIMENSIONS ARE UNLESS NOTED OTHERWISE.
4.	ALL DIMENSIONS ARE UNLESS NOTED OTHERWISE.

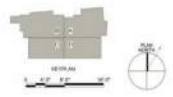
FINISH LEGEND	
01	CONCRETE FLOOR
02	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
03	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
04	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
05	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
06	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
07	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
08	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
09	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING
10	CONCRETE FLOOR WITH POLYURETHANE EPoxy FLOORING

CEILING PANEL LIST	
01	6' x 6' Acoustic Ceiling Panel
02	6' x 6' Acoustic Ceiling Panel
03	6' x 6' Acoustic Ceiling Panel
04	6' x 6' Acoustic Ceiling Panel
05	6' x 6' Acoustic Ceiling Panel
06	6' x 6' Acoustic Ceiling Panel
07	6' x 6' Acoustic Ceiling Panel
08	6' x 6' Acoustic Ceiling Panel
09	6' x 6' Acoustic Ceiling Panel
10	6' x 6' Acoustic Ceiling Panel

CEILING LEGEND	
Symbol	DESCRIPTION
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WORK NOTES	
Symbol	DESCRIPTION
Symbol	DESCRIPTION
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FINISH LEGEND	
Symbol	DESCRIPTION
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Symbol	DESCRIPTION
Symbol	DESCRIPTION
Symbol	DESCRIPTION



CLIENT

 Fulton County Georgia
 141 Pryor Street SW
 Atlanta, GA 30333
 T 404 802 3800
 F 404 802 3810
 www.fulton.ga.gov

ARCHITECT

 PGAL
 1425 Edgewood Industrial
 Suite 10
 Atlanta, GA 30318
 T 404 802 3800
 F 404 802 3810
 www.pgall.com

CONSULTANT

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 CONSTRUCTION PURPOSES.

PROJECT NAME
 Fulton County
 Animal Services
 Facility

PROJECT LOCATION
 1251 Fulton Industrial
 Boulevard
 Atlanta, GA 30318

PROJECT NUMBER
 1004636.00

SHEET TITLE
 OVERALL
 REFLECTED
 CEILING PLAN

SHEET NUMBER
 A3.10

Exhibit A - Attachment K

Fulton County Animal Services

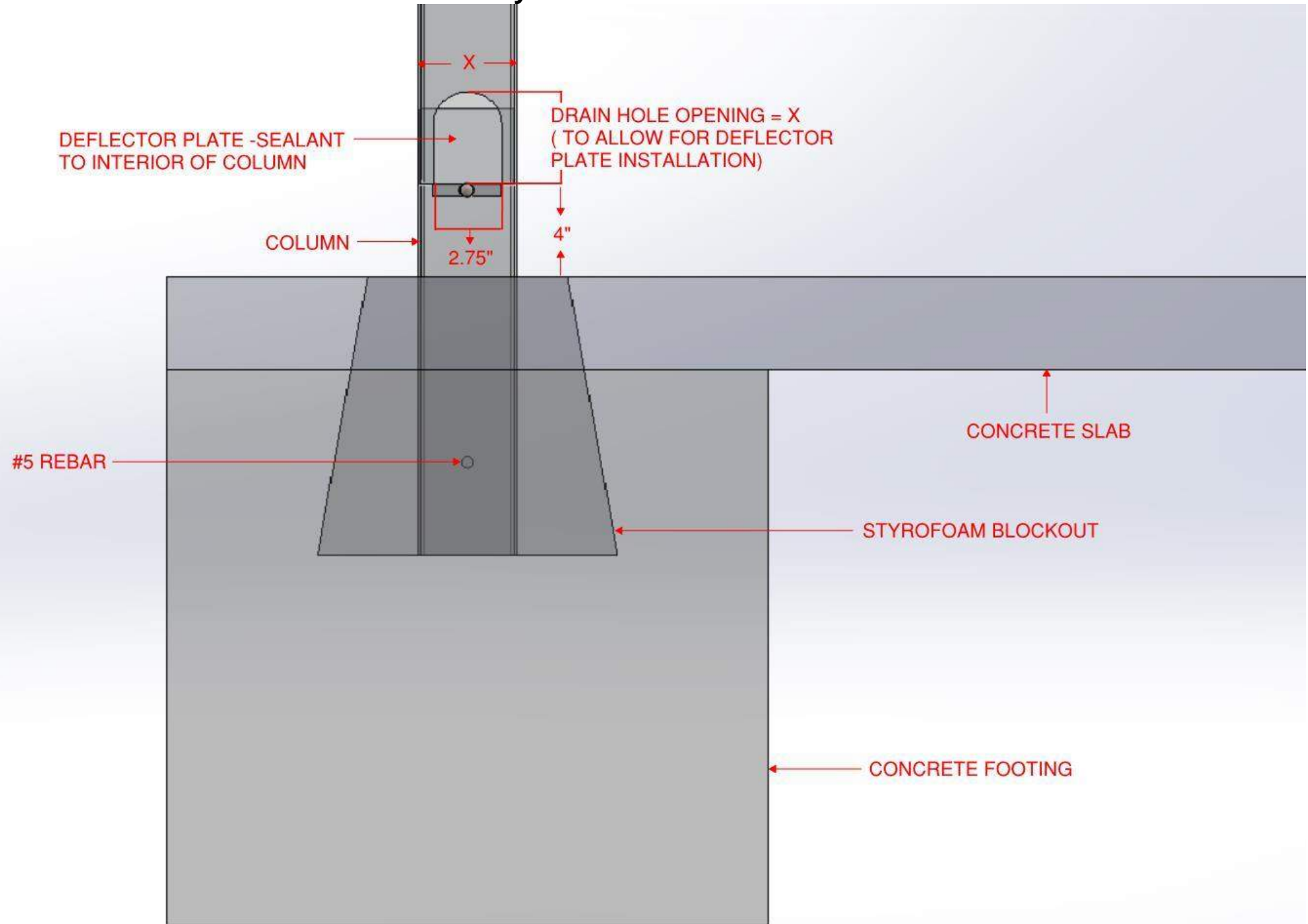


Exhibit A - Attachment K

Fulton County Animal Services

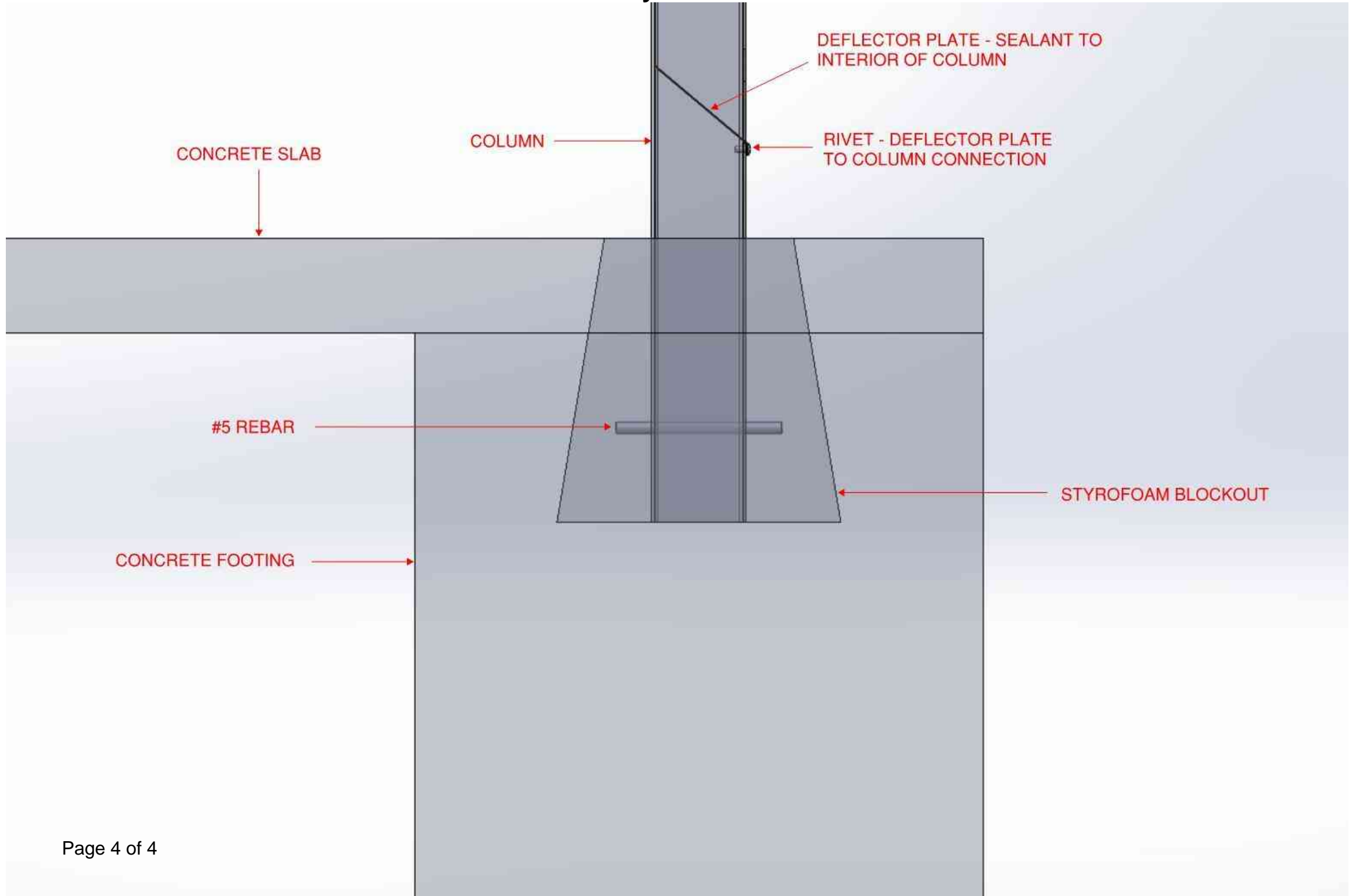


Exhibit A - Attachment L

Fulton County Animal Shelter



10/26/2021



Sierra Dennis, LEED AP BD+C, WELL AP, Fitwel Ambassador | Sustainability Consultant

Integral Consulting Engineering | **Trust** | **Nurture** | **Inspire**

P: 404.481.5686x1611

integralgroup.com | Sierra.Dennis@integralgroup.com

1000 Marietta St, NW, Suite 238, Atlanta, GA 30318 | **Just released! Read the WorldGBC's *Beyond Buildings* report**

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-----Original Appointment-----

From: Sierra Dennis

Sent: October 20, 2021 11:58 AM

To: Sierra Dennis; Greg Mullin; Kelley Park; Briana Keith; Jerry Oglesbee; 'Clemente Quinones'; 'amaddox@greenbergfarrow.com'; Mar Goldstone; heather@animalarts.com; sarah@animalarts.com; bbarnes@epstengroup.com; Jeremy@2020engineer.com; mwothe@aedesign-inc.com; kkeller@aedesign-inc.com; jmullikin@aedesign-inc.com; gpfiler@aedesign-inc.com; dave@2020engineer.com; carrie@2020engineer.com; kelli@2020engineer.com; enielsen@aedesign-inc.com; skaltz@aedesign-inc.com; Steph Powell; Taylor Marshall; Andi Walter; Jean Shi; Kathleen Truong; Akemi Flores; Blake Bredbenner; Katy Townsend; erin@2020engineer.com; Jonathan Pilgrim; 'Sarah McCracken'; 'Patrick Nesbitt'; 'William Mensah'

Cc: Anais Engel; Marilyn Specht; John Nelson; Ruicong Liu

Subject: LEED Online Help Session

When: October 25, 2021 1:00 PM-1:30 PM (UTC-05:00) Eastern Time (US & Canada).

Where: Microsoft Teams Meeting

Hi FCASF team,

I will be hosting a 30-minute session, for all team members, demonstrating how to navigate the LEED Online profile, including setting-up accounts, reviewing credits, uploading documents, etc. The meeting will be recorded and shared. Please forward this invite to team members, as needed.

*PLEASE NOTE: The LEED Online interface is most efficient when using an **Internet Explorer** browser!*

Best,

Sierra Dennis
Sustainability Consultant
Integral Group

Additional Resources:

- [LEED Online](#)
- [USGBC](#)
- [LEED v4 credits](#)
- [LEED v4.1 credits](#)

Microsoft Teams meeting

Join on your computer or mobile app

[Click here to join the meeting](#)

10/26/2021

William Mensah

From: Sarah McCracken
Sent: Tuesday, October 26, 2021 3:38 PM
To: Drew Clayton; William Mensah; Patrick Nesbitt
Cc: Carrie Campbell; 21123
Subject: FW: FCASF: Recording - LEED Online Help Session
Attachments: RE: FCASF: Recording - LEED Online Help Session

All,

I was able to speak to Sierra this afternoon. See response below in [blue](#).

We discussed scheduling a WJG huddle to get into more specifics of the LEED construction credits in the next 2-3 weeks, after the design submission is complete. Pat, can you take the lead on reaching out to Sierra the week of November 15th?

Thanks,

Sarah McCracken | LEED AP

Project Executive
404-965-3350 (d)
404-861-7099 (c)

From: Sarah McCracken
Sent: Monday, October 25, 2021 4:10 PM
To: Drew Clayton <dclayton@winter-construction.com>
Cc: Patrick Nesbitt <pnesbitt@winter-construction.com>; William Mensah <WMensah@winter-construction.com>
Subject: FW: FCASF: Recording - LEED Online Help Session

Drew (and team),

FYI.....

I left a voicemail with Sierra to chat about who the WJG contact will be (maybe need a couple options) along with some general questions as noted: [Sierra confirmed we can have multiple people assigned to credits \(and encourages this\) as the new LEED online system operates where you can only see the credits that you are assigned to, so it is good to have multiple people assigned to each credit. I suggest that Drew, Pat, and I all create USGBC accounts and are both assigned to the project.](#)

- She mentioned LEED V4 and V4.1. Was curious as to why some credits seemed to fall under different versions as this hasn't been the case in the past. [Although the project is registered under V4.0, we can select to use the newer v4.1 requirements for certain credits at will. Sierra explained that some of the v4.1 requirements are less stringent than v4.0. See attached e-mail for the credits she is assuming we will use v4.1 versus v4.0.](#)
- Does WJG actually upload everything or do we send it to them to review and then they upload (the latter is how it worked on Central Library)? [The Integral Group will review our submittals \(i.e. IAQ plans, certification letters, etc.\) before we upload to LEED Online. For the tracking spreadsheets, we will simply enter the information into LEED online and then The Integral Group will review. In summary, WJG enters/uploads all required credit back-up, but The Integral Group reviews/confirms everything and actually submits to USGBC.](#)

10/26/2021

- During the kick-off meeting, she mentioned that she would send us templates for required documentation plans, etc. I will request those.....[Sierra confirmed she will send in the next week or so.](#)
- If Certified wood is a pre-requisite for MRc3: Building Product Disclosure & Optimization Sourcing of Raw Materials Product [Certified Wood is not a required pre-requisite. The requirement is simply a minimum of 5 product manufacturers meet one or more of the requirements \(recycled content, regional content, renewable materials, and/or certified wood\). It is all based on percentages of cost of construction so in theory we could meet the credit through recycled content \(as an example\) if we had 5 different product manufacturers that met the percentage requirement.](#)

Let me know if anyone has any additional questions. I will let you know once I hear back from her.

Thanks,

Sarah McCracken | LEED AP

Project Executive

404-965-3350 (d)

404-861-7099 (c)

From: Sierra Dennis <Sierra.Dennis@integralgroup.com>

Sent: Monday, October 25, 2021 3:09 PM

To: Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; Briana Keith <BKeith@pgal.com>; 'Jerry Oglesbee' <jerry@2020engineer.com>; 'Clemente Quinones' <clemente.quinones@loweengineers.com>; 'amaddox@greenbergfarrow.com' <amaddox@greenbergfarrow.com>; Mar Goldstone <mgoldstone@epstengroup.com>; heather@animalarts.com; sarah@animalarts.com; bbarnes@epstengroup.com; Jeremy@2020engineer.com; mwothe@aedesign-inc.com; kkeller@aedesign-inc.com; jmullikin@aedesign-inc.com; gpfile@aedesign-inc.com; dave@2020engineer.com; carrie@2020engineer.com; kelli@2020engineer.com; enielsen@aedesign-inc.com; skaltz@aedesign-inc.com; Steph Powell <spowell@aedesign-inc.com>; Taylor Marshall <TMarshall@pgal.com>; Andi Walter <awalter@aedesign-inc.com>; Jean Shi <jshi@greenbergfarrow.com>; Kathleen Truong <KTruong@pgal.com>; Akemi Flores <akemi.flores@loweengineers.com>; Blake Bredbenner <blake.bredbenner@loweengineers.com>; Caty Townsend <caty@animalarts.com>; erin@2020engineer.com; Jonathan Pilgrim <jonathan@animalarts.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; William Mensah <WMensah@winter-construction.com>

Cc: Anais Engel <aengel@integralgroup.com>; Marilyn Specht <mspecht@integralgroup.com>; John Nelson <john.nelson@integralgroup.com>; Ruicong Liu <rliu@integralgroup.com>

Subject: FCASF: Recording - LEED Online Help Session

Hi All,

Please see below for the *LEED Online Help Session* recording - the Sharepoint link password is **FCASF2021**

https://integralgroup2-my.sharepoint.com/:v/g/person/sierra_dennis_integralgroup_com/EQ0cl2JjbitNm6CuqlrEi_wBX2zvbETnx-ve_aXptLBymA?e=1UBZLz

Best,
Sierra Dennis

11/01/2021

William Mensah

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Sent: Monday, November 1, 2021 9:40 AM
To: Greg Mullin
Cc: Sarah McCracken; William Mensah; Kelley Park
Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121
Attachments: RE: Fulton County Animal Services Facility - Roofing Specifications TLMM TMANI60

Yes, I got a response back on Friday and I am sorry for the late response. Sam Bakare (County Building Construction Administrator) stated "The most important thing for us is the warranty period, which in this case is 20 years with Manufacturer guarantee. We will leave the installation and inspection assurance to the A/E of record."

See the attached email for record as well.

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
FCURA – Project Management Team
Department of Real Estate & Asset Management
Fulton County Government Center
141 Pryor Street, SW - Suite 6001
Atlanta, GA 30303
404-612-5916 (office) | 470-201-8508 (CELL)
Email: Armond.Borders@fultoncountyga.gov

From: Greg Mullin [mailto:GMullin@pgal.com]
Sent: Monday, November 1, 2021 9:38 AM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Cc: Sarah McCracken <SMcCracken@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Kelley Park <KPark@pgal.com>
Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121

Armond –
Have you heard anything back from the County’s Roofing Manager?
Thanks.
Greg



- | | | | | |
|-------------------------------------|-------------------------------------|----------------------------------|--------------------------------------|------------------------------------|
| ALEXANDRIA
T 703 836 0588 | BOCA RATON
T 561 988 4002 | DENVER
T 720 216 9600 | LAS VEGAS
T 702 435 4448 | SAN DIEGO
T 619 269 5288 |
| ATLANTA
T 404 602 3800 | CHICAGO
T 312 856 5006 | HOBOKEN
T 201 984 6210 | LOS ANGELES
T 310 645 3276 | |
| AUSTIN | DALLAS/FT WORTH | HOUSTON | SALT LAKE CITY | |

11/01/2021

T 512 236 1005 T 972 871 2225 T 713 622 1444 T 801 999 9850

PGAL.COM



From: Greg Mullin

Sent: Wednesday, October 27, 2021 10:21 AM

To: 'William Mensah' <WMensah@winter-construction.com>; Sarah McCracken <SMcCracken@winter-construction.com>

Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

FYI, they, and I, would like the County to sign off on this as an acceptable solution. Technically, it is fine with PGAL and we can get our specs revised to reflect the actual installation. However, I think that we all want to make sure that it meets the County's requirements from a warranty and insurability standpoint.

Thanks.

Greg

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>

Sent: Wednesday, October 27, 2021 7:58 AM

To: Greg Mullin <GMullin@pgal.com>; Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>

Subject: RE: TLMM TMANI60 Fulton County Animal Services Facility 102121

It looks good to me and still achieves a 20 year warranty. I may need to check with the County's Roofing Manager Michelle Cox just to make sure.

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
FCURA – Project Management Team
Department of Real Estate & Asset Management
Fulton County Government Center
141 Pryor Street, SW - Suite 6001
Atlanta, GA 30303
404-612-5916 (office) | 470-201-8508 (CELL)
Email: Armond.Borders@fultoncountyga.gov

From: Greg Mullin [<mailto:GMullin@pgal.com>]

Sent: Tuesday, October 26, 2021 3:00 PM

To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>

Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

Not sure who at the County would want or need to review...but this does achieve a 20-yr warranty, if that is acceptable to the County.



GREG MULLIN AIA LEED AP
Principal

Exhibit A - Attachment M

Fulton County Animal Shelter



11/01/2021

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: William Mensah <WMensah@winter-construction.com>
Sent: Monday, October 25, 2021 7:25 PM
To: Greg Mullin <GMullin@pgal.com>
Cc: Kelley Park <KPark@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Drew Clayton <dclayton@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: FW: TLMM TMANI60 Fulton County Animal Services Facility 102121

Greg,
 Pleased see attached assembly letter from GAF showing that fastening all layers of substrate, insulation and cover boards simultaneously and mechanically attaching a 60 mil TPO is eligible for a 20 year NDL warranty as called for in the specifications.

Thanks,
 William Mensah LEED AP
 Senior Estimator
 Winter Construction
 404-965-3347 (d)
 404-822-6273 (c)
 404-588-3300 (o)

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MATERIALS & FINISHES

MATERIAL DESCRIPTION	MARK	SUBCATEGORY
ALP-1		ACOUSTICAL LINEAR PLANK
APC-1		ACOUSTICAL PANEL CEILING
APC-2		ACOUSTICAL PANEL CEILING
APC-3		ACOUSTICAL PANEL CEILING
APC-3H		ACOUSTICAL PANEL CEILING
APC-4		ACOUSTICAL PANEL CEILING
APC-4H		ACOUSTICAL PANEL CEILING
APC-5		ACOUSTICAL PANEL CEILING
BB-1		BULLETIN BOARD
C-1		SEALED CONCRETE
CG-1		CORNER GUARD
CG-2		CORNER GUARD
CG-3		CORNER GUARD
CG-4		CORNER GUARD
CU-1		CEMENTITIOUS RESINOUS
CW-1		CERAMIC WALL TILE
CW-2		CERAMIC WALL TILE
FRP-1		FIBERGLASS REINFORCED PLASTIC
HPC-1		HIGH PERFORMANCE COATING
HPC-2		HIGH PERFORMANCE COATING
HPC-3		HIGH PERFORMANCE COATING
HPC-5		HIGH PERFORMANCE COATING
OP-1		OPERABLE PARTITION
PL-1		HIGH PRESSURE LAMINATE
PL-2		HIGH PRESSURE LAMINATE
PL-3		HIGH PRESSURE LAMINATE
PNT-1		INTERIOR PAINT
PT-1		PORCELAIN TILE
PVC-1		PVC SHEET WALL COVERING
PVC-2		PVC RUB RAL
PVC-3		PVC SHEET WALL COVERING
PVC-4		PVC SHEET WALL COVERING
PWT-1		PORCELAIN WALL TILE
PWT-2		GAUGED PORCELAIN TILE
QZ-1		QUARTZ
RB-1		RUBBER BASE
RB-2		RUBBER BASE
RP-1		RESINUS PANEL
SS-1		SOLID SURFACE
SS-2		SOLID SURFACE
ST-1		STAINED CONCRETE
SV-1		SHEET VINYL
SV-2		SHEET VINYL
TP-1		TOILET PARTITION
TR-1		WALL TRIM
TR-2		WALL TRIM
WC-1		WALL COVERING
WD-1		COMPOSITE WOOD
WF-1		WINDOW FILM

ROOM FINISH TAG:

CEILING
WALL
BASE
FLOOR

* DENOTES ACCENT WALL FINISH
 A - FIELD COLOR
 B - ACCENT, RE: FINISH SCHEDULE
 C - ACCENT, RE: FINISH SCHEDULE
 D - ACCENT, RE: FINISH SCHEDULE
 E - ACCENT, RE: FINISH SCHEDULE
 F - ACCENT, RE: FINISH SCHEDULE
 G - ACCENT, RE: FINISH SCHEDULE

DENOTES FLOOR PATTERN DIRECTION:

PATTERN

GENERAL NOTES

- REFER TO A9.10 FOR FINISH INFORMATION
- ALL FLOOR FINISHES TO BE CENTERED WITH ROOM UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF DRYWALL UNLESS NOTED OTHERWISE.
- ALIGN FLOOR AND WALL TILE UNLESS NOTED OTHERWISE.
- FLOOR DRAIN LOCATIONS IN RESTROOMS TO BE CENTERED ON TILE INTERSECTION. LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO BE ADJUSTED. CHECK FINISHED SQUARE FLOOR DRAIN AT PUBLIC AREAS. ADVISE ARCHITECT OF ANY DISCREPANCIES AND LOCATIONS.
- REFER TO INTERIOR ELEVATIONS FOR WALL FINISH DIMENSIONS AND LOCATIONS.
- OUTSIDE CMU CORNERS TO BE BULLMOSE

CLIENT



Fulton County Georgia
141 Pryor Street, SW,
Atlanta, GA 30303
T 404 612 4000

ARCHITECT



PGAL
1425 Ellsworth Industrial
Suite 15
Atlanta, GA 30318
T 404 602 3500
F 404 602 3810
www.pgal.com

CONSULTANT

DRAWING HISTORY

NO.	DATE	DESCRIPTION
1	10/08/2021	100% CD

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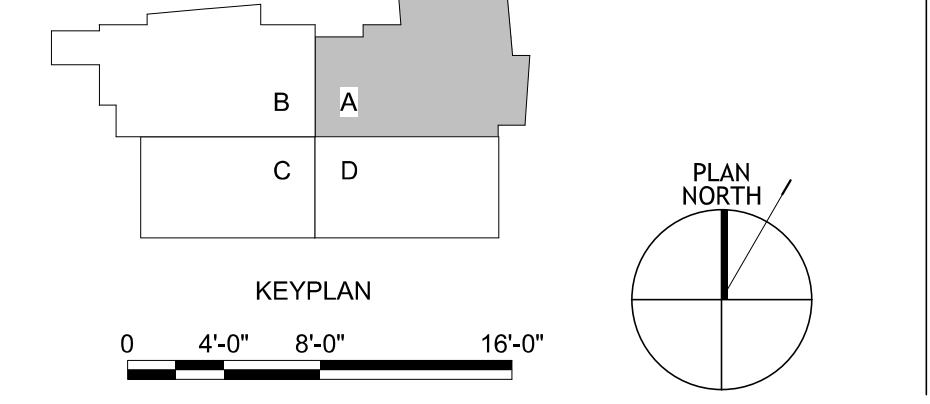
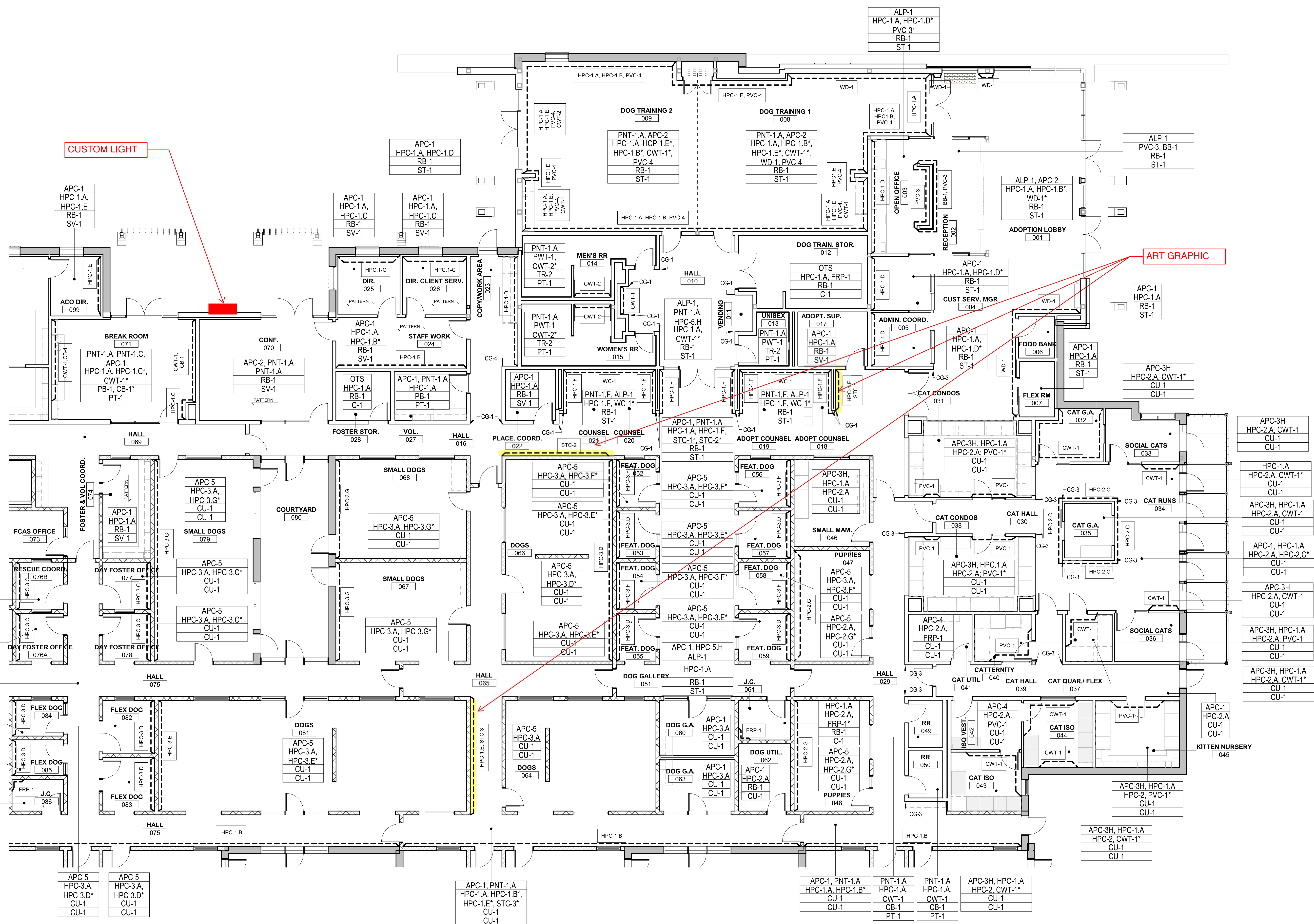
PROJECT NAME
Fulton County
Animal Services
Facility

PROJECT LOCATION
1251 Fulton Industrial
Boulevard
Atlanta, GA 30318

PROJECT NUMBER
1004636.00

SHEET TITLE
FINISH PLAN -
SECTOR A

SHEET NUMBER
A9.11



FINISH PLAN - SECTOR A 1/8" = 1'-0" 1

Fulton County Animal Shelter



IEQc1 WALK-OFF MAT PLACEMENT DIAGRAM

FLOOR PLAN - OVERALL 1/16" = 1'-0" 1

11/03/2021

William Mensah

From: Greg Mullin <GMullin@pgal.com>
Sent: Wednesday, November 3, 2021 4:57 PM
To: William Mensah; Kelley Park
Cc: Sarah McCracken
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

I've used KI's demountable product before and this is acceptable.



GREG MULLIN AIA LEED AP
Principal

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: William Mensah <WMensah@winter-construction.com>
Sent: Wednesday, November 3, 2021 4:24 PM
To: Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>
Cc: Sarah McCracken <SMcCracken@winter-construction.com>
Subject: FW: Demountable Walls / Fulton County Animal Services Facility

Greg/Kelley,
Attached is a demountable partition manufacturer's product information for your review. Please let us know if this would be acceptable.

Thanks,
William Mensah LEED AP
Senior Estimator
Winter Construction
404-965-3347 (d)
404-822-6273 (c)
404-588-3300 (o)



www.wintercompanies.com


From: Grant Huebner <Grant.Huebner@ki.com>
Sent: Wednesday, November 3, 2021 3:59 PM
To: William Mensah <WMensah@winter-construction.com>
Cc: Hassan Hagood <hassan@contractbusinessinteriors.com>; Cheryl Madison <cheryl@contractbusinessinteriors.com>; Carl Hagood <carl@contractbusinessinteriors.com>; Stephen Gamble <stephen@contractbusinessinteriors.com>
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

William,

Please see attached Genius Brochure, STC Report, and Environment Data Sheet.

This information should be more than sufficient for the architect. Let me know if there is any additional information that you may need.

Thank you.

 **GRANT HUEBNER** | Wall Specialist-Strategic Accounts
P: 404.869.0885 | **M:** 404.323.5838 | **E:** grant.huebner@ki.com | ki.com



Visually inspiring. Seamlessly functional.

Learn more about KI architectural walls at ki.com/wall

Due to the rising cost of raw materials, transportation and logistical shortages, effective July 12th all orders* received on or after this date will incur a 5% material & transportation surcharge.

*Some exclusions apply

From: Stephen Gamble <stephen@contractbusinessinteriors.com>
Sent: Wednesday, November 3, 2021 3:09 PM
To: womensah@winter-construction.com
Cc: Hassan Hagood <hassan@contractbusinessinteriors.com>; Cheryl Madison <cheryl@contractbusinessinteriors.com>; Carl Hagood <carl@contractbusinessinteriors.com>; Grant Huebner <Grant.Huebner@ki.com>
Subject: RE: Demountable Walls / Fulton County Animal Services Facility

CAUTION: This message originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Grant,

I just spoke with William (Winter-Construction / copied). He is requesting the technical data of our product offering so as to forward to the Architect for approval. Please send as an attachment ASAP. Thank you.

Regards,

Stephen

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11/01/2021

William Mensah

From: Kelley Park <KPark@pgal.com>
Sent: Monday, November 1, 2021 4:28 PM
To: Borders, Armond; Crayton, Gregory; Sarah McCracken
Cc: Dunlap, Duane @ ATLANTA; Drew Clayton; William Mensah; Patrick Nesbitt; Carrie Campbell; Greg Mullin; All.IT.Operations; Regis, Abdias; Kallmyer, Matthew; Dimond, Timothy; Mason, Bill; Eric Nielsen; Greg Pfile; Taylor Marshall; Briana Keith; Sarah Boman; Caty Townsend
Subject: RE: Animal Services Facility - IT/Security Scope Review - 11/01/21
Attachments: 2021-11-01_Animal Services Facility - FIB Updates.xls

Good Afternoon,
Please see updated Equipment spreadsheet from today's meeting.

I also followed up with Animal Arts and they mentioned if it is in the budget, then it would be ideal if the barn and the dog kennel run yards could have WAPs. The only areas where wifi is not needed is the west-most dog yard (this is only for the quarantine dogs) and the south-most yards.



ERALL ELECTRICAL FLOOR PLAN
1/2" = 1'-0"

I will send out Arch/Elec/IT floor plans for the County to use to coordinate laptop/computer/printer locations with Lifeline. This will be sent via Newforma as the file is to large to send by email.

Thank you,
Kelley

Exhibit A - Attachment Q

11/01/2021

Fulton County Animal Shelter**KELLEY PARK RA RID LEED AP BD+C**
Associate

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM**From:** Borders, Armond <Armond.Borders@fultoncountyga.gov>**Sent:** Wednesday, October 27, 2021 3:39 PM**To:** Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Sarah McCracken <SMcCracken@winter-construction.com>**Cc:** Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; All.IT.Operations <All.IT.Operations@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>**Subject:** RE: Animal Services Facility - IT/Security Scope Review - 10/27/21

Please see the attached document we reviewed today. Kelly Park is setting up a meeting Monday at 1:00pm with the team to go through the drawings and determine how many phones, computers, printers, etc. will be needed. It was determined that Lifeline will not be providing the phones, computers etc. Sorry if I missed anything, please provide any notes to this email string that are needed.

- **IT will be providing the 8 network switches.**
- **WJG will be providing Camera, WAP, Data lines, card readers. WJG needs a narrative or it to be listed in the documents. Kelly to verify with G. Mullin.**
- **IDENTIV Hirsch Panels (Access Control) – Need power supply, dual contacts, locks, electric strikes. WJG needs specifications from FULCO and then integrated into the Contract Documents. Kelly will check with their Electrical group. Programming to be provided by Fulton County.**
- **OptiPlex 7090 Tower – M. Kallmyer needs to get with his team and review the documents to determine the amount that is needed. We will need the PGAL team and DREAM to coordinate in Monday's meeting.**
- **Phones – will be provided by the County.**

11/01/2021

- **Computers** – M. Kallmyer states the computers will be included in the County's setup. Need to coordinate with drawings & drops to determine the number. Will review on Monday 10/1/21.
- **Camera Switches** – Need to make sure we have space on the racks in the MDF closet.
- **AT&T-Comcast Circuit** – Need clear demarcation from the AT&T source at the street to the IT closet inside the building.
- **We are setting up a meeting for Monday@1:00p to go room by room to determine the number of phones, PC's printers, etc. We need to make sure the IT closet has enough room as well.**

Armond Borders | Project Manager
 HEERY/McAfee3, A Joint Venture
 FCURA – Project Management Team
 Department of Real Estate & Asset Management
 Fulton County Government Center
 141 Pryor Street, SW - Suite 6001
 Atlanta, GA 30303
 404-612-5916 (office) | 470-201-8508 (CELL)
 Email: Armond.Borders@fultoncountyga.gov

From: Crayton, Gregory
Sent: Tuesday, October 26, 2021 1:09 PM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Sarah McCracken <SMcCracken@winter-construction.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Greg Mullin <GMullin@pgal.com>; Kelley Park <KPark@pgal.com>; All.IT.Operations <All.IT.Operations@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>
Subject: RE: Animal Services Facility - IT/Security Scope Review

Armond see attached, please let me know if you have any questions.

For discussion during our meeting the meeting tomorrow...

Gregory Crayton
Technical Operations Manager
 Data Center Operations | Physical Security | Infrastructure
 Fulton County Information Technology
 Main: 404.612.0058 | Direct: 404.612.0034 | Mobile: 404.861.7850
gregory.crayton@fultoncountyga.gov

From: Borders, Armond
Sent: Tuesday, October 26, 2021 11:40 AM
To: Sarah McCracken
Cc: Crayton, Gregory; Dunlap, Duane @ ATLANTA; Drew Clayton; William Mensah; Patrick Nesbitt; Carrie Campbell; Greg Mullin; Kelley Park
Subject: Re: Animal Services Facility - IT/Security Scope Review

I spoke with Greg this morning and he should be sending it over today.

Exhibit A - Attachment Q

Fulton County Animal Shelter



Armond Borders | Project Manager

11/01/2021

HEERY/McAfee3, A Joint Venture

FCURA – Project Management Team

Department of Real Estate & Asset Management

Fulton County Government Center

[141 Pryor Street, SW - Suite 6001](#)

[Atlanta, GA 30303](#)

[404-612-5916](#)

[470-201-8508](#)

Email: Armond.Borders@fultoncountyga.gov

On Oct 26, 2021, at 11:35 AM, Sarah McCracken <SMcCracken@winter-construction.com> wrote:

Greg C.,

Can we expect to receive the below referenced low voltage scope spreadsheet today? It would be great if we could have time to review prior to tomorrow's meeting.

Thank you,

Sarah McCracken | LEED AP

Project Executive

404-965-3350 (d)

404-861-7099 (c)

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>

Sent: Thursday, October 21, 2021 11:30 AM

To: Greg Mullin <GMullin@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>

Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>

Subject: RE: Animal Services Facility - IT/Security Scope Review

Sarah please send out the invite for Wednesday 2:30p-4:00p.

G. Crayton please send over the spreadsheet for us to review as well.

Armond Borders | Project Manager

HEERY/McAfee3, A Joint Venture

FCURA – Project Management Team

Department of Real Estate & Asset Management

Fulton County Government Center

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Atlanta, GA 30303

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Email: Armond.Borders@fultoncountyga.gov

11/01/2021

From: Greg Mullin [<mailto:GMullin@pgal.com>]
Sent: Thursday, October 21, 2021 10:47 AM
To: Sarah McCracken <SMcCracken@winter-construction.com>; Borders, Armond <Armond.Borders@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: RE: Animal Services Facility - IT/Security Scope Review

That works for me as well.



GREG MULLIN AIA LEED AP
Principal

ALEXANDRIA T 703 836 0588	BOCA RATON T 561 988 4002	DENVER T 720 216 9600	LAS VEGAS T 702 435 4448	SAN DIEGO T 619 269 5288
ATLANTA T 404 602 3800	CHICAGO T 312 856 5006	HOBOKEN T 201 984 6210	LOS ANGELES T 310 645 3276	
AUSTIN T 512 236 1005	DALLAS/FT WORTH T 972 871 2225	HOUSTON T 713 622 1444	SALT LAKE CITY T 801 999 9850	

PGAL.COM



From: Sarah McCracken <SMcCracken@winter-construction.com>
Sent: Thursday, October 21, 2021 10:12 AM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Greg Mullin <GMullin@pgal.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>; Drew Clayton <dclayton@winter-construction.com>; William Mensah <WMensah@winter-construction.com>; Patrick Nesbitt <pnesbitt@winter-construction.com>
Subject: RE: Animal Services Facility - IT/Security Scope Review

The Winter Johnson Group team can meet on Wednesday from 2:30 – 4 pm. Let us know if we should issue a meeting invitation.

Thank you,

Sarah McCracken | LEED AP
Project Executive

Exhibit A - Attachment Q**Fulton County Animal Shelter**11/01/2021 404-965-3350 (d)
404-861-7099 (c)

From: Borders, Armond <Armond.Borders@fultoncountyga.gov>
Sent: Wednesday, October 20, 2021 2:46 PM
To: Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Kelley Park <KPark@pgal.com>; Sarah McCracken <SMcCracken@winter-construction.com>; Carrie Campbell <CCampbell@winter-construction.com>; Kallmyer, Matthew <Matthew.Kallmyer@fultoncountyga.gov>; Crayton, Gregory <Gregory.Crayton@fultoncountyga.gov>; Regis, Abdias <Abdias.Regis@fultoncountyga.gov>; Mason, Bill <Bill.Mason2@fultoncountyga.gov>; Dimond, Timothy <Timothy.Dimond@fultoncountyga.gov>; Greg Mullin <GMullin@pgal.com>
Cc: Dunlap, Duane @ ATLANTA <Duane.Dunlap@cbre.com>
Subject: Animal Services Facility - IT/Security Scope Review
Importance: High

These are the time slots that Fulco IT gave me as their availability. Let me know which date works for everyone. Also participation by all is required as we need to get scope nailed down determine who will be responsible for what and prevent scope gap. I will send out the spreadsheet from Greg Crayton and his team once I receive and we can review before the meeting next week.

Monday October 25, 2021 – 11:30a – 3:00pm est
 Wednesday October 27, 2021 – 2:30pm – 4:00pm est

- Phones
- Computers
- Printers
- Servers
- Server Racks
- Laptops
- Laptop Docking Stations
- Card Readers
- Credit Card Readers
- Cabling
- Cameras
- Security Monitors (2)
- Computer Monitors for Desktops

Armond Borders | Project Manager
HEERY/McAfee3, A Joint Venture
 FCURA – Project Management Team
 Department of Real Estate & Asset Management
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 Email: Armond.Borders@fultoncountyga.gov

From: Crayton, Gregory
Sent: Wednesday, October 20, 2021 1:13 PM
To: Borders, Armond <Armond.Borders@fultoncountyga.gov>

Exhibit A - Attachment Q **Fulton County Animal Shelter**



11/01/2021 Cc: Regis, Abdias <Abdias.Regis@fultoncountyga.gov>

Subject: RE: Time Slots for Enrique & I

Thanks Abdias,

Armond, see the below time slots we are available to meet and discuss Animal Services Technology details and responsibilities.

Monday October 25, 2021 – 1130 – 3pm est
Wednesday October 27, 2021 – 230 – 4pm est

Please let me know if either of the slots works for everyone involved...

Thanks,

Gregory Crayton
Technical Operations Manager
Data Center Operations | Physical Security | Infrastructure
Fulton County Information Technology
Main: 404.612.0058 | Direct: 404.612.0034 | Mobile: 404.861.7850
gregory.crayton@fultoncountyga.gov

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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	APPROXIMATE LOCATION OF INCOMING SERVICE CONDUITS. PROVIDE (2) 4" CONDUITS AND (1) 2" CONDUIT TO IT FROM 128. CONTRACTOR SHALL COORDINATE FINAL LOCATION AND CONNECTION REQUIREMENTS WITH APPROVED SHOP DRAWINGS PRIOR TO ROUGH-IN.
2	EC SHALL COORDINATE EXACT MOUNTING HEIGHT AND LOCATION OF RECEPTACLE WITH ARCHITECTURAL ELEVATIONS & SECTIONS PRIOR TO ROUGH-IN.

CLIENT

FULTON COUNTY
 Fulton County Georgia
 141 Pryor Street, SW,
 Atlanta, GA 30303
 T 404 612 4000

ARCHITECT

 PGAL
 1425 Ellsworth Industrial
 Suite 15
 Atlanta, GA 30318
 T 404 602 3500
 F 404 602 3810
 www.pgal.com

CONSULTANT

 AE DESIGN
 Integrated Lighting and Electrical Solutions
 2000 Peachtree Dunwoody Road, Suite 100, Atlanta, GA 30328
 Project # 2020-02

DRAWING HISTORY

No.	DATE	DESCRIPTION
1	10/06/2021	100% CD

REGISTRATION
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 CONSTRUCTION
 FOR REGULATORY APPROVAL,
 BIDDING, PERMIT, OR
 CONSTRUCTION PURPOSES.



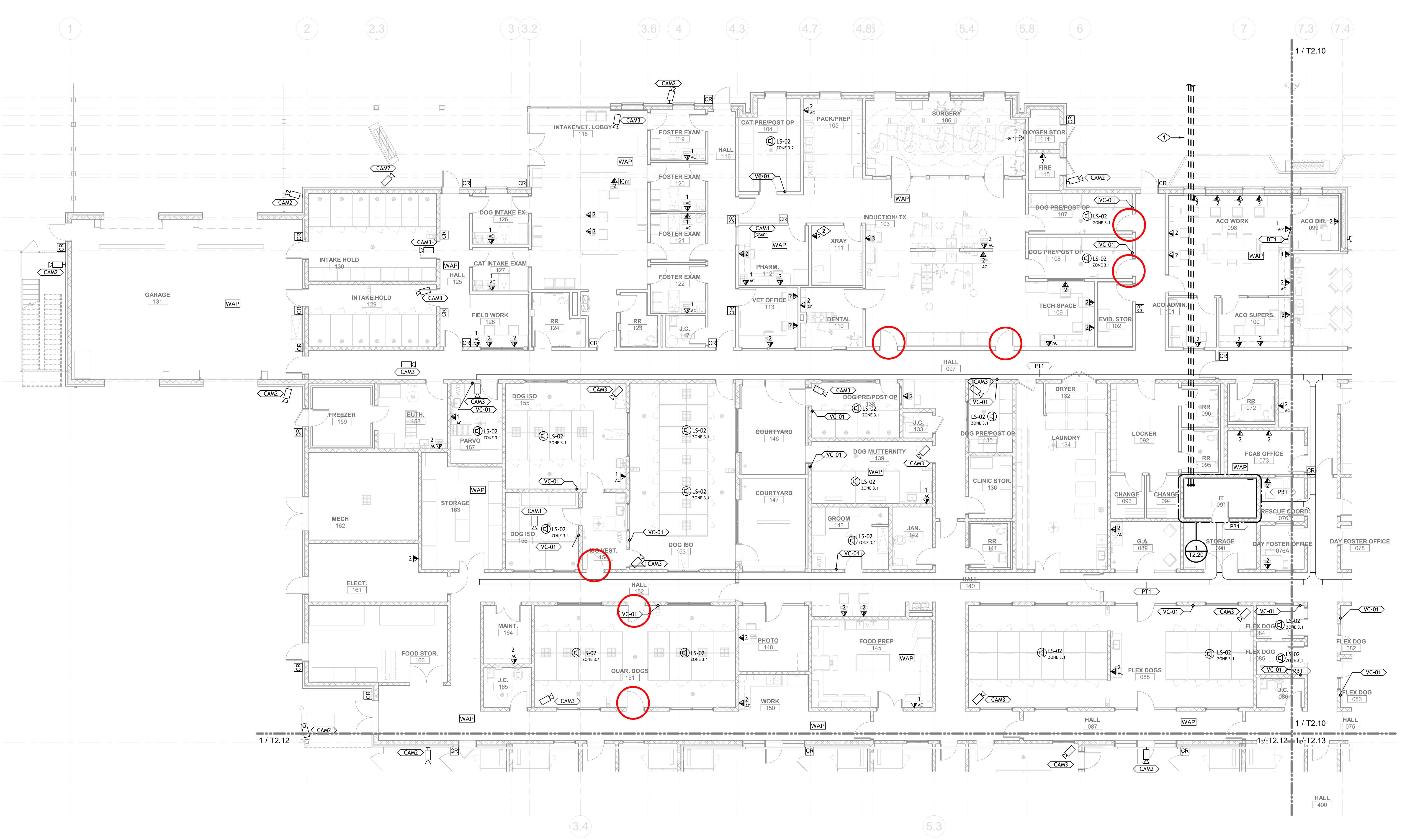
PROJECT NAME
**Fulton County
 Animal Services
 Facility**

PROJECT LOCATION
 1251 Fulton Industrial
 Boulevard
 Atlanta, GA 30318

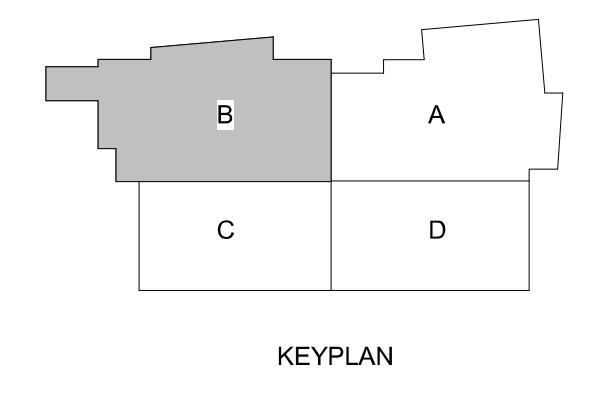
PROJECT NUMBER
1004636.00

SHEET TITLE
**SECTOR B -
 TECHNOLOGY
 PLAN**

SHEET NUMBER
T2.11



1 | PARTIAL ELECTRICAL TECHNOLOGY PLAN - SECTOR B
 T2.11 | 1/8" = 1'-0"



FILE NAME: BM 3601/Fulton County Animal Services Facility/4505.00 - Fulton County Animal Shelter_ELEC.rvt
 DATE STAMP: 10/06/2021 3:12:43 PM
 Page 1 of 1

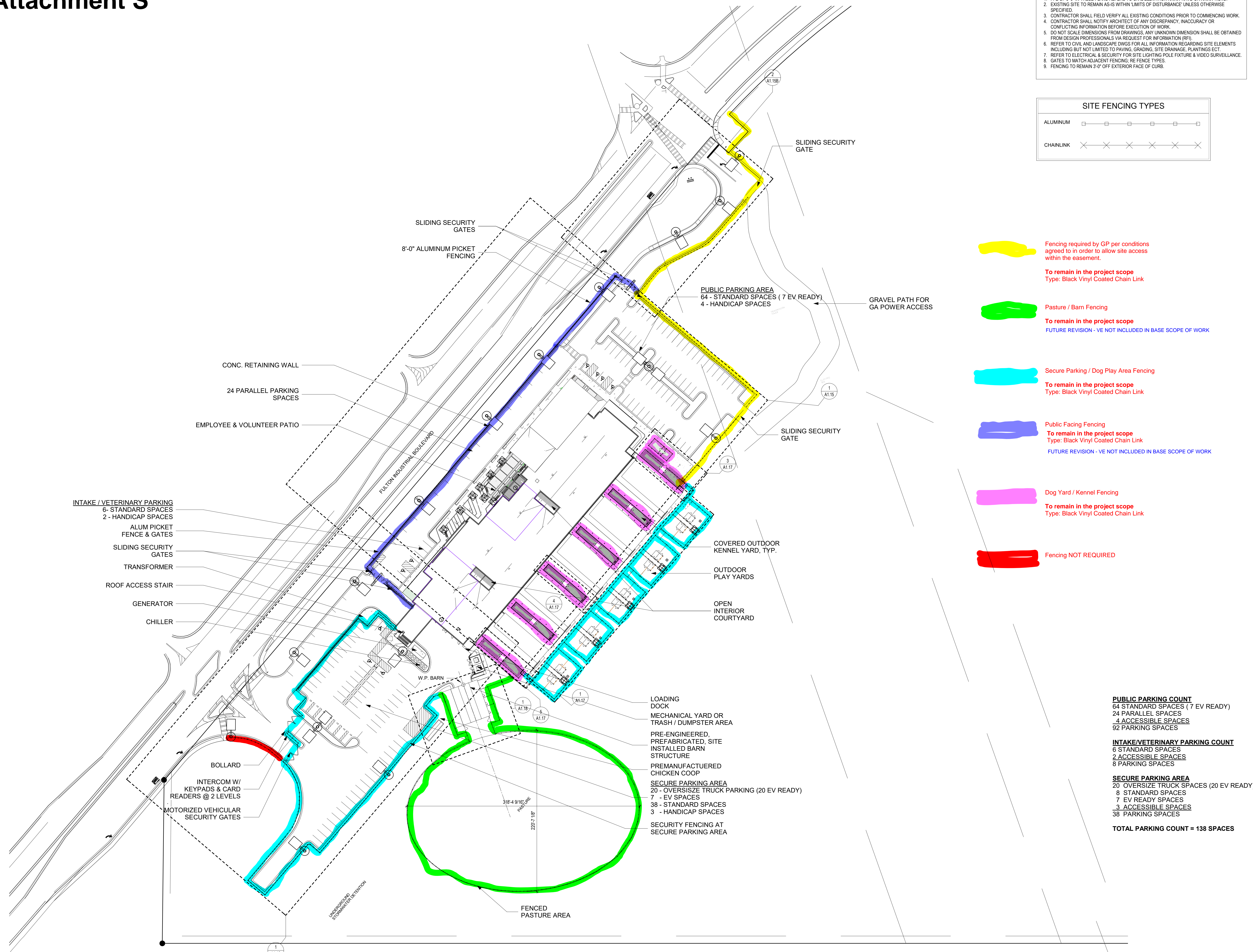
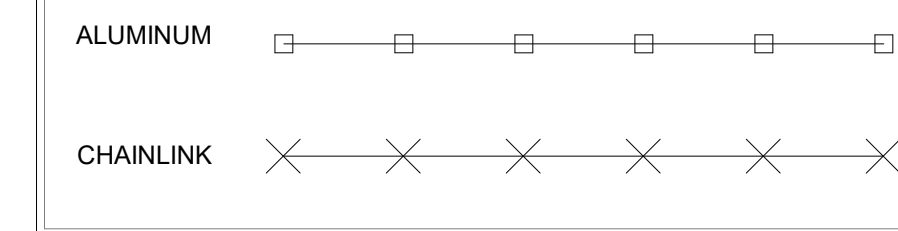
Exhibit A - Attachment S

11/18/2021

GENERAL SITE PLAN NOTES

- FFE OF 6'-0" IN THESE PLANS REFERS TO CIVIL ELEVATION XX.XX' NAVD OR XX.XX' NGVD.
- EXISTING SITE TO REMAIN AS-IS WITHIN LIMITS OF DISTURBANCE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
- REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ECT.
- REFER TO ELECTRICAL & SECURITY FOR SITE LIGHTING POLE FIXTURE & VIDEO SURVEILLANCE.
- GATES TO MATCH ADJACENT FENCING, RE FENCE TYPES.
- FENCING TO REMAIN 3'-0" OFF EXTERIOR FACE OF CURB.

SITE FENCING TYPES



- Fencing required by GP per conditions agreed to in order to allow site access within the easement.**
- To remain in the project scope**
Type: Black Vinyl Coated Chain Link
- Pasture / Barn Fencing**
To remain in the project scope
FUTURE REVISION - VE NOT INCLUDED IN BASE SCOPE OF WORK
- Secure Parking / Dog Play Area Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
- Public Facing Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
FUTURE REVISION - VE NOT INCLUDED IN BASE SCOPE OF WORK
- Dog Yard / Kennel Fencing**
To remain in the project scope
Type: Black Vinyl Coated Chain Link
- Fencing NOT REQUIRED**

PUBLIC PARKING COUNT
64 STANDARD SPACES (7 EV READY)
24 PARALLEL SPACES
4 ACCESSIBLE SPACES
92 PARKING SPACES

INTAKE/VETERINARY PARKING COUNT
6 STANDARD SPACES
2 ACCESSIBLE SPACES
8 PARKING SPACES

SECURE PARKING AREA
20 OVERSIZE TRUCK SPACES (20 EV READY)
8 STANDARD SPACES
7 EV READY SPACES
3 ACCESSIBLE SPACES
38 PARKING SPACES

TOTAL PARKING COUNT = 138 SPACES

CLIENT

Fulton County Georgia
141 Pryor Street, SW,
Atlanta, GA 30303
T 404 612 4000

ARCHITECT

PGAL
1425 Ellsworth Industrial
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Atlanta, GA 30318
T 404 602 3500
F 404 602 3810
www.pgal.com

CONSULTANT

DRAWING HISTORY

NO.	DATE	DESCRIPTION
1	10/08/2021	100% CD

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PROJECT NAME
Fulton County
Animal Services
Facility

PROJECT LOCATION
1251 Industrial
Boulevard
Atlanta, GA 30318

PROJECT NUMBER
1004636.00

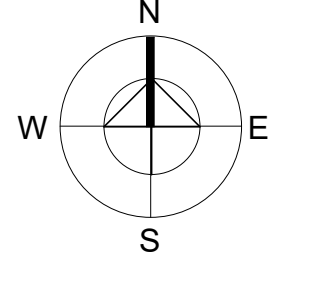
SHEET TITLE
ARCHITECTURAL
SITE PLAN
(ENLARGED)

SHEET NUMBER

A1.10

FILE NAME: BIM 360/Fulton County Animal Services Facility/ARCH - FCAS - RV72020.rvt
DATE STAMP: 10/8/2021 4:23:55 PM

ENLARGED SITE PLAN 1" = 50'-0" 1



11/19/2021



MEMO

TO: Kelley Park, Greg Mullin, PGAL
CC: Sierra Dennis, Integral Consulting Engineers
FROM: Alan Burt, SSA Acoustics
DATE: November 19, 2021
SUBJECT: FCASF – LEED Acoustical Review

The following report provides the results of the LEED acoustical review for FCASF. The review was conducted based on the LEED documentation requirements associated with IEQc9 Acoustic Performance v4.1.

The following are the requirements for the acoustic performance credit:

LEED BD+C: New Construction v4.1 - Acoustic Performance

Requirements

For all occupied spaces, meet two of the following: HVAC background noise, Sound Transmission, and/or Reverberation time. Meet all three for an exemplary performance point. Confirm compliance via calculations or measurements in representative rooms, and/or design documentation from a person experienced in the field of acoustics.

Sound Transmission

Categorize all occupied spaces by use and desired level of acoustic privacy. Meet the composite sound transmission class (STC_c) ratings listed in Table 1.

Table 1: Minimum STC_c Ratings for Adjacent Spaces

Adjacency Combination		STC _c
Collaborative / Multi-use	Hallway, Stairway	25
Private	Hallway, Stairway	35
Confidential	Hallway, Stairway	40
Collaborative / Multi-use	Collaborative / Multi-use	35
Collaborative / Multi-use	Private	45
Collaborative / Multi-use	Confidential	50
Private	Private	45
Private	Confidential	50
Confidential	Confidential	50
Conference Room	Conference Room	50
Mechanical equipment room	Hallway, Stairway	50
Mechanical equipment room	Occupied area	60

11/19/2021

FCASF LEED Acoustical Review**Page 2**

Reverberation Time

Meet the reverberation time requirements in Table 2

Table 2: Reverberation Time Requirements

Office Building	T60 (s), at 500, 1000, and 2000 Hz
Executive or Private Office	<0.6
Conference Room	<0.6
Teleconference Room	<0.6
Open-plan office without sound masking	0.8
Open-plan office with sound masking	<0.8

HVAC Background Noise

Achieve maximum background noise levels from heating, ventilating, and air conditioning (HVAC) systems per 2015 ASHRAE Handbook-- HVAC Applications, Chapter 48, Table 1; AHRI Standard 885-2008, Table 15; or a local equivalent. Comply with design criteria for HVAC noise levels resulting from the sound transmission paths listed in 2015 ASHRAE Handbook—HVAC Applications, Chapter 48, Table 6; or a local equivalent.

LEED Credit Review

The following is a review of the acoustical design with respect to the LEED requirements. Recommendations are provided for items that do not meet the requirements.

Sound Transmission

Source Room	Adjacent Room	Wall Type	STC _c Rating	LEED STC _c	Note
Dir Office 025	Dir Client Services 026	A330	40	45	1
Dir Office 025	Staff Work 024	A330	40	45	1
Dir Client Services 026	Copy/Work Area 023	A260	45	35	
Staff Work	Copy/Work Area 023	A260	45	25	
Conference 070	Staff Work 024	A260	45	45	
Conference 070	Break Room 071	A260	45	45	
Conference 070	Hallway	A260	45	45	
Place Coord. 022	Hallway	A260	45	35	
Cust. Serv Mgr 004	Open Office 003	A260	45	35	
Cust. Serv Mgr 004	Lobby 001	Glass	35	35	
Cust. Serv Mgr 004	Admin Coord 005	A330	40	45	1
Admin Coord 005	Lobby 001	Glass	35	35	
Aco Dir. 099	Break Room 071	A260	45	45	
Aco Dir. 099	Aco Work 098	A330	40	45	1
Aco Supers 100	Aco Work 098	A330	40	35	
Aco Admin 101	Aco Work 098	A330	40	45	1
Aco Admin 101	Aco Supers 100	A330	40	45	1
Aco Admin 101	Hallway	A260	45	35	
Aco Work 098	Hallway	A260	45	35	
Vet Office 113	Hallway	A260	45	35	
Vet Office 113	Pharm, Dental	A330	40	35	

Table Notes:

1. Change to full-height wall (A230) to meet STC-45 rating

11/19/2021

FCASF LEED Acoustical Review**Page 3**

Reverberation Time

Space	T60			LEED
	500	1000	2000	
Office (Typ.)	0.4	0.5	0.3	0.6
Open Office (Typ.)	0.5	0.4	0.4	0.8
Conf Room 070	0.8	0.9	0.6	0.6

Recommendations:

According to the calculated reverberation times, Conference Room 070 does not meet the LEED criteria. The following should be added to the Conference Room to meet the criteria:

Install 150 square feet of sound absorbing material on the walls. Material to have a minimum NRC of 0.70. The following materials are recommended:

- Fabric wrapped or polyester acoustical panels (1" thick):
 - Polyester acoustical panels: [G&S Melody](#), [Polysorb](#), [F-Sorb](#) or similar material.
 - Fabric wrapped acoustical panels: [G&S AP](#)

Background Noise

The following are the calculated background noise levels based on the source noise data for the AHUs and terminal units:

Room ID	NC Level	LEED NC
Place Coord. 022	30	30
Cust. Serv Mgr 004	25	30
Admin Coord 005	25	30
Dir Office 025	30	30
Dir Client Services 026	30	30
Staff Work 024	35	40
Conference 070	40	30
Aco Admin 101	30	30
Aco Dir. 099	30	30
Aco Supers 100	30	40
Aco Work 098	30	40
Vet Office 113	35	40

11/19/2021

Recommendations:

According to the calculated NC levels, the predicted NC level in Conference Room 070 does not meet the LEED criteria. Noise levels are exceeded from noise generated by AHU-3 and the fan powered terminal units. The following noise control measures will need to be implemented to meet the criteria:

AHU-3:**Supply Side:**

- Line the 34"x16" duct with 1" duct liner

Return Side:

- Line the 42"x16" duct with 1" duct liner.
- Provide 5' of flex duct prior to the return grill in the conference room.

FPVAV 3-2:

- Flex duct prior to supply diffusers should be minimum 5'.

FPVAV 3-3:

Radiated noise from this unit is resulting in NC-40 in the Conference Room. The following is recommended to address this issue:

- Relocate unit to above the Break Room.

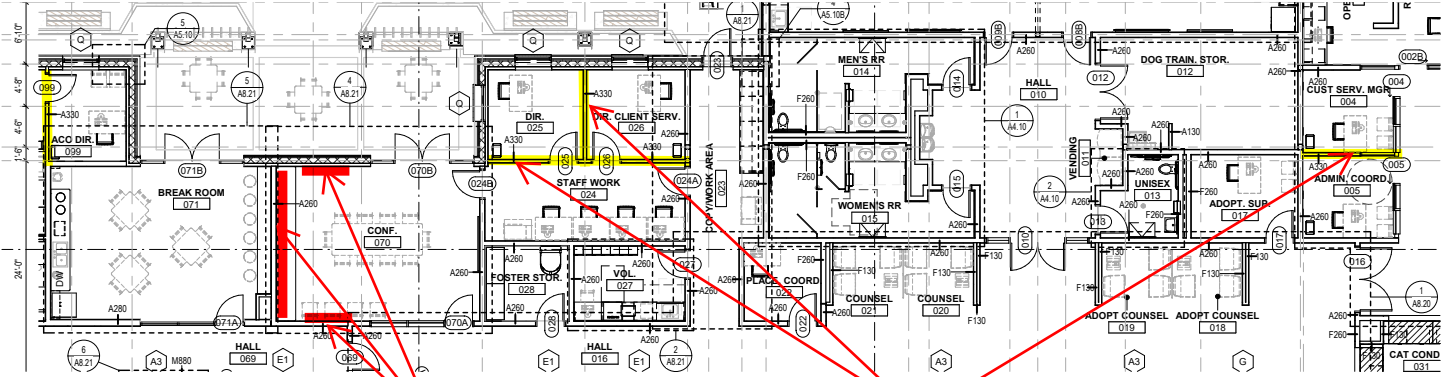
ACT Ceiling:

The ceiling tile is Armstrong Optima which is fiberglass ceiling tile. While this provides a significant amount of sound absorption, it does not block sound very effectively from the HVAC equipment in the plenum above. To help reduce noise levels, specify solid ACT backer for the ceiling that has a minimum surface weight of 1.0 lb / sq. ft..

Please contact us if you have questions or need additional information.

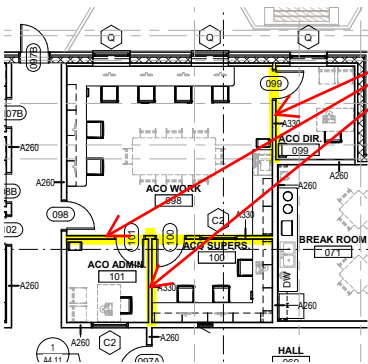
This report has been prepared for the titled project or named part thereof and should not be used in whole or part and relied upon for any other project without the written authorization of SSA Acoustics, LLP. SSA Acoustics, LLP accepts no responsibility or liability for the consequences of this document if it is used for a purpose other than that for which it was commissioned. Persons wishing to use or rely upon this report for other purposes must seek written authority to do so from the owner of this report and/or SSA Acoustics, LLP and agree to indemnify SSA Acoustics, LLP for any and all resulting loss or damage. SSA Acoustics, LLP accepts no responsibility or liability for this document to any other party other than the person by whom it was commissioned. The findings and opinions expressed are relevant to the dates of the works and should not be relied upon to represent conditions at substantially later dates. Opinions included therein are based on information gathered during the study and from our experience. If additional information becomes available which may affect our comments, conclusions or recommendations SSA Acoustics, LLP reserves the right to review the information, reassess any new potential concerns and modify our opinions accordingly.

11/19/2021

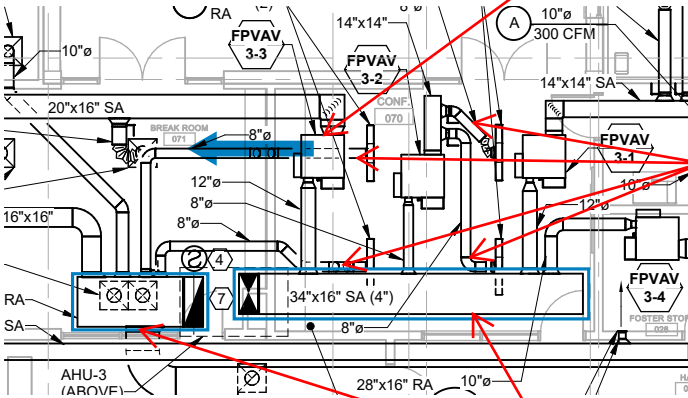


Add 150 SF of 1" acoustical paneling in Conf 070

Change walls from 3 5/8" stud walls to above ceiling to 6" stud walls taken to structure. Approximately 83' LF of wall.



Shift FPVAV 3-2 over to Break Room 071



Provide min. 5 LF of flex duct at all supply and return air ducts above conference room

1" duct liner at main supply and return ducts

- Add solid ACT backer to the ACT tile for the Conference Room ONLY.

EXHIBIT B

GMP'S COST

EXHIBIT **B**

GMP COST



Project Name: Fulton Co. Animal Shelter GMP
Estimate Number: 21-21027
Date: 11/29/2021

BID PACKAGE	TOTAL COST		TOTAL COST		VARIANCE	NOTES
	50% CD Budget w/ Approved VE 9/14/2021		GMP 11/29/2021			
01A GENERAL CONDITIONS	\$ 1,878,756		\$ 1,878,756		\$ -	
01 GENERAL REQUIREMENTS	\$ 97,613		\$ 97,613		\$ -	
01D.1400 FINAL CLEAN-UP	\$ 34,614		\$ -		\$ (34,614)	Included in General Conditions
02B.2100 SITEWORK	\$ 1,984,413		\$ 2,126,855		\$ 142,442	
02D.2400 PILE SUBCONTRACTOR	\$ 153,000		\$ 128,724		\$ (24,276)	
02E.2500 PAVING & SURFACING	\$ 367,556		\$ 491,140		\$ 123,584	Fuel price escalation
02E.2510 SITE CONCRETE	\$ 343,516		\$ 589,369		\$ 245,853	Shoring required plus material escalation
02E.2520 CURBS AND GUTTERS	w/Paving & SURFACING		\$ 96,640		\$ 96,640	
02E.2530 STRIPING AND SIGNS	w/Paving & SURFACING		\$ 11,093		\$ 11,093	
02F.2620 UNIT PAVERS			\$ 87,956		\$ 87,956	New scope
02F.2640 FENCES AND GATES	\$ 583,748		\$ 849,189		\$ 265,441	Added welded picket fence and paddock fencing at barn and pasture. Added call tower.
Approved changes to vinyl coated chain link						Incorporated VE at GA Power Easement and Dog Courtyards
02G.2700 LANDSCAPING	\$ 251,361		\$ 317,135		\$ 65,774	Market price
03A.3000 CONCRETE TURNKEY	\$ 1,085,022		\$ 1,480,641		\$ 395,619	Foundations lowered to accommodate drains; new piers; material escalation
04A.4000 MASONRY	\$ 3,090,444		\$ 2,394,823		\$ (695,621)	VE Incorporated
05A.5000 STRUCTURAL STEEL - TURNKEY	\$ 2,336,310		\$ 2,368,102		\$ 31,792	
06A.6010 ROUGH CARPENTRY	\$ 150,762		\$ 150,762		\$ -	
06B.6100 ARCHITECTURAL MILLWORK	\$ 510,066		\$ 566,366		\$ 56,300	Market price. Steel cabinetry material escalation
07A.7000 WATERPROOFING	\$ 139,451		\$ 190,630		\$ 51,179	Air-moisture barrier at exterior wall cavity (previous in masonry system)
07C.7220 ROOFING	\$ 834,234		\$ 1,269,594		\$ 435,360	Escalation in insulation prices & procurement times (requiring temp roof).
07C.7230 METAL ROOF AND WALL PANELS	\$ 343,740		\$ 316,131		\$ (27,609)	
07C.7320 EXTERIOR SIDING	\$ 201,960		\$ 192,260		\$ (9,700)	
08A.8000 DOORS, FRAMES, AND HARDWARE	\$ 860,747		\$ 1,067,411		\$ 206,664	Changes to Doors, Frames and Hardware and Glass and Glazing scopes
08A.8040 OVERHEAD DOORS/COILING GRILLS	\$ 89,472		\$ 66,728		\$ (22,744)	
08A.8090 DOOR & HARDWARE INSTALLATION	\$ 61,200		\$ 50,949		\$ (10,251)	
08B.8210 GLASS AND GLAZING	\$ 792,383		\$ 552,126		\$ (240,257)	Changes to Doors, Frames and Hardware and Glass and Glazing scopes
09B.9100 DRYWALL	\$ 1,559,376		\$ 1,095,113		\$ (464,263)	Market price
09B.9200 TILE & STONE	w/Resilient Flooring		w/Resilient Flooring		\$ -	
09D.9350 RESILIENT FLOORING	\$ 150,704		\$ 170,436		\$ 19,732	
09E.9410 SPECIAL FLOORING	\$ 560,728		\$ 527,299		\$ (33,429)	
09E.9500 PAINTING	\$ 626,865		\$ 368,891		\$ (257,974)	
09E.9520 ACOUS. TREATMENTS			\$ 87,832		\$ 87,832	Previously with drywall. Increased scope of work
10A.1002 MARKERBOARDS/TKBOARDS			\$ 5,702		\$ 5,702	New scope
10A.1004 TOILET COMPARTMENTS & ACCESS.	\$ 18,315		\$ 50,579		\$ 32,264	
10A.1008 WALL/CORNER GUARDS	\$ 22,129		\$ 31,932		\$ 9,803	
10A.1012 CANOPIES	\$ 133,155		\$ 649,034		\$ 515,879	Canopy designed in accordance with structural design
Target Additional Canopy VE			in above			VE incorporated to change to standard finish and revised details
10A.1014 SIGNAGE	\$ 197,160		\$ 197,160		\$ -	Design-Build Allowance
10A.1022 LOCKERS	\$ 2,861		\$ 9,996		\$ 7,135	
10A.1024 FIRE EXT. & CABINETS	\$ 5,826		\$ 8,421		\$ 2,595	
10A.1030 OPERABLE PARTITIONS	\$ 36,268		\$ 43,248		\$ 6,980	
10A.1037 DEMOUNTABLE PARTITIONS			\$ 47,736		\$ 47,736	New Scope
11A.1120 LAUNDRY EQUIP.	w/Miscellaneous Equipment		\$ 100,343		\$ 100,343	
11A.1126 PROJECTORS & SCREENS	w/Miscellaneous Equipment		\$ 28,050		\$ 28,050	
11A.1130 LOADING DOCK EQUIP.	w/Miscellaneous Equipment		\$ 19,355		\$ 19,355	
11A.1136 FOOD SERVICE EQUIP.	w/Miscellaneous Equipment		\$ 62,911		\$ 62,911	
11A.1138 RESIDENTIAL EQUIP.	w/Miscellaneous Equipment		\$ 25,000		\$ 25,000	
11A.1144 MEDICAL & MISC. EQUIPMENT	\$ 1,740,878		\$ 2,409,023		\$ 668,145	Changes to Miscellaneous Equipment scope. Added medical equipment
12A.1230 WINDOW TREATMENTS	\$ 92,658		\$ 10,926		\$ (81,732)	Scope clarified
13A.1330 PRE-ENGINEERED BUILDINGS	\$ 128,387		\$ 141,735		\$ 13,348	
15A.1500 PLUMBING	\$ 3,175,346		\$ 2,844,002		\$ (331,344)	Market price
15B.1525 HVAC SYSTEMS	\$ 3,102,840		\$ 3,191,325		\$ 88,485	Market price
15C.1560 FIRE PROTECTION	\$ 212,160		\$ 215,089		\$ 2,929	Market price
16A.1600 ELECTRICAL SYSTEMS	\$ 3,420,025		\$ 2,995,781		\$ (424,244)	
Light fixt Pkg	in above		in above		\$ -	Target VE \$\$ incorporated
Large fans at dog run courtyard deleted			in above		\$ -	Incorporated VE
Tier 3 Generator			in above		\$ -	Incorporated VE
SUBTOTAL CONSTRUCTION COST	31,376,052		32,677,912		1,301,860	
PERMITS	w/original RFP		\$ 14,704		\$ 14,704	Add'l Permit amount needed for constr. cost beyond original \$32.5 mil
BONDS & INSURANCE	w/original RFP		\$ 48,607		\$ 48,607	Add'l Bond & Ins. amount needed for constr. cost beyond original \$32.5 mil
G.C. FEE	\$ 850,718		\$ 844,292		\$ (6,426)	Variance due to reconciled VE
TOTAL BEFORE CONTINGENCY	\$ 32,226,770		\$ 33,585,515		\$ 1,358,745	
OWNER-CONTROLLED CONTINGENCY	\$ 875,019		\$ 825,000		\$ (50,019)	Contingency = 2.69% of hard costs
DESIGN CONTINGENCY	\$ 875,019		\$ -		\$ (875,019)	Used to cover difference between 50% & 100% docs and market conditions
TOTAL CONSTRUCTION COST + CONTINGENCY	33,976,807		34,410,515		433,708	
						*50% CD - ROW 64 ON PROJECT BUDGET ESTIMATE => \$33,646,807 + \$330,000 equipment reallocation
ADDITIONAL UNINCORPORATED VALUE ENGINEERING						
Fencing change at the pasture & barn			\$ (80,000)			
Previously rejected fence VE at Entrance			\$ (55,000)			Deferred decision toward end of the project
Target Pile Reduction			\$ (15,000)			
Landscaping			\$ (50,000)			Deferred decision toward end of the project
Change unit pavers to scored concrete			\$ (35,000)			Deferred decision toward end of the project
Shop fab roof coping in lieu of Pre-manufactured			\$ (27,000)			
ADJUSTED TOTAL CONSTRUCTION COST + CONTINGENCY	33,976,807		34,148,515		171,708	*ADJUSTED - 100% CD - ROW 64 ON PROJECT BUDGET ESTIMATE

EXHIBIT C

CLARIFICATIONS & ASSUMPTIONS

EXHIBIT **C**

CLARIFICATIONS AND
ASSUMPTIONS

Clarifications and Assumptions

The following clarifications, in conjunction with the attached detailed Guaranteed Maximum Price (GMP) estimate, represent the complete scope of work, as understood, for the Fulton County Animal Services Facility. The following documents were used in preparation of this GMP estimate:

<u>Exhibit</u>	<u>Attachment</u>	<u>Date</u>
Exhibit A	Attachment A – Drawing Log	11/18/21
	Attachment B – Specification Log	11/18/21
	Attachment C – Geotechnical Exploration Report*	07/02/21
	Attachment D – Equipment (FF&E) Schedule	11/04/21
	Attachment E – FIB Update	11/01/21
	Attachment F – RFI Response Log #1	10/25/21
	Attachment G – RFI Response Log #2	10/28/21
	Attachment H – RFI Response Log #3	10/29/21
	Attachment I – RFI Response Log #4	11/04/21
	Attachment J – GMP Impact Items	10/21/21
	Attachment K – Mitchell Metals Canopy/Trellis Information	11/18/21
	Attachment L – LEED Online Session Email	10/26/21
	Attachment M – Roof Warranty Acceptance Email	11/01/21
	Attachment N – Custom Art Light	11/04/21
	Attachment O – Walk Off Mat Diagram	11/09/21
	Attachment P – Demountable Walls Email	11/03/21
	Attachment Q – Extended Wireless Access Points Email	11/01/21
	Attachment R – Additional Card Readers	11/03/21
	Attachment S – GMP Fencing Scope	11/18/21
	Attachment T – LEED Acoustical Review	11/19/21

* - Geotechnical Exploration Report (see Exhibit A Attachment C) is included for informational purposes only. WJG expects any recommendations coming out of the report to be incorporated into the plans and specifications.

01. GENERAL REQUIREMENTS

- 01.01. Escalation and Procurement Delays: Due to the volatile market conditions, owner-controlled construction contingency can be used for costs associated with material escalation and procurement delays. This is especially true for steel, plastic, insulation, and roofing materials. The GMP is based upon the premise that WJG and Subcontractors can bill for and receive payment for materials procured and stored off site.

02. SITEWORK

- 02.01. Grading and Site Utilities
- a. Fees for water meter and vault to be installed by City of Atlanta are included at \$33,900
 - b. Sewer tap fees are included at \$3,995.
 1. Sanitary sewer tie-in to be done by open trench, not jack and bore.
 - c. Relocation of overhead power and associated costs are not included.

Exhibit C

11/29/2021



- d. Relocation of “all utilities, ~~storm drainage~~, signs, traffic signals and poles, etc.” required for GDOT work per General Site Note #17 on drawing C3.02 is not included. Storm drainage relocation included per 11/30/2021 email from Lowe Engineers, specifically including the following:
1. Revised Grading & Utility plans portraying relocation of existing storm structures impacted by the turn lanes, including:
 - a. 34 LF of 18” RCP
 - b. 45 LF of 24” RCP
 - c. Four (4) Single Wing Catch Basins
 - d. Four (4) Junction Boxes
 - e. Key Note #4 on drawing C2.02 calls for “Storm Water Structure to be [Relocated]. See GDOT plans by Lowe Engineers dated XX/XX/2021.” Storm drain rework included per 11/30/2021 email from Lowe Engineers, specifically including the following:
 1. Revised Grading & Utility plans portraying relocation of existing storm structures impacted by the turn lanes, including:
 - a. 34 LF of 18” RCP
 - b. 45 LF of 24” RCP
 - c. Four (4) Single Wing Catch Basins
 - d. Four (4) Junction Boxes
- 02.02. Asphalt Paving
- a. DOT Right of Way striping included as thermoplastic. All other striping is two coats of traditional marking paint.
 - b. As noted in item 02.01.e above, only storm drain work associated with Key Note #29 (GDOT work) on drawing C3.02 is included in addition to both turn lanes into the project as shown on drawings C3.01 and C3.02.
- 02.03. Site Concrete
- a. The site retaining wall is per detail 11/S3.03. No facing material is included.
- 02.04. Fencing
- a. Priefert Estate Fencing included as fence type F3. Specified product not available.
 - b. Animal housing has been included per the equipment number and count on the Equipment Schedule (see Exhibit A Attachment D). Equipment designated Owner-Furnished-Contractor-Installed is included as install only (see Exhibit A Attachment D).
 - c. Fencing has been included per the GMP Fencing Scope (see Exhibit A Attachment S).
- 02.05. Hardscape
- a. Unit pavers subgrade is included as 4” GAB and 1” of setting sand.
- 02.06. Landscaping
- a. An irrigation system is not included.
- 03. CONCRETE**
- 03.01. Cast-in-Place Concrete
- a. Wall at the reception to receive a rubbed concrete finish.
- 04. MASONRY**
- 04.01. Grout is only included at cells with rebar per RFI 1.12. All below-grade masonry cells are fully grouted.

Exhibit C

11/29/2021



05. METALS

05.01. Metal Fabrications

- a. Prices of raw steel continue to be volatile; manufacturers are unable to guarantee pricing until shop drawings are approved and sent to the fabricator. As noted above, any escalation from GMP pricing is expected to be an allowable owner-controlled contingency expense.
- b. All canopies and trellises on the project are included as pre-manufactured aluminum systems (see Exhibit A Attachment K) in lieu of the structural steel fabrications indicated on the 10/8/2021 100% CD drawings.

06. WOOD

06.01. Millwork

- a. Per email dated 10/26/2021, certified wood not included for LEED (see Exhibit A Attachment L).

07. THERMAL & MOISTURE PROTECTION

07.01. Waterproofing

- a. Intumescent coating is not included.
- b. Spray-applied fireproofing is not included.

07.02. Roofing

- a. Prices and lead times of roofing insulation continue to be volatile; manufacturers are unable to guarantee pricing until submittals are approved and the material is fabricated and loaded onto the delivery truck. As noted above, any escalation from GMP pricing is expected to be an allowable owner-controlled contingency expense. Additionally, due to extraordinary long lead times, GMP includes installation of a temporary roof system to not impede interior finish schedules.
- b. Per the 11/1/2021 email response (Exhibit A Attachment M) from the Owner and the Architect, the roofing system is included with all layers of substrate, insulation and cover boards fasten simultaneously and mechanically attaching a 60 mil TPO.

08. DOORS & WINDOWS

08.01. Doors, Frames, and Hardware

- a. Slabs are included as being poured monolithically (with no masonry) at the door thresholds in lieu of detail 8/A7.55.

08.02. Special Glass Systems

- a. A skylight system is not included. A Specification Section 086250 – Tubular Daylighting Devices, is listed in the Project Manual Table of Contents, but no specification section is actually included, and no skylights are indicated on the drawings.

09. FINISHES

09.01. Paint & Wallcoverings

- a. Exposed ceilings / structure in housekeeping, mechanical room, and electrical rooms to be unfinished.
- b. The High-Performance Coating at CMU walls is included two block fill coats due to specifications calling for “pin-hole free” plus a finish coat.
- c. STC stenciling is not included. See Add Alternate 1 below.
- d. Artwork and custom light fixture per 11/4/2021 email (see Exhibit A Attachment N) are not included. See Add Alternate 1 below.

Exhibit C

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- e. Changes noted in LEED Acoustical Review (see Exhibit A Attachment T) are not included. See Add Alternate 2 below.

10. SPECIALTIES

- 10.01. Signage is included as a design-build allowance.
- 10.02. Canopies
 - a. Kynar coated exterior canopies as provided by Mitchell Metals is included as approved by PGAL (see Exhibit A Attachment K).
- 10.03. Visual Display
 - a. Glass markerboards are included.
- 10.04. Mats
 - a. Entrance mats are included as Construction Specialties *Design Step* entrance mat, 20-50 square feet, 3/8" thick with rubber backing, 1 1/2" perimeter frame, Duration texture in one of 8 manufacturer's standard colors. Locations are in accordance with architects 11/9/2021 emailed sketch (see Exhibit A Attachment O).

11. EQUIPMENT

- 11.01. Furniture, Fixtures, Equipment, and FF&E
 - a. Equipment designated Contractor-Furnished-Contractor-Installed is included (see Exhibit A Attachment D). Equipment designated Owner-Furnished-Contractor-Installed is included as install only (see Exhibit A Attachment D).
 - b. Acoustical panels are included per the counts indicated on Equipment Schedule previously noted in the documents list.
- 11.02. Shelving
 - a. The following counts and types of metal shelving are included as a shelving type is not specified on the FF&E schedule:
 - 1. Nineteen (19) each of Metro Super Erecta Shelving Preconfigured model 3048-46NC (chrome finish) for Equipment Number 01-121 per Exhibit A Attachment D.
 - 2. Six (6) each of Metro Super Erecta Shelving Preconfigured model 2436-46BR (Brite finish) for Equipment Number 01-121A per Exhibit A Attachment D.
 - 3. Seven (7) each of Metro Super Erecta Shelving Preconfigured model 2448-46BR (Brite finish) for Equipment Number 01-121B per Exhibit A Attachment D.
 - 4. Four (4) each of Metro Super Erecta Shelving Preconfigured model 2460-46BR (Brite finish) for Equipment Number 01-121C per Exhibit A Attachment D.
 - 5. Five (5) each of Metro Super Erecta shelves model 1448NS (stainless steel finish) for Equipment Number 01-122E per Exhibit A Attachment D.
 - 6. Fourteen (14) each of Metro Super Erecta shelves model 1460NS (stainless steel finish) for Equipment Number 01-122F per Exhibit A Attachment D.

13. SPECIAL CONSTRUCTION

- 13.01. An 8'x 30' x 6'(high) chicken coop as manufactured by American Coop is included.
- 13.02. Demountable partitions are included as manufactured by KI (see Exhibit A Attachment P) for architect's 11/3/2021 emailed approval.

15. MECHANICAL

- 15.01. Plumbing
 - a. No trap primers are included. 45 Trap guards are included for the areas assumed to have irregular wash downs per RFI response 4.05.

Exhibit C

11/29/2021



b. No plumbing under the barn slab is included. Civil drawings show piping to it and refer to plumbing plans, but no plumbing scope is shown.

15.02. Fire Protection

a. A fire pump is not included.

16. ELECTRICAL

16.01. Electrical

a. WAPs are not included in the plan west-most dog yard in Sector C and the plan south dog yards below Sector C and Sector D, as shown on drawing A2.10 (see Exhibit A Attachment Q).

b. Tier 4 generator exhaust per specification section 263212.14 -2.3 E is not included. Tier 4 exhaust is only available on tier 4 generators and a tier 4 generator will not work with the electrical system as designed. A tier 3 generator meeting the specification is included.

c. Additional card readers are included per architect's 11/3/2021 email (see Exhibit A Attachment R)

d. Wi-Fi system at the barn is not included as scope and extent are yet to be determined.

e. Large fans and associated infrastructure at dog run courtyard not included.

f. Includes alternate lighting package to achieve target value engineering of \$400,000.00 (value inclusive of overhead and profit).

ADD ALTERNATE(S) not included in GMP:

1. Add Alternate allowance to provide and install STC stenciling, artwork, and custom light fixture per 11/4/2021 email (see Exhibit A Attachment N): add \$28,000.00
2. Add Alternate allowances to provide and install the following LEED Acoustical Review changes (see Exhibit A Attachment T):
 - a. Walls to Structure: add \$9,323.00
 - b. Added Acoustical Panels: add \$6,575.00
 - c. Mechanical Adjustments and ACT Backer to Conference (070): add \$9,102.00

ALLOWANCES included in GMP:

- | | |
|--|-----------|
| 1. Barn concrete foundation (yet to be designed). | \$34,000 |
| 2. Design build signage package. | \$197,160 |
| 3. Emergency Radio Responder System (ERRC) if required by City of Atlanta. | \$60,000 |

EXHIBIT D
ALLOWANCES
(see Exhibit C)

EXHIBIT **D**

ALLOWANCES - INCLUDED IN
EXHIBIT C
(see previous page)

EXHIBIT E

PAYMENT & PERFORMANCE BONDS

EXHIBIT E

**PAYMENT AND PERFORMANCE
BOND**

**#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility**

**Section 9
Payment Bond**

Bond no. ES00010337

PAYMENT BOND

"County:" means Fulton County Government; a political subdivision of the State of Georgia (hereinafter called the "Owner").

"Project:" means #21RFP22421K-DB; Construction Management at Risk Services for the new Fulton County Animal Shelter Facility

"Principal:" (Legal Name and Business Address), called the

[Insert Name of Contractor (hereinafter "Principal")
Winter Johnson Group, a Joint Venture
5616 Peachtree Road, Suite 100
Atlanta, GA 30341

Type of Organization ("X" one): Individual
 Partnership
 Joint Venture
 Corporation

"Surety:" (Name and Business Address)

Everest Reinsurance Company
100 Everest Way, Warren Corporate Center
Warren, NJ 07059
duly authorized by the Commissioner of Insurance of the State of Georgia to transact surety business in the State of Georgia.

"Contract:" Agreement between Principal and Owner, dated 5th day of August, 2021, regarding performance of Work relative to the Project.

"Penal Sum:" [100% of contract amount] Thirty Four Million One Hundred Forty Eight Thousand Five Hundred Sixteen and 00/100 Dollars
(\$34,148,516.00)

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety hereto, as named above, are held and firmly bound to the Owner in the above Penal Sum for the payment of which well and truly to be made we bind ourselves, executors, administrators, successors and assigns, jointly and severally.

WHEREAS, the Principal and the Owner entered into a certain written Contract identified above, which is incorporated herein by reference in its entirety (hereinafter called the "Contract"), for construction-type services for the Project identified above;

NOW, THEREFORE, the conditions of this obligation are such that if the Principal shall promptly make payment of all persons working on or supplying labor or materials or equipment for the performance of said work, this obligation shall be void; otherwise of full force and effect.

1. A "Claimant" shall be defined herein as any subcontractor, person, party, partnership, corporation or the entity furnishing labor, services or materials used, or reasonably required for use, in the performance of the Contract, without regard to whether such labor, services or materials were sold, leased or rented, and without regard to whether such Claimant is or is not in privity of contract with the Principal or any subcontractor performing work on the Project, including, but not limited to, the following labor, services, or materials: water, gas, power, light, heat, oil, gasoline, telephone service or rental of equipment directly applicable to the Contract.

**#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility**

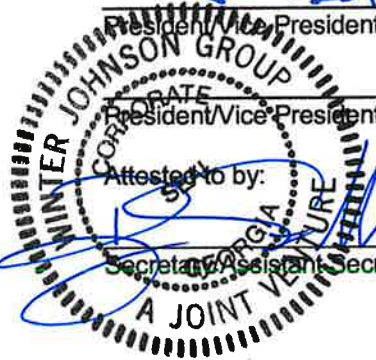
**Section 9
Payment Bond**


2. In the event a Claimant files a lien against the property of the Owner, and the Principal fails or refuses to satisfy or remove it promptly, the Surety shall satisfy or remove the lien promptly upon written notice from the Owner, either by bond or as otherwise provided in the Contract.
3. The Surety hereby waives notice of any and all modifications, omissions, additions, changes, alterations, extensions of time, changes in the payment terms, and any other amendments in or about the Contract and agrees that the obligations undertaken by this Bond shall not be impaired in any manner by reason of any such modifications, omissions, additions, changes, alterations, extensions of time, changes in payment terms, and amendments.
4. The Surety hereby agrees that this Bond shall be deemed amended automatically and immediately, without formal or separate amendments hereto, upon any amendment or modifications to the Contract, so as to bind the Principal and Surety, jointly and severally, to the full payment of any Claimant under the Contract, as amended or modified, provided only that the Surety shall not be liable for more than the penal sum of the Bond, as specified in the first paragraph hereof.
5. This Bond is made for the use and benefit of all persons, firms, and corporations who or which may furnish any materials or perform any labor for or on account of the construction-type services to be performed or supplied under the Contract, and any amendments thereto, and they and each of them may sue hereon.
6. No action may be maintained on this Bond after one (1) year from the date the last services, labor, or materials were provided under the Contract by the Claimant prosecuting said action.
7. This Bond is intended to comply with O.C.G.A. Section 13-10-1, and shall be interpreted so as to comply with the minimum requirements thereof. However, in the event the express language of this Bond extends protection to the Owner beyond that contemplated by O.C.G.A. Section 13-10-1 and 36-91-1, *et seq.*, or any other statutory law applicable to this Project, then the additional protection shall be enforced in favor of the Owner, whether or not such protection is found in the applicable statutes.

IN WITNESS WHEREOF, the Principal and Surety have hereunto affixed their corporate seals and caused this obligations to be signed by their duly authorized representatives this day 21st of December, 2021.

PRINCIPAL: Winter Johnson Group, a Joint Venture



 President/Vice President (Sign)


 S. BRENT REID
 President/Vice President (Type or Print)
 Attested to by:


 Secretary Assistant Secretary (Seal)

#21RFP22421K-DB
Construction Management at Risk Services for the
new Fulton County Animal Shelter Facility

Section 9
Payment Bond

SURETY: Everest Reinsurance Company

By: 
Attorney-in-Fact (Sign)

Michelle Wanamaker
Attorney-in-Fact (Type or Print)

N/A
Secretary/Assistant Secretary (Seal)

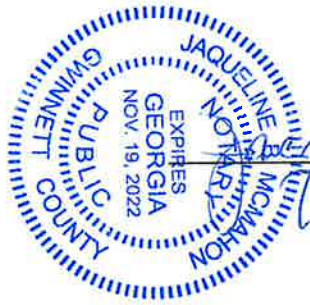
ACKNOWLEDGEMENT OF PRINCIPAL
IF A JOINT VENTURE

STATE OF GEORGIA }

COUNTY OF DEKALB }

On this 21ST day of DECEMBER 20 21, personally appeared before me
S. Brent Reio member of the firm/Joint Venture of
Winter Johnson Group to me known and known to me to be the individual
described in and who executed the foregoing instrument and he acknowledged to me that he
executed the same for an on behalf of said firm/Joint Venture.

Sworn before me this 21st day of December 20 21



Jaqueline B. McPherson
Notary Public

SURETY ACKNOWLEDGEMENT

STATE OF MARYLAND)
COUNTY OF BALTIMORE)

SS

DATE OF ACKNOWLEDGEMENT:

DEC 21 2021

Michelle Wannamaker, Attorney-in-Fact and authorized representative of Everest Reinsurance Company, personally appeared before me on the date of this acknowledgement to affirm and verify that she is authorized to execute the foregoing instrument and acknowledged to me that she executed this instrument as Attorney-in-Fact and for the act and deed of Everest Reinsurance Company.

Notary Seal


Terry D. Shawkey, Notary Public

**State of Maryland
County of Baltimore
Terry D. Shawkey
Notary Public
Commission Expires July 13, 2022**



**POWER OF ATTORNEY
EVEREST REINSURANCE COMPANY
DELAWARE**

KNOW ALL PERSONS BY THESE PRESENTS: That Everest Reinsurance Company, a corporation of the State of Delaware ("Company") having its principal office located at 477 Martinsville Road, Liberty Corner, New Jersey 07938, do hereby nominate, constitute, and appoint:

Desiree Cardlin, Colette R. Chisholm, Camille Maitland, George O. Brewster, Gerard S. Macholz, Nelly Renchiwich, Rita Losquadro, Thomas Bean, Robert T. Pearson, Susan Lupski, Dana Granice, Michelle Wannamaker, Katherine Acosta, Lee Ferrucci

its true and lawful Attorney(s)-in-fact to make, execute, attest, seal and deliver for and on its behalf, as surety, and as its act and deed, where required, any and all bonds and undertakings in the nature thereof, for the penal sum of no one of which is in any event to exceed UNLIMITED, reserving for itself the full power of substitution and revocation.

Such bonds and undertakings, when duly executed by the aforesaid Attorney(s)-in-fact shall be binding upon the Company as fully and to the same extent as if such bonds and undertakings were signed by the President and Secretary of the Company and sealed with its corporate seal.

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Board of Directors of Company ("Board") on the 28th day of July 2016:

RESOLVED, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby appointed by the Board as authorized to make, execute, seal and deliver for and on behalf of the Company, any and all bonds, undertakings, contracts or obligations in surety or co-surety with others and that the Secretary or any Assistant Secretary of the Company be and that each of them hereby is authorized to attest to the execution of any such bonds, undertakings, contracts or obligations in surety or co-surety and attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby authorized to execute powers of attorney qualifying the attorney named in the given power of attorney to execute, on behalf of the Company, bonds and undertakings in surety or co-surety with others, and that the Secretary or any Assistant Secretary of the Company be, and that each of them is hereby authorized to attest the execution of any such power of attorney, and to attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the signature of such officers named in the preceding resolutions and the corporate seal of the Company may be affixed to such powers of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be thereafter valid and binding upon the Company with respect to any bond, undertaking, contract or obligation in surety or co-surety with others to which it is attached.

IN WITNESS WHEREOF, Everest Reinsurance Company has caused their corporate seals to be affixed hereto, and these presents to be signed by their duly authorized officers this 28th day of July 2016.



Everest Reinsurance Company

Attest: Nicole Chase, Assistant Secretary

By: Anthony Romano, Vice President

On this 28th day of July 2016, before me personally came Anthony Romano, known to me, who, being duly sworn, did execute the above instrument; that he knows the seal of said Company; that the seal affixed to the aforesaid instrument is such corporate seal and was affixed thereto; and that he executed said instrument by like order.

LINDA ROBINS
Notary Public, State of New York
No 01RO6239736
Qualified in Queens County
Term Expires April 25, 2023

Linda Robins, Notary Public

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Company, at the Liberty Corner, this 21st day of December 2021.

EVEREST REINSURANCE COMPANY
STATEMENTS OF FINANCIAL CONDITION

	December 31,	
	2020 Unaudited	2019 Audited
ASSETS		
Bonds	\$ 9,452,250,173	\$ 6,733,064,269
Stocks	914,135,093	579,431,010
Short-term investments	3,099,547	9,977,402
Other invested assets	2,113,872,323	2,024,154,026
Cash and cash equivalents	737,985,959	278,923,034
Accounts receivable-premium balances	2,184,883,136	1,762,474,335
Reinsurance recoverable	759,807,429	553,401,455
Other assets	674,687,110	577,418,297
Total Assets	\$ 16,840,720,770	\$ 12,518,843,828
LIABILITIES		
Loss and loss adjustment expense reserve	\$ 7,727,564,458	\$ 6,025,226,576
Unearned premium reserve	2,024,484,169	1,788,807,161
Ceded reinsurance premium payable (net of ceding commission)	363,237,788	322,866,050
Reserve for commissions, taxes and other liabilities	1,449,431,852	642,804,051
Total Liabilities	\$ 11,564,718,267	\$ 8,779,703,838
SURPLUS AND OTHER FUNDS		
Common capital stock	\$ 10,000,000	\$ 10,000,000
Contributed Surplus	3,400,178,517	2,464,960,596
Unassigned surplus	1,865,823,986	1,264,179,394
Total capital and surplus	\$ 5,276,002,503	\$ 3,739,139,990
Total Liabilities and Surplus	\$ 16,840,720,770	\$ 12,518,843,828

Bonds and stocks are valued on a basis promulgated by the National Association of Insurance Commissioners

DocuSigned by:

margaret horn

58C1DAB84C6F448...

Electronically Signed by Margaret Horn, Vice President this 15th day of April 2021

PERFORMANCE BOND

"County:" means Fulton County Government; a political subdivision of the State of Georgia (hereinafter called the "Owner").

"Project:" means #21RFP22421K-DB; Construction Management at Risk Services for the new Fulton County Animal Shelter Facility

"Principal:" (Legal Name and Business Address),

[Insert Name of Contractor (hereinafter called the "Principal")]

Winter Johnson Group, a Joint Venture
5616 Peachtree Road, Suite 100
Atlanta , GA 30341

Type of Organization ("X" one): Individual
 Partnership
 Joint Venture
 Corporation

"Surety:" (Name and Business Address)

Everest Reinsurance Company
100 Everest Way, Warren Corporate Center
Warren, NJ 07059

duly authorized by the Commissioner of Insurance of the State of Georgia to transact surety business in the State of Georgia.

"Contract:" Agreement between Principal and Owner, dated 5th day of August, 2021, regarding performance of Work relative to the Project.

"Penal Sum:" [100% of contract amount] Thirty Four Million One Hundred Forty Eight Thousand Five Hundred Sixteen and 00/100 Dollars
(\$34,148,516.00)

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety hereto, as named above, are held and firmly bound to the Owner in the above Penal Sum for the payment of which well and truly to be made we bind ourselves, our executors, administrators, successors and assigns, jointly and severally.

WHEREAS, the Principal and the Owner entered into a certain written Contract identified above, which is incorporated herein by reference in its entirety (hereinafter called the "Contract"), for construction-type services for the Project identified above;

NOW, THEREFORE, the conditions of this obligation are such that if the Principal shall faithfully and fully comply with, perform and fulfill all of the undertakings, covenants, conditions and all other of the terms and conditions of said Contract, including any and all duly authorized modifications of such Contract, within the original term of such Contract and any extensions thereof, which shall include, but not be limited to any obligations created by way of warranties and/or guarantees for workmanship and materials which warranty and/or guarantee may extend for a period of time of one year beyond completion of said Contract, this obligation shall be void; otherwise, of full force and effect.

Whenever the Principal shall be, and declared by the Owner to be, in default under the Construction-Type Contract, the Surety shall promptly remedy the default as follows:

1. Complete the Contract in accordance with its terms and conditions; or, at the sole option of the Owner,
2. Obtain a bid or bids for completing the Contract in accordance with its terms and conditions, and upon determination by the Surety and the Owner of the lowest responsible bidder,

arrange for a contract between such bidder and Owner and make available as the work progresses (even though there should be a default or succession of defaults under the Contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety may be liable hereunder, the penal sum set forth in the first paragraph hereof, as may be adjusted, and the Surety shall make available and pay to the Owner the funds required by this Paragraph prior to the payment of the Owner of the balance of the contract price, or any portion thereof. The term "balance of the contract price," as used in this paragraph, shall mean the total amount payable by the Owner to the Contractor under the Contract, and any amendments thereto, less the amount paid by the Owner to the Contractor; or, at the sole option of the Owner,

3. Allow Owner to complete the work and reimburse the Owner for all reasonable costs incurred in completing the work.

In addition to performing as required in the above paragraphs, the Surety shall indemnify and hold harmless the Owner from any and all losses, liability and damages, claims, judgments, liens, costs and fees of every description, including reasonable attorney's fees, litigation costs and expert witness fees, which the Owner may incur, sustain or suffer by reason of the failure or default on the part of the Principal in the performance of any or all of the terms, provisions, and requirements of the Contract, including any and all amendments and modifications thereto, or incurred by the Owner in making good any such failure of performance on the part of the Principal.

The Surety shall commence performance of its obligations and undertakings under this Bond promptly and without delay, after written notice from the Owner to the Surety.

The Surety hereby waives notice of any and all modifications, omissions, additions, changes, alterations, extensions of time, changes in payment terms, and any other amendments in or about the Contract, and agrees that the obligations undertaken by this Bond shall not be impaired in any manner by reason of any such modifications, omissions, additions, changes, alterations, extensions of time, change in payment terms, and amendments.

The Surety hereby agrees that this Bond shall be deemed amended automatically and immediately, without formal or separate amendments hereto, upon any amendment to the Contract, so as to bind the Principal and the Surety to the full and faithful performance of the Contract as so amended or modified, and so as to increase the penal sum to the adjusted Contract Price of the Contract.

No right of action shall accrue on this Bond to or for the use of any person, entity or corporation other than the Owner and any other obligee named herein, or their executors, administrators, successors or assigns.

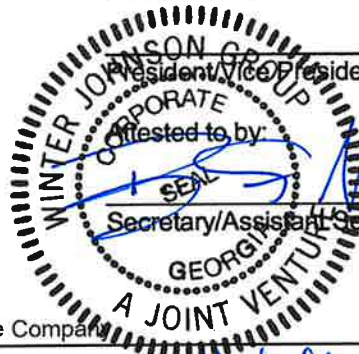
This Bond is intended to comply with O.C.G.A. Section 36-91-1 et seq., and shall be interpreted so; as to comply with; the minimum requirements thereof. However, in the event the express language of this Bond extends protection to; the Owner beyond that contemplated by O.C.G.A. Section 36-91-1 et seq. and O.C.G.A. Section 13-10-1, as amended, or any other statutory law applicable to this Project, then the additional protection shall be enforced in favor of the Owner, whether or not such protection is found in the applicable statutes.

IN WITNESS WHEREOF, the Principal and the Surety have caused these presents to be duly signed and sealed this 21st day of December, 2021.

PRINCIPAL: Winter Johnson Group, a Joint Venture


President/Vice President (Sign)

S. BRENT REID
President/Vice President (Type or Print)




Secretary/Assistant Secretary (Seal)

SURETY: Everest Reinsurance Company

By: 
Attorney-in-Fact (Sign)

Michelle Wannamaker
Attorney-in-Fact (Type or Print)

END OF SECTION

ACKNOWLEDGEMENT OF PRINCIPAL
IF A JOINT VENTURE

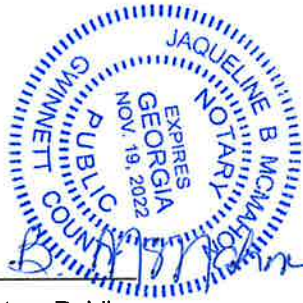
STATE OF Georgia }

COUNTY OF DEKALB }

On this 21ST day of DECEMBER 2021, personally appeared before me
S. BRENT REID member of the firm/Joint Venture of
Winter Johnson Group to me known and known to me to be the individual
described in and who executed the foregoing instrument and he acknowledged to me that he
executed the same for an on behalf of said firm/Joint Venture.

Sworn before me this 21st day of December 2021

Jaqueline B. McMahon
Notary Public



SURETY ACKNOWLEDGEMENT

STATE OF MARYLAND) SS DATE OF ACKNOWLEDGEMENT: DEC 21 2021
COUNTY OF BALTIMORE)

Michelle Wannamaker, Attorney-in-Fact and authorized representative of Everest Reinsurance Company, personally appeared before me on the date of this acknowledgement to affirm and verify that she is authorized to execute the foregoing instrument and acknowledged to me that she executed this instrument as Attorney-in-Fact and for the act and deed of Everest Reinsurance Company.

Notary Seal


Terry D. Shawkey, Notary Public

**State of Maryland
County of Baltimore
Terry D. Shawkey
Notary Public
Commission Expires July 13, 2022**



**POWER OF ATTORNEY
EVEREST REINSURANCE COMPANY
DELAWARE**

KNOW ALL PERSONS BY THESE PRESENTS: That Everest Reinsurance Company, a corporation of the State of Delaware ("Company") having its principal office located at 477 Martinsville Road, Liberty Corner, New Jersey 07938, do hereby nominate, constitute, and appoint:

Desiree Cardlin, Colette R. Chisholm, Camille Maitland, George O. Brewster, Gerard S. Macholz, Nelly Renchiwich, Rita Losquadro, Thomas Bean, Robert T. Pearson, Susan Lupski, Dana Granice, Michelle Wannamaker, Katherine Acosta, Lee Ferrucci

its true and lawful Attorney(s)-in-fact to make, execute, attest, seal and deliver for and on its behalf, as surety, and as its act and deed, where required, any and all bonds and undertakings in the nature thereof, for the penal sum of no one of which is in any event to exceed UNLIMITED, reserving for itself the full power of substitution and revocation.

Such bonds and undertakings, when duly executed by the aforesaid Attorney(s)-in-fact shall be binding upon the Company as fully and to the same extent as if such bonds and undertakings were signed by the President and Secretary of the Company and sealed with its corporate seal.

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Board of Directors of Company ("Board") on the 28th day of July 2016:

RESOLVED, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby appointed by the Board as authorized to make, execute, seal and deliver for and on behalf of the Company, any and all bonds, undertakings, contracts or obligations in surety or co-surety with others and that the Secretary or any Assistant Secretary of the Company be and that each of them hereby is authorized to attest to the execution of any such bonds, undertakings, contracts or obligations in surety or co-surety and attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the President, any Executive Vice President, and any Senior Vice President and Anthony Romano are hereby authorized to execute powers of attorney qualifying the attorney named in the given power of attorney to execute, on behalf of the Company, bonds and undertakings in surety or co-surety with others, and that the Secretary or any Assistant Secretary of the Company be, and that each of them is hereby authorized to attest the execution of any such power of attorney, and to attach thereto the corporate seal of the Company.

RESOLVED, FURTHER, that the signature of such officers named in the preceding resolutions and the corporate seal of the Company may be affixed to such powers of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be thereafter valid and binding upon the Company with respect to any bond, undertaking, contract or obligation in surety or co-surety with others to which it is attached.

IN WITNESS WHEREOF, Everest Reinsurance Company has caused their corporate seals to be affixed hereto, and these presents to be signed by their duly authorized officers this 28th day of July 2016.



Everest Reinsurance Company

Attest: Nicole Chase, Assistant Secretary

By: Anthony Romano, Vice President

On this 28th day of July 2016, before me personally came Anthony Romano, known to me, who, being duly sworn, did execute the above instrument; that he knows the seal of said Company; that the seal affixed to the aforesaid instrument is such corporate seal and was affixed thereto; and that he executed said instrument by like order.

LINDA ROBINS
Notary Public, State of New York
No 01RO6239736
Qualified in Queens County
Term Expires April 25, 2023

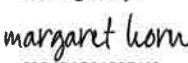
Linda Robins, Notary Public

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Company, at the Liberty Corner, this 21st day of December 2021.

EVEREST REINSURANCE COMPANY
STATEMENTS OF FINANCIAL CONDITION

	December 31,	
	2020 Unaudited	2019 Audited
ASSETS		
Bonds	\$ 9,452,250,173	\$ 6,733,064,269
Stocks	914,135,093	579,431,010
Short-term investments	3,099,547	9,977,402
Other invested assets	2,113,872,323	2,024,154,026
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Reinsurance recoverable	759,807,429	553,401,455
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LIABILITIES		
Loss and loss adjustment expense reserve	\$ 7,727,564,458	\$ 6,025,226,576
Unearned premium reserve	2,024,484,169	1,788,807,161
Ceded reinsurance premium payable (net of ceding commission)	363,237,788	322,866,050
Reserve for commissions, taxes and other liabilities	1,449,431,852	642,804,051
Total Liabilities	\$ 11,564,718,267	\$ 8,779,703,838
SURPLUS AND OTHER FUNDS		
Common capital stock	\$ 10,000,000	\$ 10,000,000
Contributed Surplus	3,400,178,517	2,464,960,596
Unassigned surplus	1,865,823,986	1,264,179,394
Total capital and surplus	\$ 5,276,002,503	\$ 3,739,139,990
Total Liabilities and Surplus	\$ 16,840,720,770	\$ 12,518,843,828

Bonds and stocks are valued on a basis promulgated by the National Association of Insurance Commissioners

DocuSigned by:

58C1DAB84C6F448...

Electronically Signed by Margaret Horn, Vice President this 15th day of April 2021

EXHIBIT F

CERTIFICATE OF INSURANCE

EXHIBIT F

CERTIFICATE OF INSURANCE



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/26/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Greyling Ins. Brokerage/EPIC 3780 Mansell Road, Suite 370 Alpharetta, GA 30022	CONTACT NAME: Jerry Noyola PHONE (A/C, No, Ext): 770-220-7699 E-MAIL ADDRESS: jerry.noyola@greyling.com	FAX (A/C, No):
	INSURER(S) AFFORDING COVERAGE	
INSURED Winter Johnson Group, A Joint Venture; 5616 Peachtree Road; Suite 100 Atlanta, GA 30341	INSURER A : Zurich American Insurance Co	NAIC # 16535
	INSURER B : Starr Indemnity and Liability Company	38318
	INSURER C : American Zurich Ins. Co.	40142
	INSURER D : Allied World Assurance Company (U.S.)	19489
	INSURER E :	
	INSURER F :	

COVERAGES CERTIFICATE NUMBER: 21-22 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:			GLO551426404	11/01/2021	11/01/2022	EACH OCCURRENCE \$2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$2,000,000 GENERAL AGGREGATE \$4,000,000 PRODUCTS - COMP/OP AGG \$4,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY			BAP551426504	11/01/2021	11/01/2022	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$0			1000584504211	11/01/2021	11/01/2022	EACH OCCURRENCE \$10,000,000 AGGREGATE \$10,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	WC551426304	11/01/2021	11/01/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000
D	Prof. Liab. incl. Pollution Liab.			03131181	11/01/2021	11/01/2022	Per Claim: \$10,000,000 Aggregate: \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Re: Project ##21RFP22421K-DB - CM@Risk Services for the new Fulton County Animal Shelter Facility. Fulton County Government, Its Officials, Officers & Employees are named as Additional Insureds with respects to General Liability where required by written contract. The above referenced liability policies with the exception of workers compensation and professional liability are primary & non-contributory where required by written contract. Waiver of Subrogation in favor of Additional Insured(s) where required by written contract & allowed by law.

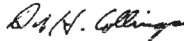
CERTIFICATE HOLDER Fulton County Government Purchasing Department 130 Peachtree Street S.W., Suite 1168 Atlanta, GA 30303-3459	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
---	--

EXHIBIT G

PURCHASING FORMS

EXHIBIT **G**

PURCHASING FORMS

**STATE OF GEORGIA
COUNTY OF FULTON**

**FORM A: GEORGIA SECURITY AND IMMIGRATION CONTRACTOR AFFIDAVIT
AND AGREEMENT**

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services¹ under a contract with **[insert name of prime contractor]** Winter Johnson Group on behalf of **Fulton County Government** has registered with and is participating in a federal work authorization program*,² in accordance with the applicability provisions and deadlines established in O.C.G.A. 13-10-91.

The undersigned further agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services to this contract with **Fulton County Government**, contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. 13-10-91 on the Subcontractor Affidavit provided in Rule 300-10-01-.08 or a substantially similar form. Contractor further agrees to maintain records of such compliance and provide a copy of each such verification to the **Fulton County Government** at the time the subcontractor(s) is retained to perform such service.

389164
EEV/Basic Pilot Program* User Identification Number

Winter Johnson Group
BY: Authorized Officer of Agent (Insert Contractor Name)

Managing Member
Title of Authorized Officer or Agent of Contractor

Brent Reid
Printed Name of Authorized Officer or Agent

Sworn to and subscribed before me this 7th day of April, 2021.

Notary Public: Natalie L. Adelmund

County: Cherokee

Commission Expires: 11/01/2021



¹O.C.G.A. § 13-10-90(4), as amended by Senate Bill 160, provides that "physical performance of services" means any performance of labor or services for a public employer (e.g., Fulton County) using a bidding process (e.g., ITB, RFQ, RFP, etc.) or contract wherein the labor or services exceed \$2,499.99, except for those individuals licensed pursuant to title 26 or Title 43 or by the State Bar of Georgia and is in good standing when such contract is for service to be rendered by such individual.

²[Any of the electronic verification of work authorization programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603].

Form C: OFFEROR'S DISCLOSURE FORM AND QUESTIONNAIRE

1. Please provide the names and business addresses of each of the Offeror's firm's officers and directors.

For the purposes of this form, the term "Offeror" means an entity that responds to a solicitation for a County contract by either submitting a proposal in response to a Request for Proposal or a Request for Qualification or a Bid in response to an Invitation to Bid. Describe accurately, fully and completely, their respective relationships with said Offeror, including their ownership interests and their anticipated role in the management and operations of said Offeror.

S. Brent Reid, Winter Johnson Group, Managing Member (70% Ownership), and Winter Construction, CEO
5616 Peachtree Road, Suite 100 | Atlanta, GA 30341

Artis Johnson, Winter Johnson Group, Managing Member (30% Ownership), and Johnson Construction Services, CEO
5616 Peachtree Road, Suite 100 | Atlanta, GA 30341

2. Please describe the general development of said Offeror's business during the past five (5) years, or such shorter period of time that said Offeror has been in business.

Winter Johnson Group has shown consistent growth since its inception in 2010.

3. Please state whether any employee, agent or representative of said Offeror who is or will be directly involved in the subject project has or had within the last five (5) years: (i) directly or indirectly had a business relationship with Fulton County; (ii) directly or indirectly received revenues from Fulton County; or (iii) directly or indirectly receives revenues from the result of conducting business on Fulton County property or pursuant to any contract with Fulton County. Please describe in detail any such relationship.

No employee, agent or representative of Winter Johnson Group that is or will be directly involved in the subject project has or had within the past (5) five years; (i) directly or indirectly had a business relationship with Fulton County; (ii) directly or indirectly received revenues from Fulton County, or (iii) directly or indirectly received revenues from the result of conducting business on Fulton County property or pursuant to any contract with Fulton County.

LITIGATION DISCLOSURE:

Failure to fully and truthfully disclose the information required, may result in the disqualification of your bid or proposal from consideration or termination of the Contract, once awarded.

1. Please state whether any of the following events have occurred in the last five (5) years with respect to said Offeror. If any answer is yes, explain fully the following:

(a) whether a petition under the federal bankruptcy laws or state insolvency laws was filed by or against said Offeror, or a receiver fiscal agent or similar officer was appointed by a court for the business or property of said Offeror;

Circle One: YES NO

(b) whether Offeror was subject of any order, judgment, or decree not subsequently reversed, suspended or vacated by any court of competent jurisdiction, permanently enjoining said Offeror from engaging in any type of business practice, or otherwise eliminating any type of business practice; and

Circle One: YES NO

(c) whether said Offeror's business was the subject of any civil or criminal proceeding in which there was a final adjudication adverse to said Offeror, which directly arose from activities conducted by the business unit or corporate division of said Offeror which submitted a bid or proposal for the subject project. If so please explain.

Circle One: YES NO

2. Have you or any member of your firm or team to be assigned to this engagement ever been indicted or convicted of a criminal offense within the last five (5) years?

Circle One: YES NO

3. Have you or any member of your firm or team been terminated (for cause or otherwise) from any work being performed for Fulton County or any other Federal, State or Local Government?

Circle One: YES NO

4. Have you or any member of your firm or team been involved in any claim or litigation adverse to Fulton County or any other federal, state or local government, or private entity during the last three (3) years?

Circle One: YES NO

5. Has any Offeror, member of Offeror's team, or officer of any of them (with respect to any matter involving the business practices or activities of his or her employer), been notified within the five (5) years preceding the date of this offer that any of them are the target of a criminal investigation, grand jury investigation, or civil enforcement proceeding?

Circle One:

YES

NO

If you have answered "YES" to any of the above questions, please indicate the name(s) of the person(s), the nature, and the status and/or outcome of the information, indictment, conviction, termination, claim or litigation, the name of the court and the file or reference number of the case, as applicable. Any such information should be provided on a separate page, attached to this form and submitted with your proposal.

NOTE: If any response to any question set forth in this questionnaire has been disclosed in any other document, a response may be made by attaching a copy of such disclosure. (For example, said Offeror's most recent filings with the Securities and Exchange Commission ("SEC") may be provided if they are responsive to certain items within the questionnaire.) However, for purposes of clarity, Offeror should correlate its responses with the exhibits by identifying the exhibit and its relevant text.

Disclosures must specifically address, completely respond and comply with all information requested and fully answer all questions requested by Fulton County. Such disclosure must be submitted at the time of the bid or proposal submission and included as a part of the bid/proposal submitted for this project. Disclosure is required for Offerors, joint venture partners and first-tier subcontractors.

Failure to provide required disclosure, submit officially signed and notarized documents or respond to any and all information requested/required by Fulton County can result in the bid/proposal declared as non-responsive. This document must be completed and included as a part of the bid/proposal package along with other required documents.

[SIGNATURES ON NEXT PAGE]

Under penalty of perjury, I declare that I have examined this questionnaire and all attachments hereto, if applicable, to the best of my knowledge and belief, and all statements contained hereto are true, correct, and complete.

On this 7th day of April, 2021

Winter Johnson Group April 7, 2021
(Legal Name of Proponent) (Date)

[Signature] April 7, 2021
(Signature of Authorized Representative) (Date)

Managing Member
(Title)

Sworn to and subscribed before me,

This 7th day of April, 2021

Natalie L. Adelman
(Notary Public) (Seal)

Commission Expires 11/01/2021
(Date)



#21RFP22421K-DB
CM@Risk Services for the new Fulton County Animal Shelter Facility

FORM D: GEORGIA PROFESSIONAL LICENSE CERTIFICATION

NOTE: Please complete this form for the work your firm will perform on this project.

Contractor's Name: Winter Johnson Group

Performing work as: Prime Contractor X Subcontractor/Sub-Consultant _____

Professional License Type (i.e., Georgia Utility License, Engineering, etc):

General Contractors License

Professional License Number:

GCCO003287

Expiration Date of License:

06/30/2022

I certify that the above information is true and correct and that the classification noted is applicable to the Bid for this Project.

Signed:



Date: April 7, 2021

(ATTACH COPY OF LICENSE)

**FORM D3: CONTRACTOR'S GEORGIA GENERAL CONTRACTOR'S LICENSE
CERTIFICATION**

Contractor's Name: Winter Johnson Group

General Contractor's License Number: GCCO003287

Expiration Date of License: 06/30/2022

I certify that the above information is true and correct and that the classification noted is applicable to the Bid for this Project.

Signed: 

Date: April 7, 2021

(ATTACH COPY OF LICENSE)



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
State Licensing Board for Residential and General Contractors
LICENSE NO. GCQA003297

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341

Company Name: Winter Johnson Group
Company License NO: GCCO003287
General Contractor Qualifying Agent

EXP DATE - 06/30/2022 Status: Active
Issue Date: 09/15/2011

A pocket-sized license card is below. Above is an enlarged copy of your pocket card.

Please make note of the expiration date on your license. It is your responsibility to renew your license before it expires. Please notify the Board if you have a change of address.

Wall certificates suitable for framing are available at cost, see board fee schedule. To order a wall certificate, please order from the web site – www.sos.state.ga.us/plb.

Please refer to Board Rules for any continuing education requirements your profession may require.

Georgia State Board of Professional Licensing
237 Coliseum Drive
Macon GA 31217
Phone: (844) 753-7825
www.sos.state.ga.us/plb

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
State Licensing Board for Residential and General Contractors
License No. GCQA003297

Steven Brent Reid
5616 Peachtree Road
Suite 100
Atlanta GA 30341


Company Name: Winter Johnson Group
Company License NO: GCCO003287
General Contractor Qualifying Agent

EXP DATE - 06/30/2022 Status: Active
Issue Date: 09/15/2011

Under penalty of perjury, I declare that I have examined this questionnaire and all attachments hereto, if applicable, to the best of my knowledge and belief, and all statements contained hereto are true, correct, and complete.

On this 7th day of April, 2021

Winter Johnson Group April 7, 2021
(Legal Name of Proponent) (Date)

 April 7, 2021
(Signature of Authorized Representative) (Date)

Managing Member
(Title)

Sworn to and subscribed before me,

This 7th day of April, 2021


(Notary Public) (Seal)

Commission Expires 11/01/2021
(Date)



**STATE OF GEORGIA
COUNTY OF FULTON**

FORM E: LOCAL PREFERENCE AFFIDAVIT OF BIDDER/OFFEROR

I hereby certify that pursuant to Fulton County Code Section 102-377, the Bidder/Offeror Winter Johnson Group is eligible to receive local preference points and has a staffed, fixed, physical, place of business located within Fulton County and has had the same for at least one (1) year prior to the date of submission of its proposal or bid and has held a valid business license from Fulton County or a city within Fulton County boundaries for the business at a fixed, physical, place of business, for at least one (1) year prior to the date of submission of its proposal or bid.

Affiant further acknowledges and understands that pursuant to Fulton County Code Section 102-377, in the event this affidavit is determined to be false, the business named herein shall be deemed "non-responsive" and shall not be considered for award of the applicable contract.

Johnson Construction Service
(BUSINESS NAME)

205 Jupiter Hills Pointe, Johns Creek, GA 30097
(FULTON COUNTY BUSINESS ADDRESS)

President
(OFFICIAL TITLE OF AFFIANT)

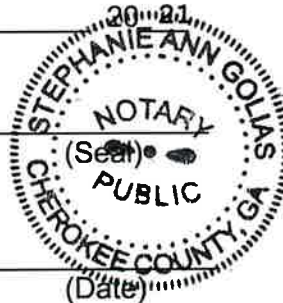
Artis Johnson
(NAME OF AFFIANT)


(SIGNATURE OF AFFIANT)

Sworn to and subscribed before me,

This 27th day of April


(Notary Public) Stephanie Ann Golias



Commission Expires: March 1, 2022
(Date)

EXHIBIT H

OFFICE OF CONTRACT COMPLIANCE

(subcontractors)

EXHIBIT **H**

OFFICE OF CONTRACT
COMPLIANCE

**Location of Bid Advertisements
For
Fulton County Animal Shelter Facility**

- National Association of Minority Contractors (NAMC)
- Georgia Hispanic Construction Association (GHCA)

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
01D.1400.S - FINAL CLEAN-UP	Cleanstar National	Marietta	GA	Doug Elkins	(770) 425-6797	doug@cleanstarnational.com	No Bid		under 100K			
01D.1400.S - FINAL CLEAN-UP	Construction Clean-up Specialists, Inc.	Marietta	GA	Estimating	(770) 435-4100 (main)	estimator@ccsinga.com	No Bid		under 100K			City of Atlanta Vendor ID #1100232; FBE Cert. #: 2013-054FBE; GDOT Vendor ID #: 0; NAICS Code(s): 561720;
01D.1400.S - FINAL CLEAN-UP	Diversified Management Group, LLC \ D.B.A. FNF Enterprises Group	MacClenny	FL	David Vaughn	(904) 704-1653	david.vaughn@fnfcleans.com	No Bid		under 100K			
01D.1400.S - FINAL CLEAN-UP	Resolute Construction Clean-up	Alpharetta	GA	Christian Bateson	(678) 366-4695	christian@resoluteservices.com	No Bid		100K+	Red / Red	-1,298,352	
G06.0020.M - WATCHMAN	Integrated Documentation Services, LLC dba Multivista Southeast	Norcross	GA	Brent Pearce	(678) 691-1541 (main)	b.pearce@multivista.com	No Bid		under 100K			
02B.2100.S - SITEWORK	American Contractors Grading and Paving, Inc.	Lithia Springs	GA	Tim Replogle	(770) 739-0000	tim@amcontractors.net	No Bid		under 100K	Yellow / Yellow	1,876,470	
02B.2100.S - SITEWORK	Brent Scarbrough & Company	Newnan	GA	Rob Fant	(770) 461-8603	rob@brent.us	No Bid		100K+	Yellow / Yellow	-109,109,600	
02B.2100.S - SITEWORK	C.A. MURREN & SONS COMPANY, INC.	GRAYSON	GA	Brian E. Greene	(770) 682-2940	bgreene@camurren.com	No Bid		under 100K	Yellow / Yellow	24,665,712	
02B.2100.S - SITEWORK	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	
02B.2100.S - SITEWORK	Civil Site Services Inc.	Fayetteville	GA	Robert Boggioni	(678) 870-0500	rboggioni@civilsites.com	No Bid		100K+	Yellow / Yellow	7,123,402	
02B.2100.S - SITEWORK	Dennis Taylor & Co., Inc.	Lawrenceville	GA	Daniel Danner	(770) 476-4324	ddanner@dennistaylor.com	No Bid		100K+	Green / Yellow	20,960,289	
02B.2100.S - SITEWORK	FS 360, LLC	Sandy Springs	GA	Ken Trevor	(404) 601-7611	ktrevor@fs360.com	No Bid		under 100K	Yellow / Red	1,907,022	City of Atlanta Vendor ID #810833; AABE Cert. #: 2014-507AABE; Other Certification: Georgia Minority Supplier Development Council. Cert # AT02741.;
02B.2100.S - SITEWORK	FS Scarbrough, LLC	Peachtree City	GA	Spencer Brooks	(678) 371-2346 (cell)	sbrooks@fsscاربrough.com	Bid	11/4/2021	under 100K			
02B.2100.S - SITEWORK	Gregorio's Invert Builders dba Goliath Contracting	Buford	GA	Chris Brouillette	(770) 559-0030	chris@goliathcontracting.net	Bid	11/4/2021	100K+	Yellow / Yellow	2,135,215	
02B.2100.S - SITEWORK	Lewis Contracting Services, LLC	Atlanta	GA	Damon Derixson	(470) 353-4077 (cell)	dderixson@lewiscontractingservices.com	Bid	11/4/2021	under 100K	Yellow / Yellow	9,295,480	City of Atlanta Vendor ID #1107022; AABE Cert. #: 2015-165AABE; SBE Cert #: 2015-165SBE; GDOT Vendor ID #: 12028; NAICS Code(s): 237990; Other Certification: Dekalb County LSBE and MBE and Clayton County Water Authority SLBE-1405-03;
02B.2100.S - SITEWORK	Sierra Grading, Hauling & Pipeline, LLC	Rome	GA	Blake Stewart	(678) 363-6647	blakedstewart@tds.net	No Bid		under 100K	Yellow / Red	670,830	
02D.2400.S - PILE SUBCONTRACTOR	Earth Tech, LLC	Charleston	SC	Stephen Nickerson	(843) 303-9485	snickerson@earthtech.com	No Bid		under 100K			
02D.2400.S - PILE SUBCONTRACTOR	Geopier Foundation Company			Bill Beckler	(770) 518-2788	bbeckler@geopier.com	Bid	11/4/2021	Pending			
02D.2400.S - PILE SUBCONTRACTOR	Keller North America, Inc.	Alpharetta	GA	Redd Schoening	(770) 442-1801	rcschoening@keller-na.com	Bid	11/4/2021	100K+	Yellow / Yellow	161,325,400	
02D.2400.S - PILE SUBCONTRACTOR	Peterson Contractors Inc.	Reinbeck	IA	Cork Peterson	(319) 345-2713	cork@pcius.com	No Bid		under 100K	Yellow / Yellow	71,132,459	
02D.2400.S - PILE SUBCONTRACTOR	WURSTER ENGINEERING & CONSTRUCTION INC.	GREENVILLE	SC	Tripp Ford	(864) 627-7751	tripp.ford@wursterinc.com	Bid	11/4/2021	under 100K	Yellow / Yellow	4,732,636	
02E.2500.S - PAVING & SURFACING	All South Aggregate	Washington	GA	Matt Green	(706) 338-5002	matt@asapaving.com	No Bid		under 100K			
02E.2500.S - PAVING & SURFACING	ALLIED PAVING CONTRACTORS INC.	Pendergrass	GA	Bryan Jones	(706) 693-4042	bjones@paveone.com	No Bid		under 100K			
02E.2500.S - PAVING & SURFACING	Baldwin Paving Co., Inc	Marietta	GA	Pam Haygood	(770) 425-9191	phaygood@baldwin-paving.com	No Bid		100K+	Green / Green	54,644,118	
02E.2500.S - PAVING & SURFACING	C & S Paving Inc.	Marietta	GA	Kent Jones	(770) 422-9124	kent@cspaving.com	No Bid		under 100K	Yellow / Red	434,560	City of Atlanta Vendor ID #804849; FBE Cert. #: 2013-071FBE; GDOT Vendor ID #: 2CS250; NAICS Code(s): 237310, 238140, 238910;
02E.2500.S - PAVING & SURFACING	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
02E.2500.S - PAVING & SURFACING	Lori's Transportation & Excavation, LLC	Atlanta	GA	John Guffey	(678) 430-9185 (cell)	jguffey@lorispaving.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #804539; FBE Cert. #: 2013-043FBE; SBE Cert #: 2012-0405BE; GDOT Vendor ID #: O475; NAICS Code(s): 237310; Fulton Co. Vendor ID #: VS00000-22275; Other Certification: TDOT, NCDOT, SCDOT, DEKALB COUNTY,;
02E.2500.S - PAVING & SURFACING	Magnum Paving, LLC	Villa Rica	GA	Joe Draughon	(770) 919-0911	joe@magnumpavingga.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,479,006	
02E.2500.S - PAVING & SURFACING	Mullins Bros Paving Contractors	EAST POINT	GA	Wayne Mullins	(404) 761-8007	wayne.mullins@mbpavinginc.com	No Bid		under 100K	Yellow / Red		
02E.2500.S - PAVING & SURFACING	Ryals Brothers	Gainesville	GA	Neil Wingo	(706) 215-7390	ryalsbrothers@yahoo.com	Bid	11/4/2021	under 100K			
02E.2500.S - PAVING & SURFACING	Stewart Bros Inc.	Doraville	GA	Karl Broughton	(770) 447-5810	kbroughton@stewartbrosinc.com	No Bid		under 100K	Green / Yellow	12,500,000	
02E.2500.S - PAVING & SURFACING	The Tomal Corporation dba WildCat Striping & Sealing	Decatur	GA	Courtney Evans	(404) 293-0198 (cell)	courtney@wildcatstriping.com	Bid	11/4/2021	under 100K			
02E.2510.S - SITE CONCRETE	Hemma Concrete, Inc.	Marietta	GA	Bid Coordinator (Ashley Ginth)	(678) 504-0136	estimate@hemmaconcrete.com	Bid	11/4/2021	100K+	Yellow / Yellow	19,280,836	
02E.2510.S - SITE CONCRETE	SDC Concrete Construction, Inc.	Smyrna	GA	Nick Hillman	(770) 423-9738	nickh@sdconcreteconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	931,490	
02E.2510.S - SITE CONCRETE	Wheeler Services, Inc.	Alpharetta	GA	Estimating Dept	(770) 667-0058	estimating@wheelerservicesinc.com	Bid	11/4/2021	100K+	Green / Yellow	14,519,897	
02E.2520.S - CURBS AND GUTTERS	CenterPoint Sitework & Utilities, Inc.	Atlanta	GA	Charles Allender	(678) 515-8193	callender@cpsitework.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,200,516	
02E.2520.S - CURBS AND GUTTERS	CurbCo, Inc.	Cumming	GA	Jeffrey Markuten	(678) 513-6907	Jeff@CurbCoInc.net	Bid	11/4/2021	under 100K	Red / Red		
02E.2520.S - CURBS AND GUTTERS	Fortress Walls & Hardscapes, LLC	Johns Creek	GA	Adam Dudenhoefter	(404) 312-9383	adam@fortress-walls.com	No Bid		100K+	Yellow / Yellow	2,368,890	
02E.2520.S - CURBS AND GUTTERS	Machine Construction Company Inc.	Sharpsburg	GA	Aron Brook	(770) 304-0608 (main)	estimating@machineconstruction.net	Bid	11/4/2021	under 100K			
02E.2520.S - CURBS AND GUTTERS	Upstate Curb Inc	Homer	GA	Wes Whitfield	(706) 677-2446	wes@upstatecurb.net	Bid	11/4/2021	under 100K	Red / Red	-1,070,427	
02E.2530.S - STRIPING AND SIGNS	A PARK RITE COMPANY	BUFORD	GA	BOB RUSHMORE	(770) 271-1000	rrushmore@aol.com	Bid	11/4/2021	under 100K			GDOT Vendor ID #: 2AP050; Other Certification: WBE Dekalb County, but no certificate number,;
02E.2530.S - STRIPING AND SIGNS	BlackJack Paving	Tyrone	GA	Bailee Raker	(678) 364-9696 (main)	bailee@blackjackpaving.com	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	HIGHWAY MARKINGS LLC	LAWRENCEVILLE	GA	JIM TROUTMAN	(770) 237-9997	troutman@bellsouth.net	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	Ryals Brothers	Gainesville	GA	Neil Wingo	(706) 215-7390	ryalsbrothers@yahoo.com	Bid	11/4/2021	under 100K			
02E.2530.S - STRIPING AND SIGNS	The Tomal Corporation dba WildCat Striping & Sealing	Decatur	GA	Courtney Evans	(404) 293-0198 (cell)	courtney@wildcatstriping.com	Bid	11/4/2021	under 100K			
02F.2620.S - UNIT PAVERS	Fortress Walls & Hardscapes, LLC	Johns Creek	GA	Adam Dudenhoefter	(404) 312-9383	adam@fortress-walls.com	Bid	11/4/2021	100K+	Yellow / Yellow	2,368,890	
02F.2620.S - UNIT PAVERS	Galvao Pavers, LLC. - DBA.: GP Hardscape	Cumming	GA	Wendy Arceneaux	(470) 334-6410 (cell)	wendy@gphardscape.com	Bid	11/4/2021	under 100K	Yellow / Yellow	924,330	City of Atlanta Vendor ID #1405231; HABE Cert. #: 2018-101HABE; SBE Cert #: 2018-1345BE; GDOT Vendor ID #: 15726; NAICS Code(s): 238110, 238140;
02F.2620.S - UNIT PAVERS	PAVERSTONE CONSTRUCTION	ATLANTA	GA	MARK ERBESFIELD	(770) 804-9900	mark@paverstone.com	Bid	11/4/2021	under 100K			
02F.2620.S - UNIT PAVERS	WOODLAND PAVERS INC.	Cleveland	GA	Andy LUCHKOWEC	(770) 335-8554	andy@woodlandpavers.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Apex Fence Company	Canton	GA	John Watson	(770) 425-0048	john@apexfencecompany.com	No Bid		100K+	Red / Red	123,214	
02F.2640.S - FENCES AND GATES	Bartow Fence Company Inc	Cartersville	GA	Jay Parrozzo	(770) 334-3434	jay@bartow-fence.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Lindavid, Inc. dba C & C Fence	McDonough	GA	Stephanie Spruill	(770) 603-9745	stephanie@1-stopaccess.com	Bid	11/4/2021	under 100K	Yellow / Yellow	3,675,197	City of Atlanta Vendor ID #908896; FBE Cert. #: 2012-440FBE; GDOT Vendor ID #: 000000; NAICS Code(s): 028399;

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
02F.2640.S - FENCES AND GATES	Marietta Fence Company, Inc.	Marrieta	GA	Jimmy Miller	(770) 422-1811 (main)	jmiller@mariettafence.com	No Bid		Pending			
02F.2640.S - FENCES AND GATES	MARTIN-ROBBINS FENCE CO INC	SNELLVILLE	GA	Brad Scruggs	(770) 972-8141	bscruggs@martinrobbins.com	No Bid		under 100K			
02F.2640.S - FENCES AND GATES	Mauldin & Cook Fence Company	Marietta	GA	Taylor Cook	(770) 924-9040	taylorcook@mauldincookfence.com	No Bid		under 100K	Yellow /		
02F.2640.S - FENCES AND GATES	Natural Enclosures Fence Co.	McDonough	GA	Justin Lawrence	(770) 506-3222	justin@ne-fence.com	Bid	11/4/2021	under 100K			
02G.2700.S - LANDSCAPING/IRRIGATION	Ashford Gardeners, Inc	Milton	GA	Ben Reed	(770) 664-1060	ben@ashfordgardeners.com	No Bid		under 100K	Yellow / Yellow	1,285,235	
02G.2700.S - LANDSCAPING/IRRIGATION	Baytree Landscape Contractors Inc.	Stone Mountain	GA	Kristina Clay	(678) 480-0351 (cell)	kristina.clay@baytreelandscape.com	No Bid		under 100K	Yellow / Red	3,702,100	
02G.2700.S - LANDSCAPING/IRRIGATION	ForeverLawn	Louisville	OH	Corey Adkins	(330) 499-8873 (main)	corey@foreverlawn.com	Bid	11/4/2021	Pending			
02G.2700.S - LANDSCAPING/IRRIGATION	Mayer Environmental Inc. dba Mayer Landscape	Suwanee	GA	Brittany Dampier	(678) 333-3153	estimating@mayerlandscapes.com	Bid	11/4/2021	under 100K	Red / Red	-1,049,080	
02G.2700.S - LANDSCAPING/IRRIGATION	NORTH GEORGIA LAND SERVICES	Duluth	GA	Bob Button	(770) 754-9811	bob@ngland.com	No Bid		100K+	Red / Red	26	
02G.2700.S - LANDSCAPING/IRRIGATION	Property Masters Commercial Landscaping, LLC.	Roswell	GA	Sarah Schullstrom	(770) 792-5533	sarah.schullstrom@propertymasters.com	No Bid		under 100K	Yellow / Yellow	588,706	
02G.2700.S - LANDSCAPING/IRRIGATION	Russell Landscape Contractors, LLC	Sugar Hill	GA	Mike Stanley	(770) 446-3552	Mikes@russelllandscape.com	Bid	11/4/2021	100K+	Yellow / Yellow	14,031,606	
02G.2700.S - LANDSCAPING/IRRIGATION	South Fulton Landscaping	College Park	GA	Fredrick Hill	(404) 344-0630	sflnursery@bellsouth.net	Bid	11/4/2021	under 100K	Red / Red	-13,259	City of Atlanta Vendor ID #804273; AABE Cert. #: 2009-049AABE; Fulton Co. Vendor ID #: VS00000-21176;
02G.2700.S - LANDSCAPING/IRRIGATION	Tri Scapes Inc.	Cumming	GA	Brian Bennett	(678) 357-3336 (cell)	brian@triscapes.com	No Bid		under 100K	Green / Yellow	8,675,638	City of Atlanta Vendor ID #907311; FBE Cert. #: 2019-247FBE; SBE Cert #: 2019-266SBE; GDOT Vendor ID #: 2TR550; NAICS Code(s): 238990, 561730, 238910; Other Certification: WBENC Certification #2005120401;
03A.3000.S - CONCRETE TURNKEY	Gunby Construction Co., Inc.	Roswell	GA	Mike Wrinkle x222	(770) 442-1594	Mwrinkle@gunbyco.com	Bid	11/4/2021	under 100K	Green / Yellow	8,726,538	City of Atlanta Vendor ID #1002494; HABE Cert. #: 2013-088HABE; GDOT Vendor ID #: 2GU380; NAICS Code(s): 237310, 238120, 238190, 238110;
03A.3000.S - CONCRETE TURNKEY	Hemma Concrete, Inc.	Marietta	GA	Bid Coordinator (Ashley Ginth	(678) 504-0136	estimate@hemmaconcrete.com	Bid	11/4/2021	100K+	Yellow / Yellow	19,280,836	
03A.3000.S - CONCRETE TURNKEY	Precision Concrete Construction, Inc.	Alpharetta	GA	John Galasso	(770) 751-3887	johnG@precision-concrete.com	No Bid		100K+	Green / Yellow	30,517,568	
03A.3000.S - CONCRETE TURNKEY	Technique Concrete Construction	Decatur	GA	Randy Tinsley	(404) 304-5967 (main)	randyt@techniqueconcrete.com	No Bid		under 100K			City of Atlanta Vendor ID #City of Atlanta; AABE Cert. #: 2010-408AABE; SBE Cert #: 2013-001SBE; GDOT Vendor ID #: 2TE063; NAICS Code(s): 237310, 238110; Fulton Co. Vendor ID #: VS00000-37953; Other Certification: Federal 8a Certification, HUB Zone, MBE, DBE;
03A.3000.S - CONCRETE TURNKEY	Wheeler Services, Inc.	Alpharetta	GA	Sean Jarrett	(770) 667-0058	s.jarrett@wheelerservicesinc.com	Bid	11/4/2021	100K+	Green / Yellow	14,519,897	
03A.3040.M - REINFORCING STEEL	Anasteel & Supply Company, LLC	Ellenwood	GA	Stephen Snowe	(404) 675-9501	snowe@anasteel.com	Bid	11/4/2021	under 100K	Yellow / Yellow	10,878,504	City of Atlanta Vendor ID #809560; HABE Cert. #: 2015-121HABE; FBE Cert. #: 2015-121FBE; Fulton Co. Vendor ID #: VS00000-09620; Other Certification: GMSDC (MBE);
03A.3040.M - REINFORCING STEEL	CMC Rebar	Lawrenceville	GA	Mary Fordham	(770) 963-6251	mary.fordham@cmc.com	Bid	11/4/2021	100K+	Green / Green	2,738,243	
03A.3040.M - REINFORCING STEEL	Harris Rebar Nufab, LLC	Riverside	AL	Ron Gurley	(205) 338-6332	RGurley@harrisrebar.com	No Bid		under 100K	Green / Green	11,294,429,000	
03A.3040.M - REINFORCING STEEL	Southern Rebar & Supplies, Inc	Albany	GA	Rebecca Wisener	(229) 343-6542	rebecca.wisener@southernrebar.com	No Bid		Pending			
03A.3040.M - REINFORCING STEEL	Williams Concrete Accessories	Lithia Springs	GA	Alex Cannon	(678) 355-2148	acannon@williamsform.com	Bid	11/4/2021	under 100K			
03A.3050.S - CONCRETE PLACE AND FINISH	Montalvo Construction	Woodstock	GA	Chuck Rutherford	(404) 664-6266	montalvocoinc@gmail.com	No Bid		under 100K			
03A.3050.S - CONCRETE PLACE AND FINISH	Precision 2000, Inc.	Chamblee	GA	Jaime Botero	(770) 455-6142	jbotero@precision2k.com	No Bid		under 100K	Yellow / Yellow	3,139,324	City of Atlanta Vendor ID #P690700-01; HABE Cert. #: 2013-272HABE; FBE Cert. #: 2013-272FBE; GDOT Vendor ID #: 2PR029; NAICS Code(s): 236116, 236220, 237310, 238110, 238190;
03A.3050.S - CONCRETE PLACE AND FINISH	SDC Concrete Construction, Inc.	Smyrna	GA	Nick Hillman	(770) 423-9738	nichh@sdconcreteconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	931,490	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
03A.3050.S - CONCRETE PLACE AND FINISH	Tafolla's Construction, Inc.	Lawrenceville	GA	Giovani Serrano	(770) 617-6580 (cell)	giovani@tafollasconstruction.com	No Bid		100K+	Yellow / Yellow	9,127,388	City of Atlanta Vendor ID #2100855; HABE Cert. #: 2020-250HABE; SBE Cert #: 2020-252SBE; GDOT Vendor ID #: 16959; NAICS Code(s): 238110, 237310; Other Certification: MBE & GDOT RMS;
03A.3060.M - CONCRETE PURCHASE	Argos Ready Mix, LLC	Alpharetta	GA	Polo Bascunan	(678) 392-1796	PBascunan@argos-us.com	Bid	11/4/2021	under 100K			
03A.3060.M - CONCRETE PURCHASE	Ready Mix USA, LLC	WOODSTOCK	GA	Kyle Sandige	(813) 602-9388 (cell)	kyle.sandige@cemex.com	Bid	11/4/2021	under 100K			
03A.3060.M - CONCRETE PURCHASE	Thomas Concrete of Georgia, Inc.	Atlanta	GA	Eric Phillips	(770) 431-3310	eric.phillips@thomasconcrete.com	Bid	11/4/2021	under 100K			
03A.3110.M - CONCRETE PUMPING	Brundage Bone Concrete Pumping, Inc.	Mableton	GA	Cory Postlewait	(404) 762-9633	CoryPostlewait@brundagebone.com	Bid	11/4/2021	under 100K	Yellow / Red	-73,317,500	
03A.3110.M - CONCRETE PUMPING	Cherokee Pumping Inc.	Hampton	GA	Scott Maskell	(404) 597-7442 (cell)	scottm@cherokeepumping.com	No Bid		under 100K			
03A.3110.M - CONCRETE PUMPING	Pioneer Concrete Pumping Inc.	Mableton	GA	Chris Williams	(404) 387-7751 (cell)	chris.williams@pioneerconcrete.com	No Bid		under 100K	Yellow / Yellow	2,874,782	
04A.4000.S - MASONRY	ATL Masonry Contractor Inc.	Lawrenceville	GA	Leigh Reed	(470) 888-2636	leigh@reedsestimating.com	Bid	11/4/2021	100K+	Yellow / Red	396,307	
04A.4000.S - MASONRY	B&M Masonry Inc.	Marietta	GA	Robert Novoa	(770) 421-1600	robert@bmmasonryinc.com	No Bid		under 100K	Yellow / Yellow	6,976,190	
04A.4000.S - MASONRY	Bibler Masonry Contractors, Inc.	Roswell	GA	Keith Duncan	(770) 667-1633	keith@biblermci.com	Bid	11/4/2021	100K+	Yellow / Yellow	6,310,464	City of Atlanta Vendor ID #1404020; FBE Cert. #: 2016-153FBE; GDOT Vendor ID #: 2B1113; NAICS Code(s): 238140; Other Certification: Women's Business Enterprise National Council WOSB # W030234;
04A.4000.S - MASONRY	Eagle Construction & Restoration, LLC	Sugar Hill	GA	Francisco Martinez	(770) 294-8859	fmarti1042@eaglecr.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,292,881	City of Atlanta Vendor ID #200400; HABE Cert. #: 2019-154HABE; SBE Cert #: 2019-166SBE;
04A.4000.S - MASONRY	M & D Masonry, Inc.	Americus	GA	Scott Smith	(404) 473-0807	scott@mdmasonry.com	Bid	11/4/2021	100K+	Yellow / Yellow	2,441,903	
04A.4000.S - MASONRY	Masonry Dixie Inc.	Dahlonega	GA	Jeff Sayne	(770) 844-9355	jeff@mdixie.com	Bid	11/4/2021	100K+	Green / Yellow	2,294,684	
04A.4000.S - MASONRY	Pyramid Masonry Contractors Inc.	Decatur	GA	Nathan Parsons	(770) 987-4750	nparsons@pyramidmasonry.net	No Bid		under 100K	Green / Yellow	11,224,500	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	GrayWolf Integrated Construction Company	Duluth	GA	Dusty Roach	(678) 203-2446	Dusty.Roach@Graywolf.com	No Bid		100K+	Yellow / Yellow	115,000,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Jonquil Steel and Construction Company, Inc.	Mableton	GA	Corey Battle	(770) 948-9876	cbattle@jonquilsteel.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,535,760	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	King Steel, Inc.	Lawrenceville	GA	Troy Ernst	(770) 407-7601	ternst@kingsteelinc.net	No Bid		100K+	Yellow / Yellow	4,635,228	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	PORTER STEEL, INC	LILBURN	GA	Amber Zorrilla	(770) 564-0837	azorrilla@portersteel.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,804,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Rodgers Metal Craft Inc	Fortson	GA	Edward Rodgers	(706) 887-6401	edwardr@roddersmc.com	No Bid		Pending			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	RyJohn Steel	Decatur	GA	Daino Deas	(770) 987-8388	daino@ryjohnsteel.com	Bid	11/4/2021	Pending			GDOT Vendor ID #: 3721376; NAICS Code(s): 561499;
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Smith Ironworks	Lyerly	GA	Blake Weaver	(706) 895-3311	sales@smith-ironworks.com	No Bid		under 100K	Red / Red	-1,371,946	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	SOUTH CENTRAL STEEL	HARPERSVILLE	AL	Andy Schroeder	(205) 672-2904	andy@scssteel.com	No Bid		100K+	Red / Red	682,342	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Steel Plus LLC	Ider	AL	Jim Hicks	(256) 630-8039	jhicks@steel-plusllc.com	No Bid		under 100K			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Steel, LLC	Scottdale	GA	Clay Hawkins	(404) 292-7373	chawkins@steelincga.com	Bid	11/4/2021	under 100K	Green / Yellow	57,500,000	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	SteelFab Inc.	Norcross	GA	Jeff Pattilo	(770) 248-0075 (main)	jpattilo@steelfab-inc.com	No Bid		under 100K			
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Trinity Fabricators Inc	Green Cove Springs	FL	Dan Westfall	(904) 284-9657	danwestfall@trinityfabricators.com	No Bid		under 100K	Yellow / Yellow	10,344,046	
05A.5000.S - STRUCTURAL STEEL - TURNKEY	Universal Steel, Inc	Lithonia	GA	Bob Mayotte	(770) 482-5601	bmayotte@universalsteelinc.com	No Bid		under 100K	Yellow / Yellow	12,442,100	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
05A.5020.S - STEEL ERECTIONS	DAUNCH & HIRSCHI CONSTRUCTION INC	Cleveland	GA	Bob Hirschi	(706) 219-3592	bobhirschi@daunch-hirschi.com	No Bid		under 100K			
05A.5020.S - STEEL ERECTIONS	White Hawk, Inc.	Marietta	GA	Cy Hedrick x 1738	(770) 425-5200	c.hedrick@whitehawkinc.com	No Bid		under 100K	Yellow /		
06B.6100.S - ARCHITECTURAL MILLWORK	MARK PRODUCTS OF GEORGIA INC(MP)	Atlanta	GA	CARL DEMARIA	(770) 641-6342	carl@markproducts.com	Bid	11/4/2021	100K+	Yellow / Red	29,689	
06B.6100.S - ARCHITECTURAL MILLWORK	Steve Ward & Associates, Inc.	Nashville	TN	Chad	(615) 350-7310 (main)	Chad@swainc.com	No Bid		under 100K	Yellow / Yellow	8,592,276	
06B.6100.S - ARCHITECTURAL MILLWORK	Tristar Metals, Inc	Boyd	TX	Tim Nichols	(877) 459-7827 (main)	Tim@tristarvet.com	Bid	11/4/2021	Pending			
06B.6100.S - ARCHITECTURAL MILLWORK	USA Millwork Atlanta, LLC	Duluth	GA	Jeanne Cordum	(470) 289-4581	atl.estimating@usa-millwork.com	No Bid		100K+	Red / Red	-44,926,436	
06B.6100.S - ARCHITECTURAL MILLWORK	Woodtec Millwork, Inc.	JEFFERSON	GA	Rob Fisher	(770) 806-9714	rob@woodtecmillwork.com	No Bid		100K+	Yellow / Yellow	623,565	
07A.7000.S - WATERPROOFING	Alpha Insulation & Waterproofing Inc.	Marietta	GA	LaWon Griffin	(770) 424-8600	lgriffin@alphaiwp.com	No Bid		100K+	Green / Yellow	38,003,081	
07A.7000.S - WATERPROOFING	Chambless Construction Specialties Inc.	Marietta	GA	Seth Chambless	(770) 952-2846	seth.chambless@chamblessconstruction.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,250,000	
07A.7000.S - WATERPROOFING	Eastern Waterproofing and Coating	Atlanta	GA	Maziyar Badiei	(770) 220-2253	MBadiei@easternwaterproofing.net	Bid	11/4/2021	under 100K	Yellow / Red	498,320	
07A.7000.S - WATERPROOFING	HOLBROOK WATERPROOFING COMPANY OF GEORGIA	DECATUR	GA	GREG SIMMONS	(404) 378-8866	hwco1@bellsouth.net	Bid	11/4/2021	under 100K	Yellow / Red	118,702	
07A.7000.S - WATERPROOFING	Ketom Construction Company, Inc. dba Southern Preservation Systems	Loganville	GA	Jacob David	(770) 982-9970	Jacobd@spsatl.com	No Bid		under 100K	Red / Red	331,440	
07A.7000.S - WATERPROOFING	Metro Waterproofing Inc.	Scottsdale	GA	Zoella Diaz	(404) 292-8013	zoella.diaz@metrowp.com	Bid	11/4/2021	100K+	Green / Yellow	32,381,009	
07A.7000.S - WATERPROOFING	Southeast Restoration & Fireproofing Co. Inc.	Stone Mountain	GA	Thomas Deeds	(404) 297-8388	tdeeds@serest.com	Bid	11/4/2021	100K+	Green / Yellow	9,857,278	City of Atlanta Vendor ID #City of Atlanta/1004618; SBE Cert #: 2019-24-SBE;
07C.7220.S - ROOFING	Northside Building Services, Inc.	Acworth	GA	Bryan LaVigne	(770) 529-0970	blavigne@bellsouth.net	Bid	11/4/2021	100K+	Yellow / Yellow	3,550,000	City of Atlanta Vendor ID #1107745; HABE Cert. #: 2017-239HABE;
07C.7220.S - ROOFING	Roof Technology Partners, LLC	Woodstock	GA	Ryan Gaddy	(678) 401-5200	ryan@rooftechnologypartners.com	No Bid		under 100K	Yellow / Yellow	1,240,752	
07C.7220.S - ROOFING	Summers Roofing Company., Inc	Alpharetta	GA	Brian Bick	(770) 663-4211	brian@summersroofing.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,471,022	City of Atlanta Vendor ID #1002452; FBE Cert. #: 2017-035FBE; SBE Cert #: 2017-044SBE; GDOT Vendor ID #: 4QDL9; NAICS Code(s): 238160, 238170; Other Certification: WBE Certificate No. RCW20826 is from NWBOC and expires 07/14/2021;
07C.7220.S - ROOFING	Tera-Systems LLC	Buford	GA	Josh Gaddis	(770) 845-3305	josh.gaddis@tera-systems.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,151,654	City of Atlanta Vendor ID #1803947; AABE Cert. #: 2018-030AABE; SBE Cert #: 2018-045SBE; GDOT Vendor ID #: 15455; NAICS Code(s): 238130, 238160, 238170;
07C.7220.S - ROOFING	Terminus Construction Group	Woodstock	GA	Matt Winters	(678) 880-8346	Matt@terminusconstructiongroup.com	No Bid		under 100K			
07C.7220.S - ROOFING	Zurix Built LLC dba Zurix Roofing Systems	Atlanta	GA	Barry Gaddis	(678) 644-7761	barry@zurixinc.com	No Bid		100K+	Yellow / Yellow	1,117,432	
07C.7230.S - METAL ROOF AND WALL PANELS	Alumitect Industries, LLC	Salem	MI	Marc Montblanc	(248) 468-9300	Marc.montblanc@alumitect.com	No Bid		100K+	Red / Red	89,211	
07C.7230.S - METAL ROOF AND WALL PANELS	BRISTOL ENGINEERED METALS, LLC	Cumming	GA	MARK JANSEN	(770) 623-3752	mark@bristol-eng-metals.com	No Bid		under 100K	Yellow / Red	661,518	
07C.7230.S - METAL ROOF AND WALL PANELS	Clad Axis	Carrollton	GA	Chris Cox	(678) 741-5370	chrisc@cladaxis.com	Bid	11/4/2021	under 100K			
07C.7230.S - METAL ROOF AND WALL PANELS	KISTLER-MCDOUGALL CORP	WOODSTOCK	GA	Cindy Crain	(770) 928-3830	estimating@kmcorgusa.com	No Bid		100K+	Yellow / Yellow	3,433,172	
07C.7230.S - METAL ROOF AND WALL PANELS	Maucor Inc	Maitland	FL	Mauricio Correa	(407) 796-4071	mcorrea@maucor.com	Bid	11/4/2021	100K+	Red / Red		
07C.7230.S - METAL ROOF AND WALL PANELS	Peachtree Protective Covers Inc.	Lithia Springs	GA	Tamara Spruill	(770) 439-2120	bids@peachtreecovers.com	No Bid		100K+	Green / Yellow	7,664,584	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
07C.7230.S - METAL ROOF AND WALL PANELS	SECO Architectural Systems, Inc.	Snellville	GA	Jill x 126	(770) 469-8286	jillgreen@secoinc.biz	No Bid		under 100K			
07C.7230.S - METAL ROOF AND WALL PANELS	The Miller - Clapperton Partnership, Inc	Austell	GA	Josh Akins	(770) 378-8611 (cell)	Josh.Akins@millerclapperton.com	No Bid		100K+	Yellow / Yellow	17,226,548	
07C.7320.S - EXTERIOR SIDING	Maucor Inc	Maitland	FL	Mauricio Correa	(407) 796-4071	mcorrea@maucor.com	No Bid		100K+	Red / Red		
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Classic City Door & Hardware	Athens	GA	Tim Crocker	(706) 543-8857	tim@classiccitydoor.com	No Bid		under 100K	Red / Red	-609,307	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	D.H. Pace Door Services, A Division of D.H. Pace Company, Inc	Peachtree Corners	GA	Craig Stewart	(404) 327-5106	craig.stewart@dhpce.com	No Bid		100K+	Green / Yellow	116,385,426	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	IDN Armstrong's, Inc	Chamblee	GA	Estimating	(404) 898-8740 (main)	estimating@idnarmstrongs.com	No Bid		100K+	Yellow / Yellow	6,525,250	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	John Oatley Builders Hardware Inc.	Atlanta	GA	Estimating	(404) 876-2434 (main)	bids@johnoatley.com	No Bid		under 100K	Yellow / Yellow	2,406,742	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Kelley Bros Hardware - Alabama Inc dba Kelly Brothers Hardware - Georgia Inc	Cumming	GA	Tom Martin	(770) 882-2834	tmartin@kelleybros.com	Bid	11/4/2021	100K+	Yellow / Yellow	36,756,286	
08A.8000.M - DOORS, FRAMES, AND HARDWARE	MACON DOOR AND HARDWARE INC.	MACON	GA	BOB HARDEMAN	(478) 741-2281	bob.hardeaman@macondoor.com	No Bid		under 100K			
08A.8000.M - DOORS, FRAMES, AND HARDWARE	Tebarco Door & Metal Services, Inc.	Alpharetta	GA	Jeff Bissell	(770) 740-8500	jeffbissell@tebarcodoor.com	No Bid		100K+	Green / Yellow	2,106,346	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Acousti Doors & Specialties, LLC	Kennesaw	GA	Adam Oshields	(404) 355-1331	adam@acoustids.com	Bid	11/4/2021	under 100K	Yellow / Yellow	1,610,842	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Atlanta's Professional Door Inc.	Fayetteville	GA	Steve Glenn	(770) 460-6688	sglenn@apdinc.net	No Bid		under 100K	Yellow /		
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	Overhead Door Co. of Atlanta, a DH Pace Co., Inc.	Peachtree Corners	GA	Gary Wright	(404) 872-3667	gary.wright@dhpce.com	Bid	11/4/2021	100K+	Green / Yellow	116,385,426	
08A.8040.S - OVERHEAD DOORS/COILING GRILLS	River City Door	Columbus	GA	Michael DeHenning	(706) 565-5305	mdehenning@rivercitydoors.com	Bid	11/4/2021	under 100K	Yellow / Yellow	715,954	
08A.8090.S - DOOR & HARDWARE INSTALLATION	Aaron's Doors LLC	Cumming	GA	Gary Bekebrede	(404) 580-8267	gary@aarondoorsllc.com	No Bid		under 100K			
08A.8090.S - DOOR & HARDWARE INSTALLATION	R. E.Monk Interior Trim,Inc.	Lilburn	GA	Royce Monk	(770) 925-2042	roycemonk@bellsouth.net	Bid	11/4/2021	under 100K	Yellow / Red	144,663	
08B.8210.S - GLASS AND GLAZING	C2 GA, LLC dba Clearvue Glass & Mirror Co.	Marietta	GA	Jeff Post	(404) 524-5616	jeff@clearvueglassatlanta.com	Bid	11/4/2021	100K+	Red / Red	300,715	
08B.8210.S - GLASS AND GLAZING	Capital City Glass Inc.	Lawrenceville	GA	Rodney Southard	(770) 963-2122	rodney@capitalcityglass.com	No Bid		100K+	Red / Red	-2,023,280	
08B.8210.S - GLASS AND GLAZING	Commercial Glass Installation, Inc	Cleveland	GA	Matt Quarles	(706) 348-6200	matt@comm-glass.com	No Bid		100K+	Yellow / Yellow	187,020	
08B.8210.S - GLASS AND GLAZING	EGM Services, Inc.	Decatur	GA	Craig Nelson	(404) 288-9521	craig.nelson@egmatlanta.com	Bid	11/4/2021	under 100K	Green / Yellow	3,941,316	City of Atlanta Vendor ID #807037; AABE Cert. #: 2019-164AABE; SBE Cert #: 2019-179SBE; GDOT Vendor ID #: 2EG300; NAICS Code(s): 238150, 238290; Fulton Co. Vendor ID #: VS00000-22136;
08B.8210.S - GLASS AND GLAZING	G&S GLASS ATLANTA, LLC	Woodstock	GA	David Joiner	(770) 331-4715	djoiner@gsglassatl.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,813,251	
08B.8210.S - GLASS AND GLAZING	Glass Stream Inc.	Kennesaw	GA	Luke Skinner	(678) 378-9297 (cell)	luke.skinner@glassstreaminc.com	No Bid		100K+	Green / Yellow	6,165,755	
08B.8210.S - GLASS AND GLAZING	Jones Glass Inc.	Macon	GA	Kevin Middlebrooks	(770) 683-9770	kmiddlebrooks@jonesglassinc.com	No Bid		100K+	Green / Yellow	7,608,426	GDOT Vendor ID #: 0000000000; NAICS Code(s): 238150; Other Certification: WBENC #2005118683;
09B.9100.S - DRYWALL	Alamo Drywall Inc	Austell	GA	Roger Guillen	(305) 240-7031 (cell)	rguillen@alamodrywall.com	Bid	11/4/2021	100K+	Yellow / Red	38,989	
09B.9100.S - DRYWALL	Astro Interior Contracting Inc	Mableton	GA	Chris Clark	(404) 699-0301	cclark@astro-interior.com	Bid	11/4/2021	100K+	Yellow / Yellow	4,296,362	
09B.9100.S - DRYWALL	BCA Inc.	ATLANTA	GA	JEFFREY A. FUERST	(770) 458-6339	BIDinvite@BCAdrywall.com	No Bid		under 100K	Yellow / Yellow	2,875,632	
09B.9100.S - DRYWALL	Ochoa General Interiors Inc.	Hapeville	GA	Jose Ochoa	(678) 468-2697	jose@ochoaconstruction.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #City of Atlanta; HABE Cert. #: 2011-124HABE; SBE Cert #: 2012-069SBE; Fulton Co. Vendor ID #: VC0000-00000;

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
09B.9100.S - DRYWALL	Principle Partners Inc.	MORROW	GA	Stephen Schroeder II x225	(770) 960-0442	sschroederii@principlepartnersinc.com	No Bid		under 100K	Yellow / Yellow	780,845	City of Atlanta Vendor ID #770570; FBE Cert. #: 2015-474FBE; GDOT Vendor ID #: 2PR260;
09B.9200.S - TILE & STONE	AAA Commercial Floors	Gainesville	GA	Richard Davis	(770) 535-6671	richard.davis@aaacommercialfloors.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,665,460	
09B.9200.S - TILE & STONE	C. C. Owen Tile Company Inc.	Jonesboro	GA	Rod Owen	(770) 478-5111	rodowen@ccowentile.com	No Bid		100K+	Yellow / Yellow	3,472,500	
09B.9200.S - TILE & STONE	Doyle Dickerson Terrazzo, Inc	Charlotte	NC	Boutros Boutros	(704) 921-4940	boutros@doyledickersonterrazzo.com	No Bid		100K+	Yellow / Yellow	2,744,472	
09B.9200.S - TILE & STONE	Level Construction Services	Atlanta	GA	John Mapp, Jr.	(404) 351-4282	jmappjr@level-cs.com	Bid	11/4/2021	Pending			
09B.9200.S - TILE & STONE	Premier Contract Carpet, Inc.	TUCKER	GA	Mason Garrison	(678) 802-2916	mason@pccarpet.com	Bid	11/4/2021	100K+	Yellow / Red	1,243,668	
09B.9200.S - TILE & STONE	United Enterprises Inc.	Buford	GA	Beth Starkey	(770) 904-6984	estimating@unitedei.com	No Bid		100K+	Yellow / Yellow	1,162,510	City of Atlanta Vendor ID #1200187; SBE Cert #: 2014-100SBE;
09D.9350.S - CARPET, VINYL FLOORING AND BASE	AAA Commercial Floors	Gainesville	GA	Richard Davis	(770) 535-6671	richard.davis@aaacommercialfloors.com	No Bid		100K+	Yellow / Yellow	3,665,460	
09D.9350.S - CARPET, VINYL FLOORING AND BASE	DCO Inc., dba DCO Commercial Floors	Athens	GA	Luke Canup	(678) 377-0001	lcanup@dcocf.com	No Bid		100K+	Yellow / Yellow	14,100,308	
09D.9350.S - CARPET, VINYL FLOORING AND BASE	Shaw Contract Flooring Services, Inc.,	Norcross	GA	Darnell Byrd	(770) 729-2773	darnell.byrd@spectracf.com	No Bid		under 100K	Green / Green	42,000,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	Baker Paint & Contracting Co., Inc.	Tucker	GA	Thomas Watt	(404) 379-7830	thomas@bakerpaint.com	Bid	11/4/2021	100K+	Green / Yellow	8,874,212	
09E.9400.S - SPECIAL COATINGS - FLOOR	Epoxico	Murrells Inlet	SC	Stacy Davis	(843) 979-1550	epoxicomb@aol.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	Extreme IFC, LLC	Cumming	GA	Will Gleeson	(404) 304-7881	will@extremeifc.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	Key Resin Company	Batavia	OH	Gary L. Bath	(770) 535-8932	gary@garybath.com	No Bid		under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	MC's Painting & Decorating Co Inc	Hiram	GA	Karen Armstrong x106	(770) 943-1193	karena@mcpaint.com	Bid	11/4/2021	100K+	Green / Yellow	3,953,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	Plexi-Chemie, Inc dba Industrial Flooring Specialists	Jacksonville	FL	Bids		epoxy@floorcure.com	No Bid		under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	STONHARD DIVISION OF STONCOR GROUP INC (GA)	Atlanta	GA	Kevin Kranick	(404) 578-7399	kkranick@stonhard.com	Bid	11/4/2021	under 100K	Green / Green	136,000,000	
09E.9400.S - SPECIAL COATINGS - FLOOR	T&T Ventures LLC	Atlanta	GA	Paul Botwell	(404) 254-0442	pbothwell@ttventuresllc.com	Bid	11/4/2021	under 100K			
09E.9400.S - SPECIAL COATINGS - FLOOR	The Paint Doctor, Inc	Atlanta	GA	Archie Deese	(404) 524-8283	archieeese@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
09E.9500.S - PAINTING	Apex Painting & Decorating Co.	Conyers	GA	Bob Wagner	(480) 988-1501 (cell)	bobw@apex-paint.com	No Bid		under 100K			City of Atlanta Vendor ID #107168233; FBE Cert. #: 2013-040FBE; GDOT Vendor ID #: 2AP310; NAICS Code(s): 238320, 238390, 238990; Other Certification: WBE with Women's Business Enterprise National Council;
09E.9500.S - PAINTING	Baker Paint & Contracting Co., Inc.	Tucker	GA	Thomas Watt	(404) 379-7830	thomas@bakerpaint.com	Bid	11/4/2021	100K+	Green / Yellow	8,874,212	
09E.9500.S - PAINTING	Bobby Taylor Painting Holdings Inc.	Acworth	GA	Mark Cook	(770) 974-2828	MarkC@bobbytaylorpainting.com	Bid	11/4/2021	under 100K	Yellow / Yellow	538,874	Other Certification: MBE;
09E.9500.S - PAINTING	Goodman Decorating Company Inc	Atlanta	GA	Richard Diamond	(404) 965-2538	rad@thinkgoodman.com	No Bid		100K+	Yellow / Yellow	3,064,406	
09E.9500.S - PAINTING	MC's Painting & Decorating Co Inc	Hiram	GA	Karen Armstrong x106	(770) 943-1193	karena@mcpaint.com	No Bid		100K+	Green / Yellow	3,953,000	
09E.9500.S - PAINTING	MLR Painting & Wallcovering, Inc.	Fairburn	GA	Mike Mehan	(770) 302-1440	mike@mlrpainting.com	No Bid		100K+	Yellow / Yellow	2,147,532	
09E.9500.S - PAINTING	Rosing Painting & Wallcovering	Atlanta	GA	Barry Jiske	(404) 350-4023	barry@rosingpaint.com	Bid	11/4/2021	under 100K	Yellow / Yellow	3,565,276	

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Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
09E.9500.S - PAINTING	The Paint Doctor, Inc	Atlanta	GA	Chris Rice	(404) 524-8283	CRice@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
09E.9520.S - ACOUS. TREATMENTS	A. Ritz Interiors	Austell	GA	Andy Ritz	(678) 310-0671	andy@ritzinteriors.net	Bid	11/4/2021	100K+	Yellow / Red	1,577,374	City of Atlanta Vendor ID #2005125289; Other City of Atlanta Cert. #: WBE; Other Certification: WBENC National Certificate Number 200512289, NAICS Codes: 238320;
09E.9520.S - ACOUS. TREATMENTS	Accutrack Systems, LLC	Austell	GA	David Mezo	(770) 941-9009	david@accutracksystems.com	Bid	11/4/2021	under 100K	Green / Yellow	2,723,500	
09E.9520.S - ACOUS. TREATMENTS	The Paint Doctor, Inc	Atlanta	GA	Archie Deese	(404) 524-8283	archiedeese@atlantaspaintdoctor.com	Bid	11/4/2021	100K+	Yellow / Yellow	448,581	City of Atlanta Vendor ID #1297218616; SBE Cert #: 2017-0925BE; Other City of Atlanta Cert. #: NMSDC; GDOT Vendor ID #: 12908; NAICS Code(s): 238320; Other Certification: Certified as Participant in the (SBA) 8(a) Business Development Program;
10A.1000.S - SPECIALTIES	Accessories Unlimited Inc	Stone Mountain	GA	Drew Wolfe x8106	(404) 298-1779	dwolfe@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1000.S - SPECIALTIES	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	Bid	11/4/2021	100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
10A.1000.S - SPECIALTIES	Diversified Construction Specialties	Fortson	GA	David Shoemaker	(706) 505-1132	davidcshoemaker@gmail.com	No Bid		under 100K			
10A.1000.S - SPECIALTIES	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1000.S - SPECIALTIES	Joe Burton Company	Tucker	GA	Jonathon Negron x27	(770) 938-2730	jonnegron@jburtoncompany.com	No Bid		100K+	Yellow / Red	207,534	
10A.1000.S - SPECIALTIES	Mason Hall and Company	Mableton	GA	Ryan Redmond x209	(770) 432-1322	ryan@masonhall.com	No Bid		under 100K	Yellow /		
10A.1000.S - SPECIALTIES	NYCOM, INC	MIDLOTHIAN	VA	Chris Kanoy	(678) 287-8911	ckanoy@nycominc.com	Bid	11/4/2021	100K+	Yellow / Yellow	15,954,822	
10A.1000.S - SPECIALTIES	Pinnacle 33 Signage Solutions, LLC	Conyers	GA	Denise Butler	(404) 254-5537	denise.butler@pinnacle33.com	No Bid		under 100K			
10A.1002.M - MARKERBOARDS/TKBOARDS	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	Bid	11/4/2021	100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
10A.1002.M - MARKERBOARDS/TKBOARDS	CPE American LLC dba Claridge Southeast	Wetumpka	AL	Ashley Sides	(334) 514-4524	asides@claridgese.com	No Bid		under 100K			Other Certification: National Women Business Owners - RCSW11601;
10A.1004.M - TOILET COMPARTMENTS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1004.M - TOILET COMPARTMENTS	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1004.M - TOILET COMPARTMENTS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1008.M - WALL/CORNER GUARDS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	No Bid		100K+	Yellow / Yellow	5,687,164	
10A.1008.M - WALL/CORNER GUARDS	INPRO CORPORATION - Corporate Office	MUSKEGO	WI	Sam Hammer	(262) 679-9010	shammer@inprocorp.com	Bid	11/4/2021	under 100K			
10A.1008.M - WALL/CORNER GUARDS	Integrated Products Group, Inc.	Duluth	GA	Bob Phillips x103	(770) 418-0700	bob@integratedproductsgroup.com	No Bid		under 100K			
10A.1012.S - CANOPIES	Awnex Inc.	Ball Ground	GA	David May	(770) 704-7140	david.may@awnexinc.com	Bid	11/4/2021	Pending			
10A.1012.S - CANOPIES	Lanier Aluminum Products	Gainesville	GA	Estimating	(770) 536-7726	LanierAluminumProducts@gmail.com	No Bid		Pending			
10A.1012.S - CANOPIES	Mitchell Metals	Smyrna	GA	Shelley Zimmerman	(770) 431-7300	shelley@mitchellmetals.net	Bid	11/4/2021	100K+	Yellow / Yellow	2,400,000	
10A.1012.S - CANOPIES	Peachtree Protective Covers Inc.	Lithia Springs	GA	Logan Ashley	(770) 439-2120	lashley@peachtreecovers.com	Bid	11/4/2021	100K+	Green / Yellow	7,664,584	
10A.1012.S - CANOPIES	Whitco Roofing, Inc	Atlanta	GA	Maggie Rainey	(770) 644-0521	mrainey@whitcoroofing.com	No Bid		100K+	Yellow / Yellow	6,100,160	
10A.1014.S - SIGNAGE	APCO Graphics, Inc	Atlanta	GA	Sherry Beauvais	(404) 688-9000	sbeauvais@apcosigns.com	No Bid		100K+	Green / Yellow	7,091,000	

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10A.1014.S - SIGNAGE	BARTLETT PAIR	LOGANVILLE	GA	DEAN ROBINSON	(770) 554-3730	hdean.bartlettpair@gmail.com	No Bid		under 100K			
10A.1014.S - SIGNAGE	DENYSE SIGNS	DOUGLASVILLE	GA	Jason Wooten	(770) 942-0688	jwooten@denyseco.com	No Bid		under 100K			City of Atlanta Vendor ID ##2008-391; Other City of Atlanta Cert. #: WBENC 242611; GDOT Vendor ID #: 14834; NAICS Code(s): 237310;
10A.1014.S - SIGNAGE	HENRY GRAPHICS INC.	BUFORD	GA	Estimating	(770) 932-3222 (main)	bids@henrygraphics.com	No Bid		under 100K	Yellow / Yellow	615,697	
10A.1014.S - SIGNAGE	Parallax Digital Studios Inc	Kennesaw	GA	Tonya	(404) 307-6067	tonya@parallaxdigital.com	No Bid		under 100K			
10A.1014.S - SIGNAGE	Pinnacle 33 Signage Solutions, LLC	Conyers	GA	Denise Butler	(404) 254-5537	denise.butler@pinnacle33.com	No Bid		under 100K			
10A.1022.S - LOCKERS	Absolute Accessories and Partitions	Tucker	GA	Nick	(770) 449-8755	nick@absacc.com	No Bid		under 100K	Red / Red	104,400	
10A.1022.S - LOCKERS	Atlanta Bin & Shelving Corp	Norcross	GA	Mark Campbell	(404) 391-2423	mcampbell@atlantabin.com	No Bid		under 100K	Yellow /		
10A.1022.S - LOCKERS	Donco Inc.	Peachtree City	GA	Rob Watkins x07	(770) 461-1125	rob.watkins@doncoinc.com	Bid	11/4/2021	under 100K			
10A.1022.S - LOCKERS	Georgia Institutional Furnishings	Peachtree City	GA	Debbie Frizzell	(770) 486-6431	dfrizzell@gainst.com	No Bid		100K+	Red / Red	108,380	
10A.1022.S - LOCKERS	H E HODGE CO INC	CUMMING	GA	Greg Hodge	(406) 993-2121	ghodge@hehodge.com	No Bid		under 100K	Yellow / Yellow	1,980,008	
10A.1022.S - LOCKERS	Lockers by Design	Sumter	SC	Horace Lee Scott Jr	(803) 773-7226 (main)	hlscoottjr@lockersbydesign.net	No Bid		under 100K	Yellow / Yellow	434,073	
10A.1022.S - LOCKERS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1024.S - FIRE EXT.& CABINETS	Accessories Unlimited Inc	Stone Mountain	GA	David Cole	(770) 833-0224	david@accunl.com	Bid	11/4/2021	100K+	Yellow / Yellow	5,687,164	
10A.1024.S - FIRE EXT.& CABINETS	Mason Hall and Company	Mableton	GA	Barry Redmond x208	(770) 432-1322	redmond@masonhall.com	Bid	11/4/2021	under 100K	Yellow /		
10A.1030.S - OPERABLE PARTITIONS	Acousti Doors & Specialties, LLC	Kennesaw	GA	David Kirkland	(404) 355-1331	david@acoustids.com	No Bid		under 100K	Yellow / Yellow	1,610,842	
10A.1030.S - OPERABLE PARTITIONS	IN/EX Systems Inc.	Kennesaw	GA	Tom Daugherty	(678) 766-8201	tom@inexsystems.com	No Bid		under 100K	Yellow / Yellow	1,200,000	
10A.1030.S - OPERABLE PARTITIONS	South Eastern Acoustics, Inc.	Buford	GA	Amy Garrett	(678) 482-6448	amy@southea.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,415,595	
10A.1037.S - Demountable Partitions	Contract Business Interiors, Inc.	East Point	GA	Hassan Hagood	(404) 684-0800	hassan@contractbusinessinteriors.com	Bid	11/4/2021	under 100K	Red / Red	-555,817	City of Atlanta Vendor ID #800531; AABE Cert. #: 2012-263AABE; GDOT Vendor ID #: 12546; NAICS Code(s): 442110, 238390, 423210, 442291, 442210, 561740; Other Certification: GA Department of Transportation;
10A.1037.S - Demountable Partitions	Metro-Wall	Congers	NY	Ian MacGregor	(845) 282-9808	ian@metro-wall.com	Bid	11/4/2021	under 100K			
11A.1120.S - LAUNDRY EQUIP.	SOUTHEASTERN LAUNDRY EQUIPMENT SALES INC.	MARIETTA	GA	Jake Freeman	(404) 272-5985 (cell)	jake@selaundry.com	Bid	11/4/2021	under 100K	Yellow / Yellow	9,658,500	
11A.1128.S - PARK. CONTROL EQUIP	Access Security Parking Integrated Solutions (ASPIS)	Atlanta	GA	Allen Gulick	(404) 600-5298	alleng@aspisparking.com	No Bid		under 100K			
11A.1128.S - PARK. CONTROL EQUIP	CONTROLLED ACCESS INC.	MARIETTA	GA	JD Dodd	(770) 795-1919	jd.dodd@caisystems.com	No Bid		under 100K			
11A.1128.S - PARK. CONTROL EQUIP	ITR OF GEORGIA INC.	TUCKER	GA	PETE HOBBS	(404) 276-7286 (cell)	phobbs@itrps.com	No Bid		under 100K	Red / Red	-124,636	Other Certification: WBE 239521;
11A.1130.S - LOADING DOCK EQUIP.	Loading Dock Equipment Co, Inc.	Mechanicsville	VA	Wayne Overton	(804) 730-0955 (main)	wayne@loadingdockequip.com	No Bid		Pending			
11A.1130.S - LOADING DOCK EQUIP.	Loading Dock Supply LLC	Olympia	WA	Sales	(800) 741-1258 (main)	sales@loadingdocksupply.com	Bid	11/4/2021	Pending			
11A.1130.S - LOADING DOCK EQUIP.	Miner, Ltd.	San Antonio	TX	Jeremiah Gres	(407) 579-6070 (cell)	jeremiah.gress@minercorp.com	No Bid		under 100K			
11A.1130.S - LOADING DOCK EQUIP.	Overhead Door Co. of Atlanta, a DH Pace Co., Inc.	Peachtree Corners	GA	Gary Wright	(404) 872-3667	gary.wright@dhpac.com	Bid	11/4/2021	100K+	Green / Yellow	116,385,426	

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11A.1130.S - LOADING DOCK EQUIP.	SOUTHERN DOCK PRODUCTS	SUWANEE	GA	Kevin McCormick	(404) 275-0402	kevin.mccormick@southerndock.com	No Bid		under 100K			
11A.1130.S - LOADING DOCK EQUIP.	Translift Dock & Door LLC	Pelham	AL	Vernon Yawn	(205) 685-0600	vernon@transliftllc.com	No Bid		under 100K			
11A.1136.S - FOOD SERVICE EQUIP.	Edward Don & Company	Norcross	GA	Bill Watson	(770) 455-8844	watsonb@don.com	No Bid		under 100K		10,885,206	
11A.1136.S - FOOD SERVICE EQUIP.	Edward Don & Company	Norcross	GA	Bill Watson	(770) 455-8844	watsonb@don.com	No Bid		under 100K	Yellow /	10,885,206	
11A.1136.S - FOOD SERVICE EQUIP.	Norvell Fixture & Equipment Company	AUGUSTA	GA	Dana Caudill	(706) 855-7267	dana@norvellfixture.com	No Bid		under 100K	Yellow / Yellow	2,957,014	
11A.1136.S - FOOD SERVICE EQUIP.	The Boelter Companies, Inc.	Waukesha	WI	Russ Streett	(770) 767-5630	rstreett@boelter.com	Bid	11/4/2021	100K+	Yellow / Red	26,625,658	
11A.1136.S - FOOD SERVICE EQUIP.	TriMark Century Concepts, LLC	Peachtree Corners	GA	Andy Babb ext 5444	(615) 557-3528	andy.babb@trimarkusa.com	Bid	11/4/2021	under 100K			
11A.1138.S - RESIDENTIAL EQUIP.	Clayton Appliances, Inc.	Fayetteville	GA	Chris Flury	(770) 461-8331	fluryc0@yahoo.com	No Bid		under 100K			
11A.1146.S - MEDICAL EQUIP.	NYCOM, INC	MIDLOTHIAN	VA	Geoff Shealy	(678) 287-8922	gshealy@nycominc.com	Bid	11/4/2021	100K+	Yellow / Yellow	15,954,822	
11A.1146.S - MEDICAL EQUIP.	Olympus America Inc	Center Valley	PA	James Floyd	(800) 848-9024 (main)	james.floyd@olympus.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	Shor-line	Kansas City	KS	Mark Shea	(913) 281-1500 (main)	seterritory@shor-line.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	Snyder MFG. Co	Centennial	CO	Paul Floistad	(800) 756-0631 (main)	pfloistad@snydermfg.com	Bid	11/4/2021	Pending			
11A.1146.S - MEDICAL EQUIP.	STERIS CORPORATION	MENDON	OH	Sales Development Department	(440) 354-2600 (main)	SalesDevelopment@steris.com	Bid	11/4/2021	Pending			
12A.1220.S - MANUF. CASEWORK	Carolina Coops	Clifton Springs	NY	Sales	(919) 794-3989 (main)	sales@carolinacoops.com	Bid	11/4/2021	Pending			
12A.1220.S - MANUF. CASEWORK	Georgia Institutional Furnishings	Peachtree City	GA	Debbie Frizzell	(770) 486-6431	dfrizzell@gainst.com	No Bid		100K+	Red / Red	108,380	
12A.1230.S - WINDOW TREATMENTS	American Sun Control	Alpharetta	GA	Charis Riddick	(770) 476-8602	criddick@american-sun-control.com	No Bid		under 100K			Other Certification: WEBENC - Women Owned;
12A.1230.S - WINDOW TREATMENTS	Blinds & Beyond	Jacksonville	NC	Larry Green	(910) 353-3313	estimating@blindsbeyond.com	No Bid		under 100K			
12A.1230.S - WINDOW TREATMENTS	CDM Atlanta Inc. D/B/A Georgia Blind Co.	Tyrone	GA	Michael Lennon	(770) 487-6041	mjlennon@gablind.com	Bid	11/4/2021	under 100K			
12A.1230.S - WINDOW TREATMENTS	Contract Windoware	Chamblee	GA	Warren Fogel	(770) 729-3985	warren@contractwindoware.com	No Bid		under 100K	Yellow / Yellow	1,519,956	Other Certification: WBENC;
12A.1230.S - WINDOW TREATMENTS	DCO Inc dba DCO Commercial Window Treatments	Lawrenceville	GA	Sean Harrison	(919) 346-0073	sharrison@dcocf.com	No Bid		100K+	Yellow / Yellow	14,100,308	
12A.1230.S - WINDOW TREATMENTS	Elrods Custom Drapery Workroom, INC	ATLANTA	AB	Casey Elrod	(770) 457-1151 (main)	caseym.elrodsatl@gmail.com	No Bid		under 100K			
12A.1230.S - WINDOW TREATMENTS	Marietta Drapery & Window Coverings Co. Inc.	Marietta	GA	Scott Kisselburg	(770) 431-0183	estimating@mariettadrapery.com	No Bid		100K+	Green / Yellow	11,249,656	
12A.1240.S - FURNITURE/ACCESSRS.	Corporate Environments of Georgia, Inc.	Atlanta	GA	Susan Wilson	(404) 679-8931	swilson@ceofga.com	No Bid		100K+	Yellow / Yellow	18,214,980	City of Atlanta Vendor ID #A887600-01; Other Certification: WBENC (Woman's Business Enterprise National Council) woman owned business;
13A.1325.S - PRE-ENGD.STRUCTURES	MD Barnmaster	Ontario	CA	Pamela Watson		jvandoorn@mdbarnmaster.com	Bid	11/4/2021	Pending			
15A.1500.S - PLUMBING	Art Plumbing Company	Smyrna	GA	Jason McDaniel	(770) 433-3232	jason@artplumbing.com	No Bid		under 100K			
15A.1500.S - PLUMBING	Art Plumbing Company	Smyrna	GA	Jason McDaniel	(770) 433-3232	jason@artplumbing.com	No Bid		under 100K	Yellow /		
15A.1500.S - PLUMBING	FitzGerald & Sons Plumbing Co	Peachtree City	GA	John Zeppa	(770) 487-8714	j.zeppa@fitzplumb.com	Bid	11/4/2021	100K+	Green / Yellow	6,117,476	

Bidder List - 11/04/2021

Fulton County Animal Services Facility

Trade	Company Name	City	State	Main Contact	Main Contact Phone	Main Contact Email	Bid Status	Bid Date	Pre-qual Status	SDI Status	Project Capacity	Disadvantaged Certification
15A.1500.S - PLUMBING	McKenney's, Inc.	Atlanta	GA	ITBs	(404) 624-8600 (main)	Preconstruction@mckenneys.com.	No Bid		100K+	Green / Green	162,132,000	
15A.1500.S - PLUMBING	Polk County Public Service, Inc.	Cedartown	GA	Danny Smith	(770) 748-9038	danny@pcpscompany.com	Bid	11/4/2021	under 100K	Yellow / Yellow	4,485,966	
15A.1500.S - PLUMBING	RAW Plumbing and HVAC Services LLC	Douglasville	GA	Demetric Holland	(678) 571-3826	RawplumbingDH@gmail.com	Bid	11/4/2021	100K+	Red / Red	-66,358	City of Atlanta Vendor ID #1200885; AABE Cert. #: 2015-220AABE; GDOT Vendor ID #: 13472; NAICS Code(s): 238220; Other Certification: MBE # 2015-0512 DBE# 13472;
15A.1500.S - PLUMBING	Tebarco Mechanical Corporation	Alpharetta	GA	Tony Adams	(770) 475-5552	tadams@tebarco.com	Bid	11/4/2021	100K+	Green / Yellow	14,604,007	
15B.1525.S - HVAC SYSTEMS	5 Seasons Mechanical, LLC	Peachtree Corners	GA	Mohamed Zouari	(770) 727-5000	bids@fiveseasonsmechanical.com	Bid	11/4/2021	under 100K	Yellow / Yellow	1,536,768	City of Atlanta Vendor ID #1401053; SBE Cert #: 2015-1335BE; Other City of Atlanta Cert. #: MBE, DBE, LSBE, 8(a); GDOT Vendor ID #: 13196; NAICS Code(s): 238220, 561790; Other Certification: MBE/NAICS Code: 238220/ Certificate AT02689. DBE Vendor Id is 131196, 8A, LSBE, SBE;
15B.1525.S - HVAC SYSTEMS	Conditioned Air Systems Inc.	Gainesville	GA	Estimating	(770) 536-7509	bids@conditionedairsystems.com	No Bid		100K+	Yellow / Yellow	11,085,538	
15B.1525.S - HVAC SYSTEMS	Ivey Mechanical Company LLC (IV)	Tucker	GA	Stuart Scruggs	(404) 297-6515	stuart.scruggs@iveymechanical.com	No Bid		100K+	Green / Yellow	43,448,602	
15B.1525.S - HVAC SYSTEMS	Lanier HVAC Services LLC	Gainesville	GA	Matt Magnus	(678) 943-1351	Matt@Lanier-HVAC.net	Bid	11/4/2021	under 100K	Yellow / Yellow	4,614,778	
15B.1525.S - HVAC SYSTEMS	McKenney's, Inc.	Atlanta	GA	ITBs	(404) 624-8600 (main)	Preconstruction@mckenneys.com.	No Bid		100K+	Green / Green	162,132,000	
15B.1525.S - HVAC SYSTEMS	Paulson-Cheek Mechanical, Inc.	Norcross	GA	Taylor Cheek	(770) 375-1972 (cell)	tcheek@paulsoncheek.com	Bid	11/4/2021	100K+	Green / Yellow	15,499,103	
15B.1525.S - HVAC SYSTEMS	Shumate Mechanical LLC	Duluth	GA	Michael Matia	(678) 584-0880	mmatia@shumatemech.com	Bid	11/4/2021	100K+	Yellow / Yellow	3,624,680	City of Atlanta Vendor ID #1008589; FBE Cert. #: 2015-083FBE; Other Certification: WBENC: WBE Certificate 2005111240 exp 09/30/21;
15B.1525.S - HVAC SYSTEMS	Tebarco Mechanical Corporation	Alpharetta	GA	Tony Adams	(770) 475-5552	tadams@tebarco.com	No Bid		100K+	Green / Yellow	14,604,007	
15C.1560.S - FIRE PROTECTION	Alliance Fire Protection Services, Inc.	Loganville	GA	Janice Walters	(770) 554-5004	sales@alliancefire.com	No Bid		under 100K	Yellow / Yellow	2,906,006	City of Atlanta Vendor ID #1; FBE Cert. #: 2014-126FBE; Other City of Atlanta Cert. #: 2005110148-WBENC; Fulton Co. Vendor ID #: VS00000-21030;
15C.1560.S - FIRE PROTECTION	Amber Fire Protection Inc.	Lawrenceville	GA	Robert Hozman	(404) 358-4352 (cell)	robert@amberfireprotection.com	No Bid		100K+	Yellow / Yellow	2,050,000	
15C.1560.S - FIRE PROTECTION	Century Fire Protection LLC - GA	Duluth	GA	Chris Corders	(770) 945-2330	ccorders@centuryfp.com	Bid	11/4/2021	100K+	Green / Yellow	45,832,296	
15C.1560.S - FIRE PROTECTION	Fire Sprinkler of Atlanta, LLC	Norcross	GA	Aaron Schneider	(404) 934-0222 (cell)	aarons@firesprinklerofatl.com	Bid	11/4/2021	100K+	Yellow / Red	124,736	
15C.1560.S - FIRE PROTECTION	Gainesville Fire Protection	Gainesville	GA	Jonathan Boldt	(770) 534-3575	jonathan@gainesvillefire.com	Bid	11/4/2021	100K+	Yellow / Yellow	1,650,422	
15C.1560.S - FIRE PROTECTION	Palmetto Automatic Sprinkler Co., Inc.	Covington	GA	Rick Mill	(678) 342-9499	rmill@pasco-inc.com	No Bid		100K+	Yellow / Yellow	18,185,019	
16A.1600.S - ELECTRICAL SYSTEMS	5 Points Electrical	Norcross	GA	Samuel Bushay	(404) 452-1570 (cell)	sbushay@5pointselectrical.com	Bid	11/4/2021	100K+	Yellow / Yellow	992,586	Other Certification: GMSDC;
16A.1600.S - ELECTRICAL SYSTEMS	All-State Electrical Contractors, LLC	Macon	GA	Jacob Patton	(478) 788-7486	jpatton@allstateelec.com	Bid	11/4/2021	100K+	Green / Yellow	13,517,086	
16A.1600.S - ELECTRICAL SYSTEMS	Dean Electric Company, Inc.	Fairburn	GA	David Dean	(404) 799-1234	ddean@deanelectricco.com	No Bid		under 100K	Yellow / Yellow	2,864,108	
16A.1600.S - ELECTRICAL SYSTEMS	Dixie Electric Company	Cumming	GA	Brian Rusie	(770) 663-8440	brusie@dixieelectric.net	Bid	11/4/2021	100K+	Green / Yellow	3,452,010	City of Atlanta Vendor ID #903362; FBE Cert. #: 2015-084FBE; GDOT Vendor ID #: 2DI534; NAICS Code(s): 238210;
16A.1600.S - ELECTRICAL SYSTEMS	J & I Cordon Electric LLC	Lawrenceville	GA	Joshua Christopher	(404) 980-4965	josh@cordonelectric.com	Bid	11/4/2021	100K+	Red / Red	-1,443,555	City of Atlanta Vendor ID #2101130; HABE Cert. #: 2021-100HABE; SBE Cert #: 2021-105SBE; Other City of Atlanta Cert. #: MBE-AT16032; GDOT Vendor ID #: 17259; NAICS Code(s): 238210;
16A.1600.S - ELECTRICAL SYSTEMS	Mr Dee's Electric Service LLC	Rex	GA	Dekkerri Lunsford	(770) 500-4469	dekkerri@mrdeeselectric.com	Bid	11/4/2021	under 100K			City of Atlanta Vendor ID #14640041; AABE Cert. #: 2013-403AABE; GDOT Vendor ID #: 2013-1209;
16A.1600.S - ELECTRICAL SYSTEMS	Southern Lighting Source	Atlanta	GA	Cody Nichols	(770) 242-4000	cnichols@southernlightingsource.com	No Bid		under 100K			
16A.1600.S - ELECTRICAL SYSTEMS	Whitehead Electric Company	Mableton	GA	Bill Plotner	(678) 553-1308	bplotner@whiteheadelectric.com	Bid	11/4/2021	100K+	Green / Yellow	9,622,962	

Section 10 – Disclosure Form and Questionnaire

It is the policy of Fulton County to review the history of litigation of each Proposer that includes bankruptcy history, insolvency history, civil and criminal proceedings, judgments and termination for cause in order to determine whether a firm’s business practices, legal practices and overall reputation in the industry is one that would be acceptable to perform work for Fulton County. The Disclosure Form and Questionnaire is provided in Section 5, Proposal Forms, Form C.

Section 11 – Safety Qualifications

1. List your firm’s Incidence Rate for injuries and illnesses and numbered lost workdays for the three most recent years.

	Year	Incidence Rates	Lost Workdays	Cumulative hours worked
2018	2016	0.56	0	718,844
2019	2017	0	0	534,787
2020	2018	0	0	499,730

2. List your firm’s Insurance Experience Modification Factors/Rates for the three most recent years.

	Year	Insurance Modification Factors/Rates
2018	2016	0.87
2019	2017	0.74
2020	2018	0.76

3. Number of Injuries and Illnesses: (From the prior year OSHA 200/300 Log)

Number of lost workday cases	0
Number of restricted workday cases	0
Number of cases with medical attention only	2
Number of fatalities	0

4. Tell us about the following, and provide a brief example/explanation of each:

	Yes	No
Do you have a written Safety and Health Program?	X	
Do you have an Orientation Program for new hires?	X	
Do you have a Hazard Communication Program?	X	
Do you hold Toolbox safety meetings?	X	
Do you conduct and document project safety and health audits/inspections?	X	
In the previous three (3) years, has your firm been cited for serious state or federal safety and health violations? (As defined by OSHA). If yes, please provide a detailed explanation.		X

EXHIBIT I

CONTRACT SCHEDULE

EXHIBIT |
CONTRACT SCHEDULE

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
Fulton County Animal Services Facility						Fulton County Animal Services																					
PRE AWARD						PRE AWARD																					
PA1060	GMP Approved (BOC Meeting)	0d	0d		15-Dec-21	◆ GMP Approved (BOC Meeting)																					
PA1010	Notice to Proceed	0d	0d		02-Jan-22	◆ Notice to Proceed																					
PA1120	Start Construction	0d	0d	28-Apr-22		◆ Start Construction																					
DESIGN/PRICING						DESIGN/PRICING																					
CONSTRUCTION DOCUMENTS						CONSTRUCTION DOCUMENTS																					
FINAL CONSTRUCTION DOCUMENTS						FINAL CONSTRUCTION DOCUMENTS																					
CD-6660	Owner Review & Approval of GMP	10d	10d	30-Nov-21	13-Dec-21	□ Owner Review & Approval of GMP																					
PERMITTING						PERMITTING																					
CD-6650	Land Disturbance Permit	60d	0d	17-Sep-21 A	30-Nov-21	□ Land Disturbance Permit																					
CD-6680	EPD Approval	25d	25d	30-Nov-21	05-Jan-22	□ EPD Approval																					
CD-6640	Building Permit	40d	40d	30-Nov-21	27-Jan-22	□ Building Permit																					
A2000	Health Department Permit	45d	45d	30-Nov-21	03-Feb-22	□ Health Department Permit																					
A2160	Fulton Industrial Lane Closure Permit (Utility Tie-I...	50d	50d	10-Jan-22	21-Mar-22	□ Fulton Industrial Lane Closure Permit (Utility Tie-In) - COA &GDOT																					
MILESTONES						MILESTONES																					
CONSTRUCTION MILESTONES						CONSTRUCTION MILESTONES																					
MI1150	Mobilization	0d	0d	28-Apr-22		◆ Mobilization																					
MI1130	Building Pad Ready	0d	0d		29-Jul-22	◆ Building Pad Ready																					
MI1080	Permanent Power	0d	0d		22-Feb-23	◆ Permanent Power																					
MI1040	Final Building Inspection	0d	0d		29-Jun-23	◆ Final Building Inspection																					
MI1050	Certificate of Occupancy	0d	0d		30-Jun-23	◆ Certificate of Occupancy																					
MI1030	Contract Substantial Completion	0d	0d		30-Jun-23	◆ Contract Substantial Completion																					
MI1200	Calculated Substantial Completion	0d	0d		30-Jun-23	◆ Calculated Substantial Completion																					
MI1140	Final Completion	0d	0d		09-Aug-23	◆ Final Completion																					
MI1070	Punchlist Complete	0d	0d		09-Aug-23	◆ Punchlist Complete																					
Top Out						Top Out																					
MI1170	Top Out - Sector A & B	0d	0d		10-Feb-23	◆ Top Out - Sector A & B																					
MI1120	Top Out - Sector C & D	0d	0d		12-Apr-23	◆ Top Out - Sector C & D																					
Roof Dry-In						Roof Dry-In																					
MI1180	Roof Dry-In - Sector A &B	0d	0d		07-Mar-23	◆ Roof Dry-In - Sector A &B																					
MI1110	Roof Dry In - Sector C & D	0d	0d		26-Apr-23	◆ Roof Dry In - Sector C & D																					
Building Dry-In						Building Dry-In																					
MI1190	Building Dry In - Sector A & B	0d	0d		14-Mar-23	◆ Building Dry In - Sector A & B																					
MI1100	Building Dry In - Sector C & D	0d	0d		26-Apr-23	◆ Building Dry In - Sector C & D																					
Conditioned Air						Conditioned Air																					
MI1090	Conditioned Air - Sector A & B	0d	0d		08-Mar-23	◆ Conditioned Air - Sector A & B																					
MI1160	Conditioned Air - Sector C & D	0d	0d		02-May-23	◆ Conditioned Air - Sector C & D																					
OWNER MILESTONES						OWNER MILESTONES																					
CD-6670	FAA Approval	90d	90d	15-Nov-21 A	07-Apr-22	□ FAA Approval																					
OM1180	Water Meter Install	5d	5d	29-Aug-22	02-Sep-22	□ Water Meter Install																					
OM1160	Transformer Set	0d	0d		20-Sep-22	◆ Transformer Set																					
OM1170	Gas Meter Installed	0d	0d		02-Feb-23	◆ Gas Meter Installed																					

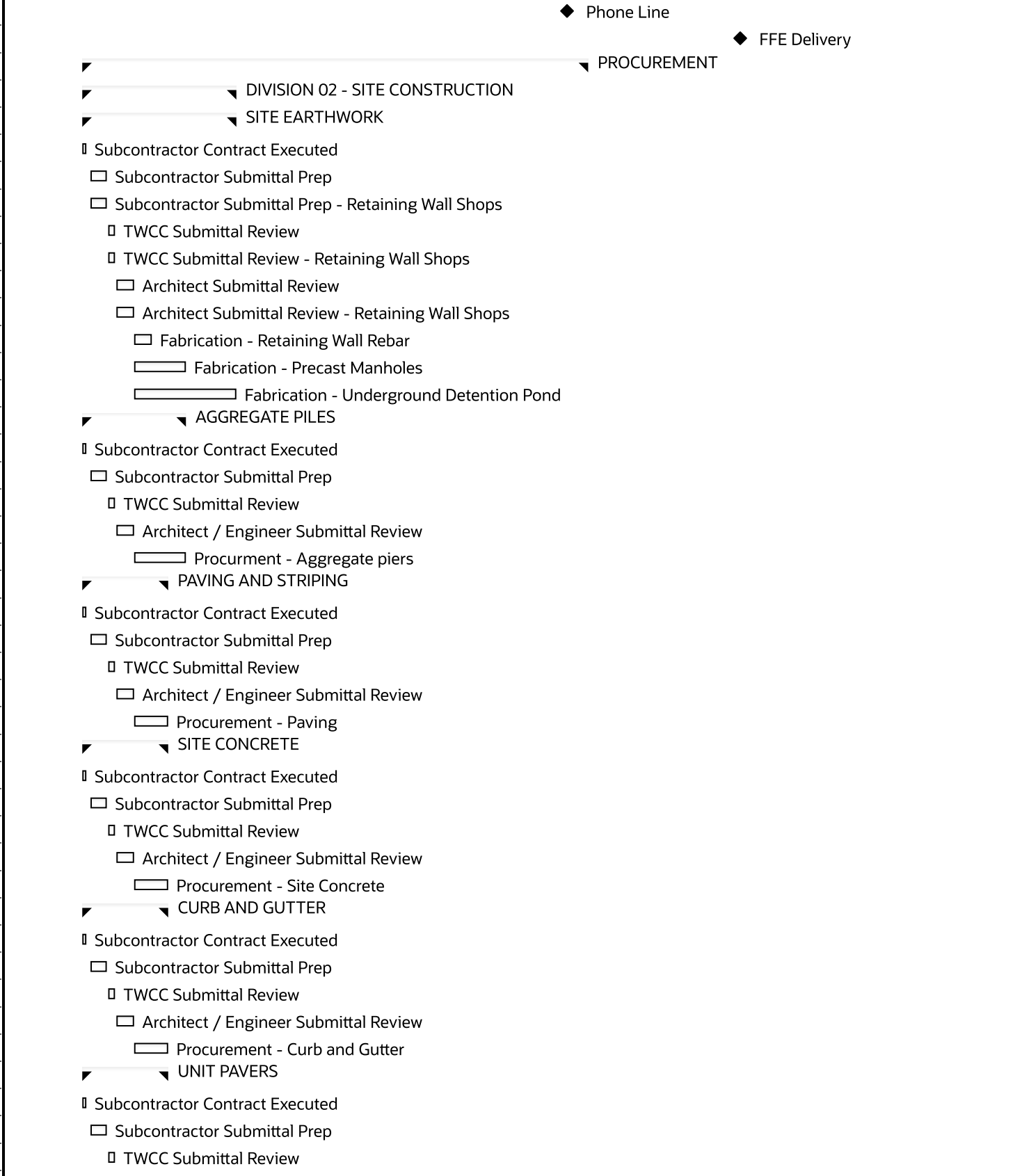
Current ◆ Milestones
 Progress ▼ Summary
 Critical

DATA DATE: 30-Nov-21
 CURRENT DATE: 30-Nov-21
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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024											
						Q4		Q1			Q2		Q3			Q4		Q1			Q2		Q3		Q4		Q1		
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct
OM1140	Phone Line	0d	0d		08-Feb-23																								
OM1150	FFE Delivery	0d	0d		30-Jun-23																								
PROCUREMENT		294d	294d	03-Jan-22	24-Feb-23																								
DIVISION 02 - SITE CONSTRUCTION		90d	90d	03-Jan-22	09-May-22																								
SITE EARTHWORK		90d	90d	03-Jan-22	09-May-22																								
PROC1900	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC1840	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2360	Subcontractor Submittal Prep - Retaining Wall Shops	10d	10d	10-Jan-22	24-Jan-22																								
PROC1850	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								
PROC2370	TWCC Submittal Review - Retaining Wall Shops	5d	5d	25-Jan-22	31-Jan-22																								
PROC1860	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22																								
PROC2380	Architect Submittal Review - Retaining Wall Shops	10d	10d	01-Feb-22	14-Feb-22																								
PROC2390	Fabrication - Retaining Wall Rebar	10d	10d	15-Feb-22	28-Feb-22																								
PROC2350	Fabrication - Precast Manholes	30d	30d	15-Feb-22	28-Mar-22																								
PROC1870	Fabrication - Underground Detention Pond	60d	60d	15-Feb-22	09-May-22																								
AGGREGATE PILES		60d	60d	03-Jan-22	28-Mar-22																								
PROC2700	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC2710	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2730	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								
PROC2750	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																								
PROC2770	Procurment - Aggregate piers	30d	30d	15-Feb-22	28-Mar-22																								
PAVING AND STRIPING		50d	50d	03-Jan-22	14-Mar-22																								
PROC2780	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC2790	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2800	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								
PROC2810	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																								
PROC2820	Procurement - Paving	20d	20d	15-Feb-22	14-Mar-22																								
SITE CONCRETE		50d	50d	03-Jan-22	14-Mar-22																								
PROC2830	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC2840	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2850	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								
PROC2860	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																								
PROC2870	Procurement - Site Concrete	20d	20d	15-Feb-22	14-Mar-22																								
CURB AND GUTTER		50d	50d	03-Jan-22	14-Mar-22																								
PROC2880	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC2890	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2900	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								
PROC2910	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22																								
PROC2920	Procurement - Curb and Gutter	20d	20d	15-Feb-22	14-Mar-22																								
UNIT PAVERS		50d	50d	03-Jan-22	14-Mar-22																								
PROC2930	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22																								
PROC2940	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22																								
PROC2950	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22																								



Current
 Progress
 Critical
 Milestones
 Summary

DATA DATE: 30-Nov-21
 CURRENT DATE: 30-Nov-21
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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024															
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1									
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb
PROC2960	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																											
PROC2970	Procurement - Unit Pavers	20d	20d	15-Feb-22	14-Mar-22	<input type="checkbox"/> Procurement - Unit Pavers																											
FENCES AND GATES		70d	70d	03-Jan-22	11-Apr-22	▾ <input type="checkbox"/> FENCES AND GATES																											
PROC2980	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC2990	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC3000	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC3010	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																											
PROC3020	Fabrication - Fencing and Gates	40d	40d	15-Feb-22	11-Apr-22	<input type="checkbox"/> Fabrication - Fencing and Gates																											
LANDSCAPING		50d	50d	03-Jan-22	14-Mar-22	▾ <input type="checkbox"/> LANDSCAPING																											
PROC3030	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC3040	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC3050	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC3060	Architect / Engineer Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect / Engineer Submittal Review																											
PROC3070	Procurement - Landscaping	20d	20d	15-Feb-22	14-Mar-22	<input type="checkbox"/> Procurement - Landscaping																											
DIVISION 03 - CONCRETE		70d	70d	03-Jan-22	11-Apr-22	▾ <input type="checkbox"/> DIVISION 03 - CONCRETE																											
PROC1910	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC1120	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC1130	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC1140	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	<input type="checkbox"/> Architect Submittal Review																											
PROC1150	Rebar Fabrication	30d	30d	01-Mar-22	11-Apr-22	<input type="checkbox"/> Rebar Fabrication																											
DIVISION 04 - MASONRY		110d	110d	03-Jan-22	07-Jun-22	▾ <input type="checkbox"/> DIVISION 04 - MASONRY																											
PROC1920	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC1160	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC1170	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC1180	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<input type="checkbox"/> Architect Submittal Review																											
PROC1190	Fabrication - 16 Weeks for Ground Face 8 for Reg	80d	80d	15-Feb-22	07-Jun-22	<input type="checkbox"/> Fabrication - 16 Weeks for Ground Face 8 for Reg																											
DIVISION 05 - STEEL		226d	226d	03-Jan-22	18-Nov-22	▾ <input type="checkbox"/> DIVISION 05 - STEEL																											
PROC1930	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC1200	Subcontractor Submittal Prep	25d	25d	10-Jan-22	14-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC1210	TWCC Submittal Review	5d	5d	15-Feb-22	21-Feb-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC1220	Architect Submittal Review	10d	10d	22-Feb-22	07-Mar-22	<input type="checkbox"/> Architect Submittal Review																											
PROC1880	Redetailing	10d	10d	08-Mar-22	21-Mar-22	<input type="checkbox"/> Redetailing																											
PROC1570	Anchor Bolt Fabrication	20d	20d	08-Mar-22	04-Apr-22	<input type="checkbox"/> Anchor Bolt Fabrication																											
PROC1560	Steel Fabrication	60d	60d	22-Mar-22	14-Jun-22	<input type="checkbox"/> Steel Fabrication																											
PROC1230	Steel Joist Fabrication	170d	170d	22-Mar-22	18-Nov-22	<input type="checkbox"/> Steel Joist Fabrication																											
DIVISION 06 - WOOD, PLASTICS & COMPOSITES		90d	90d	03-Jan-22	09-May-22	▾ <input type="checkbox"/> DIVISION 06 - WOOD, PLASTICS & COMPOSITES																											
PROC1940	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<input checked="" type="checkbox"/> Subcontractor Contract Executed																											
PROC1240	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	<input type="checkbox"/> Subcontractor Submittal Prep																											
PROC1250	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	<input type="checkbox"/> TWCC Submittal Review																											
PROC1260	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	<input type="checkbox"/> Architect Submittal Review																											
PROC2270	Fabrication - Quartz 6 wks	30d	30d	01-Mar-22	11-Apr-22	<input type="checkbox"/> Fabrication - Quartz 6 wks																											
PROC1270	Fabrication - Millwork - 10 wks	50d	50d	01-Mar-22	09-May-22	<input type="checkbox"/> Fabrication - Millwork - 10 wks																											
DIVISION 07 - THERMAL & MOISTURE PROTECTION		294d	294d	03-Jan-22	24-Feb-23	▾ <input type="checkbox"/> DIVISION 07 - THERMAL & MOISTURE PROTECTION																											

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4					
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
ROOFING - PVC						ROOFING - PVC																					
PROC1950	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC1280	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC1290	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC1300	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2250	Fabrication - Coping 8 Weeks	40d	40d	15-Feb-22	11-Apr-22	▢ Fabrication - Coping 8 Weeks																					
PROC2240	Fabrication - TPO & Fasteners - 26 Weeks	130d	130d	15-Feb-22	18-Aug-22	▢ Fabrication - TPO & Fasteners - 26 Weeks																					
PROC1310	Fabrication - Poly Insulation 52 Weeks	260d	260d	15-Feb-22	24-Feb-23	▢ Fabrication - Poly Insulation 52 Weeks																					
WATERPROOFING						WATERPROOFING																					
PROC2400	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2410	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC2420	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC2430	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2440	Procurment - Waterproofing	20d	20d	15-Feb-22	14-Mar-22	▢ Procurment - Waterproofing																					
PROC2280	Fabrication - Expansion Joints	42d	42d	15-Feb-22	13-Apr-22	▢ Fabrication - Expansion Joints																					
METAL ROOF AND WALL PANELS						METAL ROOF AND WALL PANELS																					
PROC2530	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2540	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▢ Subcontractor Submittal Prep																					
PROC2550	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▢ TWCC Submittal Review																					
PROC2560	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▢ Architect Submittal Review																					
PROC2570	Fabrication - Metal Panels	42d	42d	15-Feb-22	13-Apr-22	▢ Fabrication - Metal Panels																					
DIVISION 08 - OPENINGS						DIVISION 08 - OPENINGS																					
GLASS AND GLAZING						GLASS AND GLAZING																					
PROC2450	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2460	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC2470	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC2480	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review																					
PROC1350	Fabrication - Storefront and Curtainwall	112d	112d	01-Mar-22	08-Aug-22	▢ Fabrication - Storefront and Curtainwall																					
PROC3080	Fabrication - Glass	112d	112d	01-Mar-22	08-Aug-22	▢ Fabrication - Glass																					
DOORS, FRAMES AND HARDWARE						DOORS, FRAMES AND HARDWARE																					
PROC1960	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC1320	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC1330	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC1340	Architect Submittal Review - Doors and Hardware	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review - Doors and Hardware																					
PROC2330	Architect Submittal Review - Frames	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review - Frames																					
PROC2300	Fabrication - Doors and Hardware	80d	80d	01-Mar-22	22-Jun-22	▢ Fabrication - Doors and Hardware																					
PROC2340	Fabrication - Frames	80d	80d	01-Mar-22	22-Jun-22	▢ Fabrication - Frames																					
OVERHEAD COILING DOORS						OVERHEAD COILING DOORS																					
PROC2490	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▮ Subcontractor Contract Executed																					
PROC2500	Subcontractor Submittal Prep	20d	20d	10-Jan-22	07-Feb-22	▢ Subcontractor Submittal Prep																					
PROC2510	TWCC Submittal Review	5d	5d	08-Feb-22	14-Feb-22	▢ TWCC Submittal Review																					
PROC2520	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	▢ Architect Submittal Review																					
PROC2260	Fabrication - OH Doors - 30 Weeks	150d	150d	01-Mar-22	30-Sep-22	▢ Fabrication - OH Doors - 30 Weeks																					

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CONSTRUCTION SCHEDULE
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ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1			Q2		Q3			Q4		Q1			Q2		Q3		Q4		Q1
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
DIVISION 09 - FINISHES						▼ DIVISION 09 - FINISHES																					
PROC1970	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1360	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1370	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1380	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
DRYWALL AND ACT						▼ DRYWALL AND ACT																					
PROC2310	Fabrication - Studs 4 wks, ACT 8 wks	52d	52d	15-Feb-22	27-Apr-22	▣ Fabrication - Studs 4 wks, ACT 8 wks																					
TILE, FLOORING AND BASE						▼ TILE, FLOORING AND BASE																					
PROC2320	Fabrication - Tile and Flooring	84d	84d	15-Feb-22	13-Jun-22	▣ Fabrication - Tile and Flooring																					
PAINT AND SPECIAL COATINGS						▼ PAINT AND SPECIAL COATINGS																					
PROC1390	Fabrication - Paint 8 wks, Acoustic Panels 8 wks	52d	52d	15-Feb-22	27-Apr-22	▣ Fabrication - Paint 8 wks, Acoustic Panels 8 wks																					
DIVISION 10 - SPECIALTIES						▼ DIVISION 10 - SPECIALTIES																					
PROC1980	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1400	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1410	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1420	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC1430	Fabrication - Vet Specialties - Nycom - 30 wks	150d	150d	15-Feb-22	16-Sep-22	▣ Fabrication - Vet Specialties - Nycom - 30 wks																					
TOILET PARTITIONS, ACCESSORIES AND FECS						▼ TOILET PARTITIONS, ACCESSORIES AND FECS																					
PROC2580	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC2590	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC2600	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC2610	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC2640	Fabrication - Fire Extinguishers and Cabinets	30d	30d	15-Feb-22	28-Mar-22	▣ Fabrication - Fire Extinguishers and Cabinets																					
PROC2630	Fabrication - Toilet Accessories	60d	60d	15-Feb-22	09-May-22	▣ Fabrication - Toilet Accessories																					
PROC2620	Fabrication - Toilet Partitions	60d	60d	15-Feb-22	09-May-22	▣ Fabrication - Toilet Partitions																					
WALL PROTECTION AND CORNER GUARDS						▼ WALL PROTECTION AND CORNER GUARDS																					
PROC2650	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC2660	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC2670	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC2680	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC2690	Procurement - Wall protection and corner guards	60d	60d	15-Feb-22	09-May-22	▣ Procurement - Wall protection and corner guards																					
DIVISION 11 - EQUIPMENT						▼ DIVISION 11 - EQUIPMENT																					
PROC1990	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1440	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1450	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1460	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					
PROC1470	Fabrication	30d	30d	15-Feb-22	28-Mar-22	▣ Fabrication																					
PROC1520	Fabrication - Freezer	70d	70d	15-Feb-22	23-May-22	▣ Fabrication - Freezer																					
DIVISION 12 - FURNISHING						▼ DIVISION 12 - FURNISHING																					
PROC2000	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	▣ Subcontractor Contract Executed																					
PROC1480	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	▣ Subcontractor Submittal Prep																					
PROC1490	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	▣ TWCC Submittal Review																					
PROC1500	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	▣ Architect Submittal Review																					

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



LATHAM
11/30/2021

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024															
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1									
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb
PROC1510	Fabrication	30d	30d	15-Feb-22	28-Mar-22	<div style="text-align: center;"> Fabrication </div>																											
DIVISION 13 - PRE-FAB BARN		60d	60d	03-Jan-22	28-Mar-22	<div style="text-align: center;"> DIVISION 13 - PRE-FAB BARN </div>																											
PROC2150	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<div style="text-align: center;"> Subcontractor Contract Executed </div>																											
PROC2160	Subcontractor Submittal Prep	10d	10d	10-Jan-22	24-Jan-22	<div style="text-align: center;"> Subcontractor Submittal Prep </div>																											
PROC2170	TWCC Submittal Review	5d	5d	25-Jan-22	31-Jan-22	<div style="text-align: center;"> TWCC Submittal Review </div>																											
PROC2180	Architect Submittal Review	10d	10d	01-Feb-22	14-Feb-22	<div style="text-align: center;"> Architect Submittal Review </div>																											
PROC2190	Fabrication	30d	30d	15-Feb-22	28-Mar-22	<div style="text-align: center;"> Fabrication </div>																											
DIVISION 21- FIRE PROTECTION		75d	75d	03-Jan-22	18-Apr-22	<div style="text-align: center;"> DIVISION 21- FIRE PROTECTION </div>																											
PROC2030	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<div style="text-align: center;"> Subcontractor Contract Executed </div>																											
PROC1600	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22	<div style="text-align: center;"> Subcontractor Submittal Prep </div>																											
PROC1610	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22	<div style="text-align: center;"> TWCC Submittal Review </div>																											
PROC1620	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22	<div style="text-align: center;"> Architect Submittal Review </div>																											
PROC2090	Fire Marshall Review	20d	20d	08-Feb-22	07-Mar-22	<div style="text-align: center;"> Fire Marshall Review </div>																											
PROC1630	Fabrication	30d	30d	08-Mar-22	18-Apr-22	<div style="text-align: center;"> Fabrication </div>																											
DIVISION 22 - PLUMBING		91d	91d	03-Jan-22	10-May-22	<div style="text-align: center;"> DIVISION 22 - PLUMBING </div>																											
PROC2040	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<div style="text-align: center;"> Subcontractor Contract Executed </div>																											
PROC1640	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22	<div style="text-align: center;"> Subcontractor Submittal Prep </div>																											
PROC1650	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22	<div style="text-align: center;"> TWCC Submittal Review </div>																											
PROC1660	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22	<div style="text-align: center;"> Architect Submittal Review </div>																											
PROC1670	Fabrication and Fixtures	56d	56d	22-Feb-22	10-May-22	<div style="text-align: center;"> Fabrication and Fixtures </div>																											
DIVISION 23 - MECHANICAL		156d	156d	03-Jan-22	11-Aug-22	<div style="text-align: center;"> DIVISION 23 - MECHANICAL </div>																											
PROC2050	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<div style="text-align: center;"> Subcontractor Contract Executed </div>																											
PROC1680	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22	<div style="text-align: center;"> Subcontractor Submittal Prep </div>																											
PROC1690	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22	<div style="text-align: center;"> TWCC Submittal Review </div>																											
PROC1700	Architect Submittal Review	10d	10d	15-Feb-22	28-Feb-22	<div style="text-align: center;"> Architect Submittal Review </div>																											
PROC3100	Equipment - VFDs, VAVs, Fans, Louvers, Heater, S...	30d	30d	01-Mar-22	11-Apr-22	<div style="text-align: center;"> Equipment - VFDs, VAVs, Fans, Louvers, Heater, Split systems etc. </div>																											
PROC1710	Fabrication - Ductwork	70d	70d	01-Mar-22	07-Jun-22	<div style="text-align: center;"> Fabrication - Ductwork </div>																											
PROC3090	Equipment - Multi-stack Chiller	100d	100d	01-Mar-22	21-Jul-22	<div style="text-align: center;"> Equipment - Multi-stack Chiller </div>																											
PROC2230	Equipment - AHUs, DOAS and ERVs	115d	115d	01-Mar-22	11-Aug-22	<div style="text-align: center;"> Equipment - AHUs, DOAS and ERVs </div>																											
DIVISION 26 - ELECTRICAL		267d	267d	03-Jan-22	18-Jan-23	<div style="text-align: center;"> DIVISION 26 - ELECTRICAL </div>																											
PROC2060	Subcontractor Contract Executed	5d	5d	03-Jan-22	07-Jan-22	<div style="text-align: center;"> Subcontractor Contract Executed </div>																											
PROC1720	Subcontractor Submittal Prep	15d	15d	10-Jan-22	31-Jan-22	<div style="text-align: center;"> Subcontractor Submittal Prep </div>																											
PROC1730	TWCC Submittal Review	5d	5d	01-Feb-22	07-Feb-22	<div style="text-align: center;"> TWCC Submittal Review </div>																											
PROC1740	Architect Submittal Review	10d	10d	08-Feb-22	21-Feb-22	<div style="text-align: center;"> Architect Submittal Review </div>																											
PROC2220	Lighting	70d	70d	22-Feb-22	31-May-22	<div style="text-align: center;"> Lighting </div>																											
PROC1750	Fabrication	80d	80d	22-Feb-22	14-Jun-22	<div style="text-align: center;"> Fabrication </div>																											
PROC2210	Gear - Switchboards, Panels and Transformers	175d	175d	22-Feb-22	28-Oct-22	<div style="text-align: center;"> Gear - Switchboards, Panels and Transformers </div>																											
PROC2200	Generator Fab and Deliver	228d	228d	22-Feb-22	18-Jan-23	<div style="text-align: center;"> Generator Fab and Deliver </div>																											
CONSTRUCTION		329d	329d	28-Apr-22	09-Aug-23	<div style="text-align: center;"> CONSTRUCTION </div>																											
SITWORK		285d	285d	28-Apr-22	07-Jun-23	<div style="text-align: center;"> SITWORK </div>																											
EARTHWORK		208d	208d	28-Apr-22	20-Feb-23	<div style="text-align: center;"> EARTHWORK </div>																											
A1100	Mobilization & Initial Erosion Control (Includes 7 D...	10d	10d	28-Apr-22	11-May-22	<div style="text-align: center;"> Mobilization & Initial Erosion Control (Includes 7 Day Inspection) </div>																											
A2140	Water Main Tie-In (Boring)	10d	10d	28-Apr-22	11-May-22	<div style="text-align: center;"> Water Main Tie-In (Boring) </div>																											

Current ◆ Milestones
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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024													
						Q4		Q1			Q2		Q3			Q4		Q1			Q2		Q3		Q4		Q1				
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
A2150	Sewer Main Tie-In (Trench)	5d	5d	12-May-22	18-May-22																										<input type="checkbox"/> Sewer Main Tie-In (Trench)
A1110	Clearing and Grubbing	20d	20d	12-May-22	08-Jun-22																									<input type="checkbox"/> Clearing and Grubbing	
A2850	Mass Grading - North Half	15d	15d	26-May-22	15-Jun-22																									<input type="checkbox"/> Mass Grading - North Half	
A2630	Site Retaining Wall - Foundation	10d	10d	09-Jun-22	22-Jun-22																									<input type="checkbox"/> Site Retaining Wall - Foundation	
A1120	Mass Grading - South Half	15d	15d	16-Jun-22	06-Jul-22																									<input type="checkbox"/> Mass Grading - South Half	
A1320	Soil Settlement Monitoring	3d	3d	06-Jul-22	10-Jul-22																									<input type="checkbox"/> Soil Settlement Monitoring	
A2620	Site Retaining Wall - Wall	15d	15d	23-Jun-22	13-Jul-22																									<input type="checkbox"/> Site Retaining Wall - Wall	
A2120	Aggregate Piers - Test Piers	5d	5d	08-Jul-22	15-Jul-22																									<input type="checkbox"/> Aggregate Piers - Test Piers	
A2190	Underground Detention Pond	10d	10d	11-Jul-22	22-Jul-22																									<input type="checkbox"/> Underground Detention Pond	
A2130	Aggregate Piers	10d	10d	15-Jul-22	29-Jul-22																									<input type="checkbox"/> Aggregate Piers	
A2180	Storm Line Installation	20d	20d	25-Jul-22	19-Aug-22																									<input type="checkbox"/> Storm Line Installation	
A2220	Sewer Line Installation	10d	10d	08-Aug-22	19-Aug-22																									<input type="checkbox"/> Sewer Line Installation	
A2170	Water Line Installation	10d	10d	15-Aug-22	26-Aug-22																									<input type="checkbox"/> Water Line Installation	
A1130	Gas Line installation	7d	7d	29-Aug-22	07-Sep-22																									<input type="checkbox"/> Gas Line installation	
A3560	Generator Install	20d	20d	18-Jan-23	20-Feb-23																									<input type="checkbox"/> Generator Install	
FINAL SITEWORK		200d	200d	29-Aug-22	07-Jun-23																									FINAL SITEWORK	
A1140	Curb & Gutter	15d	15d	29-Aug-22	19-Sep-22																									<input type="checkbox"/> Curb & Gutter	
A1150	Paving	10d	10d	20-Sep-22	03-Oct-22																									<input type="checkbox"/> Paving	
A1160	Hardscapes	15d	15d	04-Apr-23	26-Apr-23																									<input type="checkbox"/> Hardscapes	
A1170	Landscape / Pasture - Section B	7d	7d	19-Apr-23	28-Apr-23																									<input type="checkbox"/> Landscape / Pasture - Section B	
A2010	Site Fencing	20d	20d	04-Apr-23	03-May-23																									<input type="checkbox"/> Site Fencing	
A2580	Landscape / Pasture - Section A	7d	7d	28-Apr-23	09-May-23																									<input type="checkbox"/> Landscape / Pasture - Section A	
A2590	Landscape / Pasture - Section D	7d	7d	09-May-23	18-May-23																									<input type="checkbox"/> Landscape / Pasture - Section D	
A2570	Landscape / Pasture - Section C	7d	7d	18-May-23	29-May-23																									<input type="checkbox"/> Landscape / Pasture - Section C	
A1340	Final Site Inspection	7d	7d	30-May-23	07-Jun-23																									<input type="checkbox"/> Final Site Inspection	
STRUCTURE		184d	184d	29-Jul-22	03-May-23																									STRUCTURE	
SECTOR B		105d	105d	29-Jul-22	30-Dec-22																									SECTOR B	
B-110	U/G Rough-In - Pour 1	10d	10d	05-Aug-22	19-Aug-22																									<input type="checkbox"/> U/G Rough-In - Pour 1	
B-100	Foundations	15d	15d	29-Jul-22	19-Aug-22																									<input type="checkbox"/> Foundations	
B-120	Below Grade CMU	15d	15d	05-Aug-22	26-Aug-22																									<input type="checkbox"/> Below Grade CMU	
B-130	Slab on Grade/CIP Concrete Wall - Pour 1 - A.3-C, ...	10d	10d	19-Aug-22	05-Sep-22																									<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 1 - A.3-C, 1-7.3	
B-140	U/G Rough-In - Pour 2	10d	10d	19-Aug-22	05-Sep-22																									<input type="checkbox"/> U/G Rough-In - Pour 2	
B-150	U/G Rough-In - Pour 3	10d	10d	05-Sep-22	19-Sep-22																									<input type="checkbox"/> U/G Rough-In - Pour 3	
B-160	Slab on Grade/CIP Concrete Wall - Pour 2 - C-E, 2-...	10d	10d	05-Sep-22	19-Sep-22																									<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 2 - C-E, 2-4.7	
B-180	Slab on Grade/CIP Concrete Wall - Pour 3 - C-E, 4-...	10d	10d	19-Sep-22	03-Oct-22																									<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 3 - C-E, 4.7-7.3	
B-170	Load Bearing CMU Walls - Pour 1 (Includes Exterio...	15d	15d	19-Sep-22	10-Oct-22																									<input type="checkbox"/> Load Bearing CMU Walls - Pour 1 (Includes Exterior Walls)	
B-190	Load Bearing CMU Walls - Pour 2 (Includes Exterio...	15d	15d	10-Oct-22	01-Nov-22																									<input type="checkbox"/> Load Bearing CMU Walls - Pour 2 (Includes Exterior Walls)	
B-200	Steel Columns & Beams	15d	15d	01-Nov-22	23-Nov-22																									<input type="checkbox"/> Steel Columns & Beams	
B-210	Load Bearing CMU Walls - Pour 3 (Includes Exterio...	20d	20d	01-Nov-22	30-Nov-22																									<input type="checkbox"/> Load Bearing CMU Walls - Pour 3 (Includes Exterior Walls)	
B-220	Steel Joists & Roof Deck	20d	20d	30-Nov-22	30-Dec-22																									<input type="checkbox"/> Steel Joists & Roof Deck	
SECTOR A		115d	115d	19-Aug-22	10-Feb-23																									SECTOR A	
A-100	Foundations	15d	15d	19-Aug-22	12-Sep-22																									<input type="checkbox"/> Foundations	
A-120	U/G Rough-In - Pour 1	10d	10d	05-Sep-22	19-Sep-22																									<input type="checkbox"/> U/G Rough-In - Pour 1	

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CONSTRUCTION SCHEDULE
Fulton County Animal Services Facility
THE WINTER CONSTRUCTION COMPANY



ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024										
						Q4		Q1		Q2		Q3	Q4		Q1		Q2		Q3	Q4		Q1						
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
A-110	Below Grade CMU	15d	15d	05-Sep-22	26-Sep-22																							<input type="checkbox"/> Below Grade CMU
A-130	Slab on Grade/CIP Concrete Wall - Pour 1 - A-C, 7....	10d	10d	19-Sep-22	03-Oct-22																							<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 1 - A-C, 7.3-13
A-140	U/G Rough-In - Pour 2	10d	10d	19-Sep-22	03-Oct-22																							<input type="checkbox"/> U/G Rough-In - Pour 2
A-150	Slab on Grade/CIP Concrete Wall - Pour 2 - C-E, 7....	10d	10d	03-Oct-22	18-Oct-22																							<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 2 - C-E, 7.3-10.4
A-160	U/G Rough-In - Pour 3	10d	10d	03-Oct-22	18-Oct-22																							<input type="checkbox"/> U/G Rough-In - Pour 3
A-170	Slab on Grade/CIP Concrete Wall - Pour 3 - C-E, 1...	10d	10d	18-Oct-22	01-Nov-22																							<input type="checkbox"/> Slab on Grade/CIP Concrete Wall - Pour 3 - C-E, 10.4-14
A-180	Load Bearing CMU Walls - Pour 1	15d	15d	01-Nov-22	23-Nov-22																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 1
A-200	Load Bearing CMU Walls - Pour 2	15d	15d	23-Nov-22	15-Dec-22																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 2
A-190	Steel Columns & Beams	20d	20d	23-Nov-22	23-Dec-22																							<input type="checkbox"/> Steel Columns & Beams
A-210	Load Bearing CMU Walls - Pour 3	15d	15d	15-Dec-22	10-Jan-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 3
A-220	Steel Joists & Roof Deck	20d	20d	10-Jan-23	10-Feb-23																							<input type="checkbox"/> Steel Joists & Roof Deck
SECTOR D		130d	130d	12-Sep-22	29-Mar-23																							SECTOR D
D-100	Foundations	15d	15d	12-Sep-22	03-Oct-22																							<input type="checkbox"/> Foundations
D-110	Below Grade CMU	15d	15d	03-Oct-22	25-Oct-22																							<input type="checkbox"/> Below Grade CMU
D-120	U/G Rough-In	20d	20d	03-Oct-22	01-Nov-22																							<input type="checkbox"/> U/G Rough-In
D-130	Slab on Grade - Pour 1 - E-F, 10.6-12	10d	10d	25-Oct-22	08-Nov-22																							<input type="checkbox"/> Slab on Grade - Pour 1 - E-F, 10.6-12
D-140	Slab on Grade - Pour2 - E-F, 8.7-10.3	10d	10d	08-Nov-22	23-Nov-22																							<input type="checkbox"/> Slab on Grade - Pour2 - E-F, 8.7-10.3
D-150	Slab on Grade - Pour 3 - E-F, 6.9-8	10d	10d	23-Nov-22	07-Dec-22																							<input type="checkbox"/> Slab on Grade - Pour 3 - E-F, 6.9-8
D-160	Load Bearing CMU Walls - Pour 1	15d	15d	30-Nov-22	23-Dec-22																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 1
D-170	Load Bearing CMU Walls - Pour 2	15d	15d	23-Dec-22	18-Jan-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 2
D-180	Load Bearing CMU Walls - Pour 3	15d	15d	18-Jan-23	10-Feb-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 3
D-190	Steel Joists & Roof Deck	15d	15d	10-Feb-23	07-Mar-23																							<input type="checkbox"/> Steel Joists & Roof Deck
D-200	Canopy Structure	15d	15d	07-Mar-23	29-Mar-23																							<input type="checkbox"/> Canopy Structure
SECTOR C		139d	139d	03-Oct-22	03-May-23																							SECTOR C
C-100	Foundations	15d	15d	03-Oct-22	25-Oct-22																							<input type="checkbox"/> Foundations
C-110	U/G Rough-In - Pour 1	15d	15d	25-Oct-22	15-Nov-22																							<input type="checkbox"/> U/G Rough-In - Pour 1
C-120	Below Grade CMU	15d	15d	25-Oct-22	15-Nov-22																							<input type="checkbox"/> Below Grade CMU
C-130	U/G Rough-In - Pour 2	10d	10d	15-Nov-22	30-Nov-22																							<input type="checkbox"/> U/G Rough-In - Pour 2
C-140	Slab on Grade - Pour 1 - E-F, 4.7-6	10d	10d	07-Dec-22	23-Dec-22																							<input type="checkbox"/> Slab on Grade - Pour 1 - E-F, 4.7-6
C-150	Slab on Grade - Pour 2 - E-F, 3-4.3	10d	10d	23-Dec-22	10-Jan-23																							<input type="checkbox"/> Slab on Grade - Pour 2 - E-F, 3-4.3
C-160	Load Bearing CMU Walls - Pour 1 Zone 1	20d	20d	29-Dec-22	31-Jan-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 1 Zone 1
C-170	Load Bearing CMU Walls - Pour 1 - Zone 2	15d	15d	31-Jan-23	24-Feb-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 1 - Zone 2
C-180	Load Bearing CMU Walls - Pour 2	15d	15d	24-Feb-23	21-Mar-23																							<input type="checkbox"/> Load Bearing CMU Walls - Pour 2
C-190	Steel Joists & Roof Deck	15d	15d	21-Mar-23	12-Apr-23																							<input type="checkbox"/> Steel Joists & Roof Deck
C-200	Canopy Structure	15d	15d	12-Apr-23	03-May-23																							<input type="checkbox"/> Canopy Structure
SKIN		145d	145d	25-Oct-22	18-May-23																							SKIN
SECTOR B		140d	140d	25-Oct-22	11-May-23																							SECTOR B
B-SKN-100	Exterior Waterproofing - Pour 1	10d	10d	25-Oct-22	08-Nov-22																							<input type="checkbox"/> Exterior Waterproofing - Pour 1
B-SKN-110	CMU Veneer - Pour 1	10d	10d	01-Nov-22	15-Nov-22																							<input type="checkbox"/> CMU Veneer - Pour 1
B-SKN-120	Exterior Waterproofing - Pour 2	10d	10d	08-Nov-22	23-Nov-22																							<input type="checkbox"/> Exterior Waterproofing - Pour 2
B-SKN-130	CMU Veneer - Pour 2	10d	10d	15-Nov-22	30-Nov-22																							<input type="checkbox"/> CMU Veneer - Pour 2
B-SKN-140	Exterior Waterproofing - Pour 3	10d	10d	23-Nov-22	07-Dec-22																							<input type="checkbox"/> Exterior Waterproofing - Pour 3
B-SKN-150	Storefront/Windows/Doors	10d	10d	30-Nov-22	15-Dec-22																							<input type="checkbox"/> Storefront/Windows/Doors

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY



LATHROP
11/30/2021

ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024												
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1						
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov
B-RR-110	Wall Rough Ins	5d	5d	01-Feb-23	08-Feb-23																									<input type="checkbox"/> Wall Rough Ins
B-RR-120	Wall Cover Inspection	5d	5d	08-Feb-23	15-Feb-23																									<input type="checkbox"/> Wall Cover Inspection
B-RR-130	Ceiling Framing	5d	5d	15-Feb-23	22-Feb-23																									<input type="checkbox"/> Ceiling Framing
B-RR-140	Ceiling Rough	5d	5d	22-Feb-23	01-Mar-23																									<input type="checkbox"/> Ceiling Rough
B-RR-150	Ceiling Inspections	5d	5d	01-Mar-23	08-Mar-23																									<input type="checkbox"/> Ceiling Inspections
B-RR-160	Drywall Hang/Tape/Finish	5d	5d	08-Mar-23	15-Mar-23																									<input type="checkbox"/> Drywall Hang/Tape/Finish
B-RR-170	Paint	5d	5d	15-Mar-23	22-Mar-23																									<input type="checkbox"/> Paint
B-RR-180	Tile	5d	5d	22-Mar-23	29-Mar-23																									<input type="checkbox"/> Tile
B-RR-190	Toilet Fixtures and Accessories	5d	5d	29-Mar-23	05-Apr-23																									<input type="checkbox"/> Toilet Fixtures and Accessories
SECTOR A		97d	97d	10-Feb-23	27-Jun-23																									SECTOR A
A-INT-100	Mech Rough-In - Overhead	8d	8d	10-Feb-23	22-Feb-23																									<input type="checkbox"/> Mech Rough-In - Overhead
A-INT-110	Elec Rough-In - Overhead	8d	8d	14-Feb-23	24-Feb-23																									<input type="checkbox"/> Elec Rough-In - Overhead
A-INT-120	Plumb Rough-In - Overhead	8d	8d	14-Feb-23	24-Feb-23																									<input type="checkbox"/> Plumb Rough-In - Overhead
A-INT-130	Fire S. Rough-In - Overhead	8d	8d	14-Feb-23	24-Feb-23																									<input type="checkbox"/> Fire S. Rough-In - Overhead
A-INT-200	Mechanical Unit Start-Up	5d	5d	24-Feb-23	03-Mar-23																									<input type="checkbox"/> Mechanical Unit Start-Up
A-INT-140	Interior Framing	10d	10d	24-Feb-23	10-Mar-23																									<input type="checkbox"/> Interior Framing
A-INT-370	Elect Wall Rough Ins	6d	6d	02-Mar-23	10-Mar-23																									<input type="checkbox"/> Elect Wall Rough Ins
A-INT-380	Plumbing Wall Rough Ins	6d	6d	02-Mar-23	10-Mar-23																									<input type="checkbox"/> Plumbing Wall Rough Ins
A-INT-150	Hard Ceiling Framing	5d	5d	10-Mar-23	17-Mar-23																									<input type="checkbox"/> Hard Ceiling Framing
A-INT-390	MEP Wall Cover Up Inspections	5d	5d	10-Mar-23	17-Mar-23																									<input type="checkbox"/> MEP Wall Cover Up Inspections
A-INT-160	Hard Ceiling Rough Ins	5d	5d	17-Mar-23	24-Mar-23																									<input type="checkbox"/> Hard Ceiling Rough Ins
A-INT-190	Drywall - Hang/Tape/Finish	10d	10d	17-Mar-23	31-Mar-23																									<input type="checkbox"/> Drywall - Hang/Tape/Finish
A-INT-170	Hard Ceiling Inspections	5d	5d	24-Mar-23	31-Mar-23																									<input type="checkbox"/> Hard Ceiling Inspections
A-INT-230	Hard Ceiling H/T/F	5d	5d	31-Mar-23	07-Apr-23																									<input type="checkbox"/> Hard Ceiling H/T/F
A-INT-180	Plank Ceiling	5d	5d	31-Mar-23	07-Apr-23																									<input type="checkbox"/> Plank Ceiling
A-INT-210	Prime/1st Coat	5d	5d	07-Apr-23	14-Apr-23																									<input type="checkbox"/> Prime/1st Coat
A-INT-220	Wall Tile	10d	10d	31-Mar-23	14-Apr-23																									<input type="checkbox"/> Wall Tile
A-INT-240	Paint	5d	5d	14-Apr-23	21-Apr-23																									<input type="checkbox"/> Paint
A-INT-260	ACT Grid	5d	5d	21-Apr-23	28-Apr-23																									<input type="checkbox"/> ACT Grid
A-INT-250	Flooring - Resinous	15d	15d	14-Apr-23	05-May-23																									<input type="checkbox"/> Flooring - Resinous
A-INT-400	MEFP to Grid	5d	5d	28-Apr-23	05-May-23																									<input type="checkbox"/> MEFP to Grid
A-INT-310	Doors and Hardware	5d	5d	01-May-23	08-May-23																									<input type="checkbox"/> Doors and Hardware
A-INT-410	Cover Up ACT Inspection	3d	3d	05-May-23	10-May-23																									<input type="checkbox"/> Cover Up ACT Inspection
A-INT-270	Acoustical Ceiling Tile	5d	5d	10-May-23	17-May-23																									<input type="checkbox"/> Acoustical Ceiling Tile
A-INT-280	Millwork	5d	5d	17-May-23	24-May-23																									<input type="checkbox"/> Millwork
A-INT-290	Fiberglass Reinforced Panels	5d	5d	17-May-23	24-May-23																									<input type="checkbox"/> Fiberglass Reinforced Panels
A-INT-300	Flooring - Carpet Tile	5d	5d	17-May-23	24-May-23																									<input type="checkbox"/> Flooring - Carpet Tile
A-INT-420	Caging	7d	7d	17-May-23	26-May-23																									<input type="checkbox"/> Caging
A-INT-320	Mech Trim	12d	12d	24-May-23	12-Jun-23																									<input type="checkbox"/> Mech Trim
A-INT-340	Elec Trim	12d	12d	30-May-23	15-Jun-23																									<input type="checkbox"/> Elec Trim
A-INT-330	Plumb Trim	12d	12d	30-May-23	15-Jun-23																									<input type="checkbox"/> Plumb Trim
A-INT-350	Fire S. Trim	10d	10d	01-Jun-23	15-Jun-23																									<input type="checkbox"/> Fire S. Trim
A-INT-360	Test & Balance	10d	10d	12-Jun-23	27-Jun-23																									<input type="checkbox"/> Test & Balance

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CONSTRUCTION SCHEDULE
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ID	Name	Planned Duration	Remaining Duration	Start	Finish	2021		2022					2023					2024									
						Q4		Q1		Q2		Q3		Q4		Q1		Q2		Q3		Q4		Q1			
						Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
Restrooms Sector A						Restrooms Sector A																					
A-RR-100	Wall Furring/Framing	5d	5d	24-Feb-23	05-May-23	<input type="checkbox"/> Wall Furring/Framing <input type="checkbox"/> Wall Rough Ins <input type="checkbox"/> Wall Cover Inspection <input type="checkbox"/> Ceiling Framing <input type="checkbox"/> Ceiling Rough <input type="checkbox"/> Ceiling Inspections <input type="checkbox"/> Drywall Hang/Tape/Finish <input type="checkbox"/> Paint <input type="checkbox"/> Tile <input type="checkbox"/> Toilet Fixtures and Accessories																					
SECTOR D						SECTOR D																					
D-INT-100	Mech Rough-In - Overhead	7d	7d	07-Mar-23	16-Mar-23	<input type="checkbox"/> Mech Rough-In - Overhead <input type="checkbox"/> Plumb Rough-In - Overhead <input type="checkbox"/> Fire S. Rough-In - Overhead <input type="checkbox"/> Elec Rough-In - Overhead <input type="checkbox"/> Prime Coat/1st Coat <input type="checkbox"/> Mechanical Unit Start-Up <input type="checkbox"/> Paint <input type="checkbox"/> ACT Grid <input type="checkbox"/> MEP Rough @ ACT Grid <input type="checkbox"/> ACT Grid Cover Up Inspection <input type="checkbox"/> Acoustical Ceiling Tile <input type="checkbox"/> Flooring - Resinous <input type="checkbox"/> Mech Trim <input type="checkbox"/> Plumb Trim <input type="checkbox"/> Elec Trim <input type="checkbox"/> Fire S. Trim <input type="checkbox"/> Test & Balance <input type="checkbox"/> Interior Kennel Installation <input type="checkbox"/> Exterior Kennel Installation <input type="checkbox"/> Flooring - Turf																					
SECTOR C						SECTOR C																					
C-INT-100	Mech Rough-In - Overhead	7d	7d	04-Apr-23	13-Apr-23	<input type="checkbox"/> Mech Rough-In - Overhead <input type="checkbox"/> Elec Rough-In - Overhead <input type="checkbox"/> Plumb Rough-In - Overhead <input type="checkbox"/> Fire S. Rough-In - Overhead <input type="checkbox"/> Prime Coat <input type="checkbox"/> Paint <input type="checkbox"/> Mechanical Unit Start-Up <input type="checkbox"/> ACT Grid <input type="checkbox"/> MEP Rough @ ACT Grid <input type="checkbox"/> ACT Grid Cover Up Inspection																					

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CONSTRUCTION SCHEDULE
 Fulton County Animal Services Facility
 THE WINTER CONSTRUCTION COMPANY





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/26/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Greying Ins. Brokerage/EPIC 3780 Mansell Road, Suite 370 Alpharetta, GA 30022	CONTACT NAME: Jerry Noyola PHONE (A/C, No, Ext): 770-220-7699 FAX (A/C, No): E-MAIL ADDRESS: jerry.noyola@greying.com														
INSURED Winter Johnson Group, A Joint Venture; 5616 Peachtree Road; Suite 100 Atlanta, GA 30341	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:80%;">INSURER(S) AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A : Zurich American Insurance Co</td> <td>16535</td> </tr> <tr> <td>INSURER B : Starr Indemnity and Liability Company</td> <td>38318</td> </tr> <tr> <td>INSURER C : American Zurich Ins. Co.</td> <td>40142</td> </tr> <tr> <td>INSURER D : Allied World Assurance Company (U.S.)</td> <td>19489</td> </tr> <tr> <td>INSURER E :</td> <td></td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </tbody> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Zurich American Insurance Co	16535	INSURER B : Starr Indemnity and Liability Company	38318	INSURER C : American Zurich Ins. Co.	40142	INSURER D : Allied World Assurance Company (U.S.)	19489	INSURER E :		INSURER F :	
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COVERAGES **CERTIFICATE NUMBER: 21-22** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:	X		GLO551426404	11/01/2021	11/01/2022	EACH OCCURRENCE \$2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$2,000,000 GENERAL AGGREGATE \$4,000,000 PRODUCTS - COMP/OP AGG \$4,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	X		BAP551426504	11/01/2021	11/01/2022	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB DED <input checked="" type="checkbox"/> RETENTION \$0	X		1000584504211	11/01/2021	11/01/2022	EACH OCCURRENCE \$10,000,000 AGGREGATE \$10,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	WC551426304	11/01/2021	11/01/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000
D	Prof. Liab. incl. Pollution Liab.			03131181	11/01/2021	11/01/2022	Per Claim: \$10,000,000 Aggregate: \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Re: Project ##21RFP22421K-DB - CM@Risk Services for the new Fulton County Animal Shelter Facility. Fulton County Government, Its Officials, Officers & Employees are named as Additional Insureds with respects to General Liability where required by written contract. The above referenced liability policies with the exception of workers compensation and professional liability are primary & non-contributory where required by written contract. Waiver of Subrogation in favor of Additional Insured(s) where required by written contract & allowed by law.

CERTIFICATE HOLDER Fulton County Government Purchasing Department 130 Peachtree Street S.W., Suite 1168 Atlanta, GA 30303-3459	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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